

VILLAGE OF DOWNERS GROVE
REPORT FOR THE VILLAGE COUNCIL MEETING
JULY 19, 2011 AGENDA

SUBJECT:	TYPE:	SUBMITTED BY:
Ogden Avenue Site Improvement Strategy (OASIS) Grants	✓ Resolution Ordinance Motion Discussion Only	Tom Dabareiner, AICP Community Development Director

SYNOPSIS

Resolutions have been prepared authorizing agreements for OASIS Grants for a total of \$307,672 for the following properties:

- Bill Kay Nissan; 1601 Ogden Ave
- DG Animal Hospital; 631-635 Ogden Ave
- Day Care Center; 4232 Venard Rd
- A-Len Radiators; 333 Ogden Ave
- Forn Parts; 501 Ogden Ave
- Mr. Trim/Office Building; 946 Ogden Ave
- Apartment Building; 1614 Ogden Ave
- Apartment Building; 1602 Ogden Ave

STRATEGIC PLAN ALIGNMENT

The Strategic Goals for 2011-2018 include Strong, Diverse Local Economy.

FISCAL IMPACT

The FY11 budget includes \$750,000 from the Ogden Avenue TIF fund for funding a matching grant program. A total of \$307,672 would be committed to these projects if the grants are approved.

RECOMMENDATION

Approval of the grants on the August 2, 2011 agenda.

BACKGROUND

In September 2010, the Village Council adopted the OASIS matching grant program to enhance the Ogden Avenue corridor. The program, which was developed through a collaborative effort of the Ogden Avenue business community, the Economic Development Corporation, the Chamber of Commerce and Village staff, uses a portion of the increment generated by the Ogden Avenue TIF to provide grants for improvements to businesses within the TIF district.

The goals of the OASIS program are to:

- Provide more attractive sites
- Improve traffic circulation for vehicles and pedestrians (on private property as well as the street)
- Improve existing building appearance
- Improve signage and reduce visual clutter

This program provides business and property owners with a dollar-for-dollar matching grant for four types of eligible improvement projects: site, landscaping, façade and sign improvements, which are outlined in the OASIS policy adopted by the Village Council. Project that incorporate multiple categories of eligible improvements may be awarded an additional 25% on top of the 50% match.

The OASIS Team reviewed 20 applications in December 2010, February 2011 and May 2011. To date, no grants have been awarded because several of the early project applications were not complete or required additional detail.

The Team recommended the following matching grant amounts:

- Bill Kay Nissan; 1601 Ogden Ave - \$40,000 (site lighting improvement)
- DG Animal Hospital; 631-635 Ogden Ave - \$48,737 – 25% *bonus applied*. (façade, landscaping, site and sign improvements)
- Day Care Center; 4232 Venard Rd - \$22,100 (façade, landscaping, site and sign improvements)
- A-Len Radiators; 333 Ogden Ave - \$93,750 – 25% *bonus applied* (façade, landscaping, site and sign improvements)
- Forn Parts; 501 Ogden Ave - \$48,834.50 (façade, landscaping, site and sign improvements)
- Mr. Trim/Office Building; 946 Ogden Ave - \$34,250.50 (façade and sign improvements)
- Apartment Building; 1614 Ogden Ave - \$10,000 (façade improvements)
- Apartment Building; 1602 Ogden Ave - \$10,000 (façade improvements)

A brief summary of each project is provided below:

- Bill Kay Nissan; 1601 Ogden Ave – The applicant is proposing to remove parking light fixtures and replace with updated fixtures. The new fixtures will reduce the number of poles on the site and reduce visual clutter along Ogden Avenue. In addition, the small white pipes along the north side of the property adjacent to Ogden Avenue will be removed. **(Site A)**
- DG Animal Hospital; 631-635 Ogden Ave – The applicant is proposing to update the façade of the existing buildings, add landscaping on the north (Ogden Avenue) and south sides of the property and install new, code compliant signs. **(Site B)**
- Day Care Center; 4232 Venard Rd - The applicant is proposing to improve portions of the façade of the existing building, add landscaping on the east (Venard Road) side of the property, install a new sidewalk on Venard, reduce curb cuts and install new, code compliant signs. **(Site C)**
- A-Len Radiators; 333 Ogden Ave - The applicant is proposing to improve the façade of the existing building, add landscaping on the west (Fairview Avenue) and north (Ogden Avenue) sides of the property, install a new sidewalk on Ogden Avenue, reduce curb cuts and install new, code compliant signs. **(Site D)**
- Forn Parts; 501 Ogden Ave - The applicant is proposing to improve portions of the façade of the existing building, add landscaping on the north (Ogden Avenue) side of the property, install a new sidewalk on Ogden Avenue, and install new, code compliant signs. **(Site E)**
- Mr. Trim/Office Building; 946 Ogden Ave - The applicant is proposing to improve the façade of the existing building and install new, code compliant signs. **(Site F)**
- Apartment Building; 1614 Ogden Ave - The applicant is proposing to improve the façade of the existing building. **(Site G)**
- Apartment Building; 1602 Ogden Ave - The applicant is proposing to improve the façade of the existing building. **(Site H)**

In addition to the applications noted above, there are five sign applications that can be approved by the Village Manager. Based on previous Council direction, the Village Manager will consider the sign applications after the Council has approved site improvement grants.

ATTACHMENTS

Resolutions

Agreements with Exhibits

OASIS Grant Program Policy

Aerial Maps

OASIS Recommendation Letters

RESOLUTION NO. ____

**A RESOLUTION AUTHORIZING EXECUTION OF A GRANT
AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE
AND BILL KAY NISSAN**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois,
as follows:

1. That the form and substance of a certain Grant Agreement (the "Agreement"), between the Village of Downers Grove (the "Village") and Bill Kay Nissan (the "Applicant"), for OASIS Program grant funding, in the amount of \$40,000.00, to make improvements to the property/business located at 1601 Ogden Avenue, which is along the Ogden Avenue commercial corridor, as set forth in the form of the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provisions of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____
Village Clerk

OASIS GRANT AGREEMENT

THIS AGREEMENT is made this ____ day of _____, 2011 by and between the Village of Downers Grove, Illinois, an Illinois municipal corporation with offices at 801 Burlington Avenue, Downers Grove, Illinois 60515, (“the Village”) and Bill Kay Nissan at 1601 Ogden Avenue, Downers Grove, Illinois 60515 (“Applicant”).

WITNESSETH:

WHEREAS, the Village has established the Ogden Avenue Site Improvement Strategy Program (“OASIS Program”) for application to receive a grant from the Village to make improvements to properties/businesses along the Ogden Avenue commercial corridor; and,

WHEREAS, said Program is funded from TIF funds for the purpose of controlling and preventing blight and deterioration within the Ogden Avenue Tax Increment Finance District (“TIF District”), and to encourage the further redevelopment of properties in the TIF District in accordance with the general guidelines set forth in the Program as adopted in Ordinance 5150 on September 14, 2010; and,

WHEREAS, Applicant owns a property/business at 1601 Ogden Avenue Downers Grove, Illinois 09-06-307-010, 09-06-305-011 and 09-06-305-017 which is located within the TIF District; and

WHEREAS, pursuant to the Program the Village has agreed to financially participate, subject to its sole discretion, the Program Guidelines, and the terms and conditions set forth in this Agreement; and,

WHEREAS, the Applicant desires to participate in the Program, subject to the Program Guidelines and the terms and conditions set forth in this Agreement;

NOW THEREFORE, in consideration of the mutual covenants and agreement herein set forth, and other good and valuable consideration, the Parties do hereby agree as follows:

A. General Provisions:

1. The above recitals are incorporated into and made part of this Agreement as though fully set forth herein.
2. This Agreement may not be transferred or assigned.
3. This Agreement may be terminated by either party by giving ten (10) days written notice to the other party. If the Applicant terminates this Agreement, the Village shall not be required to make any reimbursement payments to the Applicant.
4. In the event the Applicant fails to complete the project and submit the required proof of payment documents in the required timeframe, the Village may terminate this Agreement and award the funds to other eligible projects.
5. The parties shall have any and all remedies available at law in the event of a breach of this Agreement.
6. Applicant acknowledges that the Freedom of Information Act may apply to public records in possession of Applicant or a contractor. Applicant and its contractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. 5 ICLS 140/1 et. seq.
7. This Agreement will be governed by and construed in accordance with the laws of the State of Illinois. Venue is proper only in the County of DuPage.

8. This Agreement will not be subject to amendment unless made in writing and signed by all parties.
9. Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to designated representatives of both parties as follows:

Village Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

To the Applicant as stated below.

B. Applicant's Obligations:

1. Applicant shall complete the project in substantial compliance with the attached plans, incorporated as part of this Agreement as Exhibit A. Any changes to the plans shall require written approval from the Community Development Director, or his designee.
2. Applicant shall grant an easement to the Village for, or install, a public sidewalk along that portion of the subject property adjacent to Ogden Avenue where no public sidewalk currently exists.
3. Applicant, at its own expense, shall obtain all necessary permits prior to commencement of any work to complete the improvements.
4. Applicant shall submit the following required proof of payment documents:
 - a. Itemized paid-in-full invoices.
 - b. Canceled checks for the payment for the completed improvements.
 - c. Final lien waivers, if applicable.
 - d. Certified payroll records of contractors.
5. Applicant understands that it will not receive payment if there are any outstanding code violations on the property or if Applicant owes any money to the Village.
6. Applicant shall complete the project and submit the required proof of payment documents within one (1) year of the effective date of this Agreement. If the project is not completed or if the required proof of payment documents are not submitted within one (1) year, the Village shall have the right to declare this Agreement null and void and shall not be required to make any reimbursement payments to the Applicant.
7. Applicant shall complete the project in such a manner as to comply with all conditions of this Agreement, and in accordance with the Program Guidelines and all pertinent regulations, ordinances, or codes of the Village or other authority having jurisdiction over the property.
8. Applicant is hereby notified by the Village that work contemplated by this Agreement may be subject to the Prevailing Wage Act ("Act"), 820 ILCS 130/1 et seq. Applicant agrees to comply with all applicable provisions of the Act as administered by the Illinois Department of Labor ("IDOL"). Applicant further agrees to contact IDOL for a determination of applicability of the Act to the project contemplated by this Agreement. If required by IDOL, Applicant agrees to pay the prevailing wage rates and to require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work on the projects contemplated by this Agreement. For applicable rates, go to the State of Illinois – Department of Labor website and use the most current DuPage county rate. Applicant recognizes and agrees that it is solely responsible for compliance with the Act and agrees to fully indemnify, defend and hold harmless the Village with regard to any actions or proceeding instituted regarding such compliance.

9. Applicant shall be required to submit an executed Campaign Disclosure Certificate, attached hereto as Exhibit B.

C. Village's Obligations:

1. The Village shall reimburse the Applicant for one-half (1/2) of the actual incurred costs to complete all eligible aspects of the project. The amount of said reimbursement shall not exceed \$40,000.
2. The Village shall remit payment to the Applicant within sixty (60) days of completion of the project and receipt of the required proof of payment documents.
3. The Village shall diligently review permit submittals, issue permits and complete required inspections deemed necessary to complete the project.

IN WITNESS HEREOF, the parties set their hand and seal the day and date hereinabove written.

APPLICANT:
Bill Kay Nissan
1601 Ogden Avenue
Downers Grove, IL

VILLAGE OF DOWNERS GROVE:

By:

Signature

Village Manager

Print Name

Attest:

Title

Village Clerk



BILL KAY'S DOWNERS GROVE NISSAN

**Application and Supporting Documents for the
"Ogden Avenue Site Improvement Strategy"
(O.A.S.I.S)**

Matching Grant Program

November 23, 2010

- 1. Introduction Letter**
- 2. Project Information**
- 3. Application**
- 4. Proposed Site Plan**
- 5. Current Site Photos**
- 6. Contractor's Proposal**
- 7. Equipment Literature**

Bill Kay's
DOWNERS GROVE



1601 Ogden Avenue,
Downers Grove IL 60515
Phone: (630) 969-3200
Fax: (630) 829-4647
www.downersgrovenissan.com

November 18, 2010

Mr. Greg Bedalov, President
Downers Grove Economic Development Corporation
2001 Butterfield Road Suite 120
Downers Grove, Il. 60515

Dear Greg:

As you know, Bill Kay Nissan has actively invested in improving its' property, in conjunction with the Village's rehabilitation efforts for the Ogden Avenue corridor, to comply with the vision of the Ogden Avenue Master Plan. We replaced an outdated and deteriorating building with a high quality facility that has served to provide an overall attractive appearance, while bolstering property values in the area. The completion of this development also provided enhanced revenues and employment opportunities within the Village.

It has been over 5 years since the completion of this project, and as time goes by, there continues to be a need to update and or replace other elements associated with the property. As you know, the current economic climate has had a severe impact on the retail automobile industry. While it is our desire to continue to enhance the overall appearance of the property, current economic conditions have caused such investments to be delayed. As the need for certain improvements becomes more critical, we find ourselves searching for economic assistance wherever possible.

Our current need is to replace the outdoor site lighting on our entire property. This initiative will certainly provide a positive visual improvement and add to the enhancement of the Ogden Avenue Corridor. The current lighting is in serious disrepair due to aging of the equipment and the deterioration of underground wiring. This situation is having a negative impact on the overall attractiveness of the property, as well as our desire to provide a safe and secure atmosphere for our customers and employees

But for financial assistance that could be realized from some form of public financing, it will be impossible to complete this project in the high quality image we would like at this time. Enclosed with this letter please find our application,

along with all supporting documents, for participation in the Ogden Avenue Site Improvement Strategy (O.A.S.I.S.) Matching Grant Program. Also enclosed is a detailed description of the details and scope of our proposed project. With the financial assistance that would be provided under this program, it would make good economic sense for us to move forward with this project immediately.

We would like to thank you in advance for your consideration of this application. We look forward to a positive result and to the opportunity to continue to improve the image of Downers Grove and the Ogden Avenue Corridor.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lee A. Eisenberg', with a long horizontal flourish extending to the right.

Lee A. Eisenberg
Vice President & Executive Manager

BILL KAY NISSAN

PROJECT INFORMATION

Scope:

Renovation of all outdoor lighting in the parking areas

Demolition and removal of all existing outdoor light poles and bases

Install new light poles and bases **per the attached lighting plan**, including installation of all new conduits, wiring, photo electric timers and contactors.

Equipment:

RUUD Lighting Aerodome fixtures

New light fixtures along outer perimeter of sales area will be RUUD Frontline fixtures with forward throw feature to **eliminate any glare to traffic on public roadways or to neighboring residents.**

New technology lighting will provide higher maintained light levels with **fewer fixtures and greater spacing.**

Benefits to Renovation:

New lighting is far more **energy efficient.**

Pole height raised to 22' plus a 3' base (25' Total) to enhance visual appeal and eliminate line of sight glare from the light fixtures.

Reduce number of light poles from 30 to 22

Reduce number of light fixtures from 77 to 42

Current poles may have undetectable structural damage due to age that could potentially pose a safety hazard.

Application

A printable version of the Ogden Avenue Site Improvement Reimbursement Grant Application is available on-line at www.downers.us or www.dgedc.com. A paper copy of the application is available on the next page. Three (3) copies of the complete application, including any support documentation are due by the application deadline(s).

Applicant is:	<input checked="" type="checkbox"/> Tenant <input type="checkbox"/> Owner
Name of Business/Building:	Bill Kay's Downers Grove Nissan
Address/Property ID # of Project Property:	1601 Ogden Ave. Downers Grove, IL 60515
Owner's Name AND TITLE:	JK Realty Downers Grove, Inc.
Owner's Mailing Address:	2300 Ogden Ave Downers Grove, IL 60515
Owner's Business Phone:	630-969-3200
Owner's Fax:	630-829-4647
Owner's E-Mail:	lrc@downersgrovenissan.com
PLEASE ONLY COMPLETE THE REST OF THIS TABLE IF TENANT IS THE GRANT APPLICANT.	
Tenant Name AND TITLE:	Bill Kay's Downers Grove Nissan
Tenant Mailing Address:	1601 Ogden Ave Downers Grove, IL 60515
Business Phone for Tenant:	630-969-3200
E-Mail for Tenant:	lcc@downersgrovenissan.com

Project Information

Project Description: Replacement of all exterior parking lot lighting
"See Attached"

Existing Site Conditions:

Please provide a photo of current site conditions to illustrate where improvements are proposed. Photo should be provided in a paper or digital (e.g. JPEG) format. Electronic photos may be e-mailed to: jobrien@downers.us.

Written Project Description:

Please describe your proposed project improvement. Attach pages as needed.

See Attached

Required Documentation For Submittal:

3 copies of the complete application, including any support documentation are due by **December 1, 2010**. Additional copies may be requested by OASIS team after the application deadline.

1. If you are proposing an alteration to a building the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Façade elevations (as determined necessary at pre-application meeting*), including height, length and width measurements
- Color scheme of the proposed addition or alteration
- Building material samples (roof, siding, chimneys, etc.) if applicable
- Site plan with building outline and proposed changes
- Cut sheets for proposed doors and windows, if applicable

If you have questions about this, please contact the Community Development Department. Specific questions about submittal requirements will be answered during the pre-application meeting.

2. If you are proposing landscape/or other site improvements the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Site plan with building outline and proposed changes to site
- Landscape plan, if applicable (e.g. access, driveway consolidation, etc)

3. If you are proposing a new sign/awning/canopy the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page:

- Color drawing of the sign/awning including measurements of free-standing sign and site plan showing sign location on a site
- Façade elevation showing sign/awning placement, if plan applicable

Schedule Information:

Anticipated Project Start Date: ASAP

Anticipate Project Completion Date: within 30 Days of Start

NOTE: Completion Date must be prior within one year of the year following application.

Architect / Designer for the Project (If Applicable):

Name: T.B.O.

Address: _____

Phone: _____ Fax: _____

Contractor for the Project (If Known):

Name: T.B.O.

Address: _____

Phone: _____ Fax: _____

Itemized Activity Estimated

	Total Site Improvement Costs	Grant Eligible Project Costs*	TO BE COMPLETED BY CITY	
			Grant Contribution	Bonus Award
ESTIMATE 1 Contractor Name:	Approx. \$120,000	\$ 40,000		
ESTIMATE 2 Contractor Name:				

Two detailed contractor estimates are required. Please provide additional sheets with supporting detail as necessary.

This application for a Site Improvement Reimbursement Grant is hereby believed to be complete and accurate.

Owner Signature: *Judith Spillman* Tenant Signature: *Lee A. Eisenberg* U.P.

Print Owners Name: Judith Spillman Print Tenant Name: Lee A. Eisenberg

NOTE: Tenant Signature only necessary if Tenant is applying for a Grant

STATE OF ILLINOIS
COUNTY OF DUPAGE
VILLAGE OF DOWNERS GROVE

The foregoing petition was acknowledged before me by on this 23rd day of November, 2010.

Notary Public: *Julie G. Ames*
Notary Public



3 Copies of the completed application should be submitted to the Village's Community Development Department.

Applications may be dropped off at the Village Hall from 8:00 am and 5:00 pm Monday – Friday, or mailed to:

Village of Downers Grove
ATTN: Community Development Department
801 Burlington Avenue
Downers Grove, IL 60515

Disclosure of Beneficiaries/Trust Disclosure:

The information requested below must be completed and attached to any grant application submitted to the Village of Downers Grove. This form is used to ensure that the applicant has a recognized, vested interest in the property. This form is required by persons applying for permits, licenses, approvals or benefits from the Village of Downers Grove
Village of Downers Grove

DISCLOSURE OF BENEFICIARIES

1. Grant Applicant: Bill Kay's Downers Grove Nissan

2. Address: 1601 Ogden Ave

3. Nature of Applicant (Please circle one):

- a. Natural Person
- b. Corporation
- c. Land Trust/ Trustee
- d. Trust/Trustee
- e. Partnership
- f. Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of applicant:

5. If in your answer to Section 3 you checked box b, c, d, e or f, identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of case of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

- a. _____
- b. See Attached List
- c. _____
- d. _____

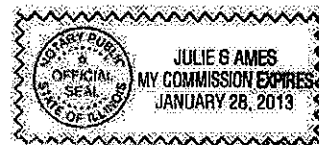
6. Name, address and capacity of person making this disclosure on behalf of the applicant:

IMPORTANT NOTE: In the event your answer to Section 5 identifies entities other than a natural person, additional disclosures are required for each entity.

VERIFICATION I, Lee A Eisenberg, being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact,

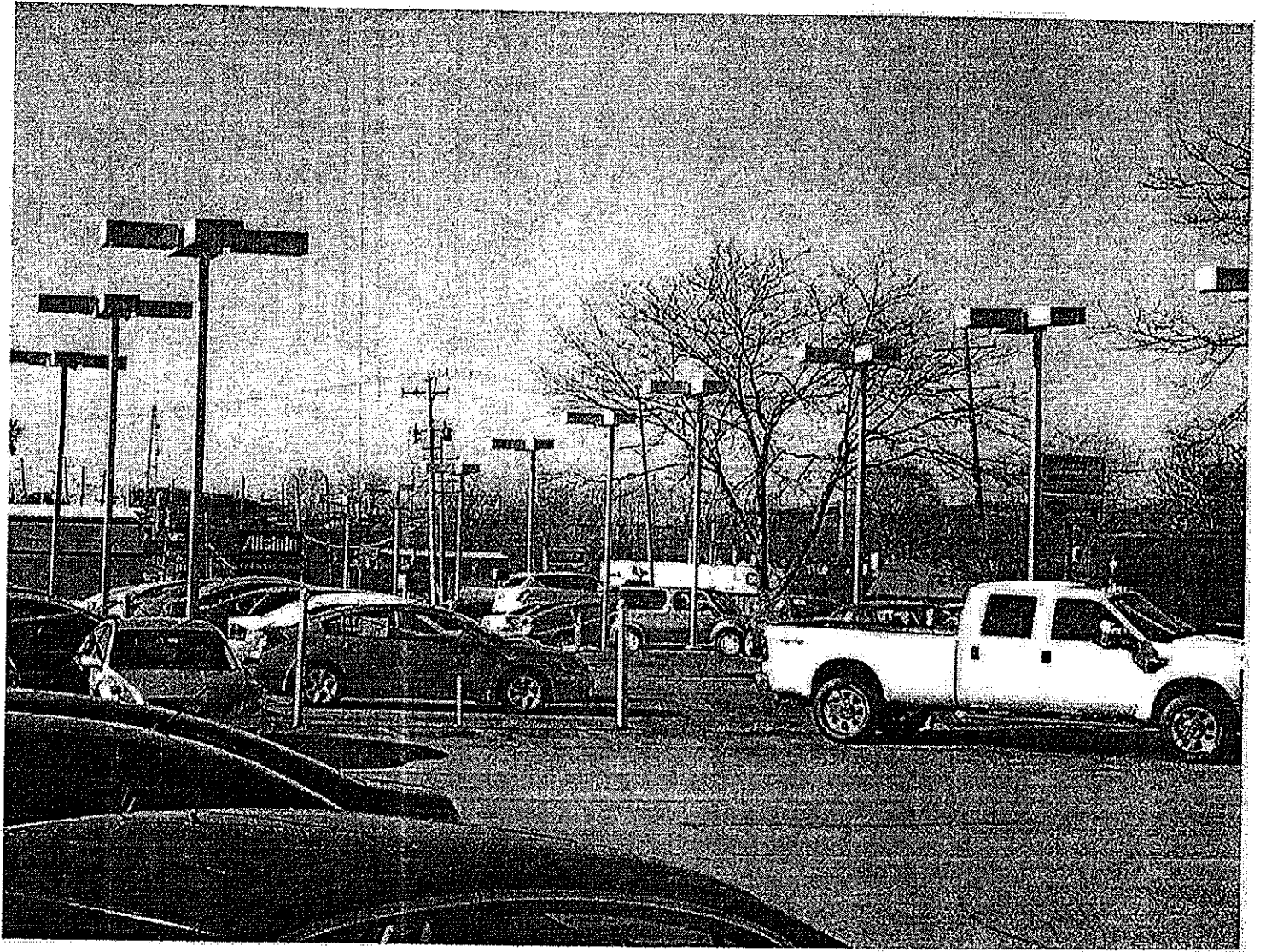
Signature: [Signature] Vice President

Subscribed and Sworn to before me this 23rd day of November, 2010.
[Signature] Notary Public

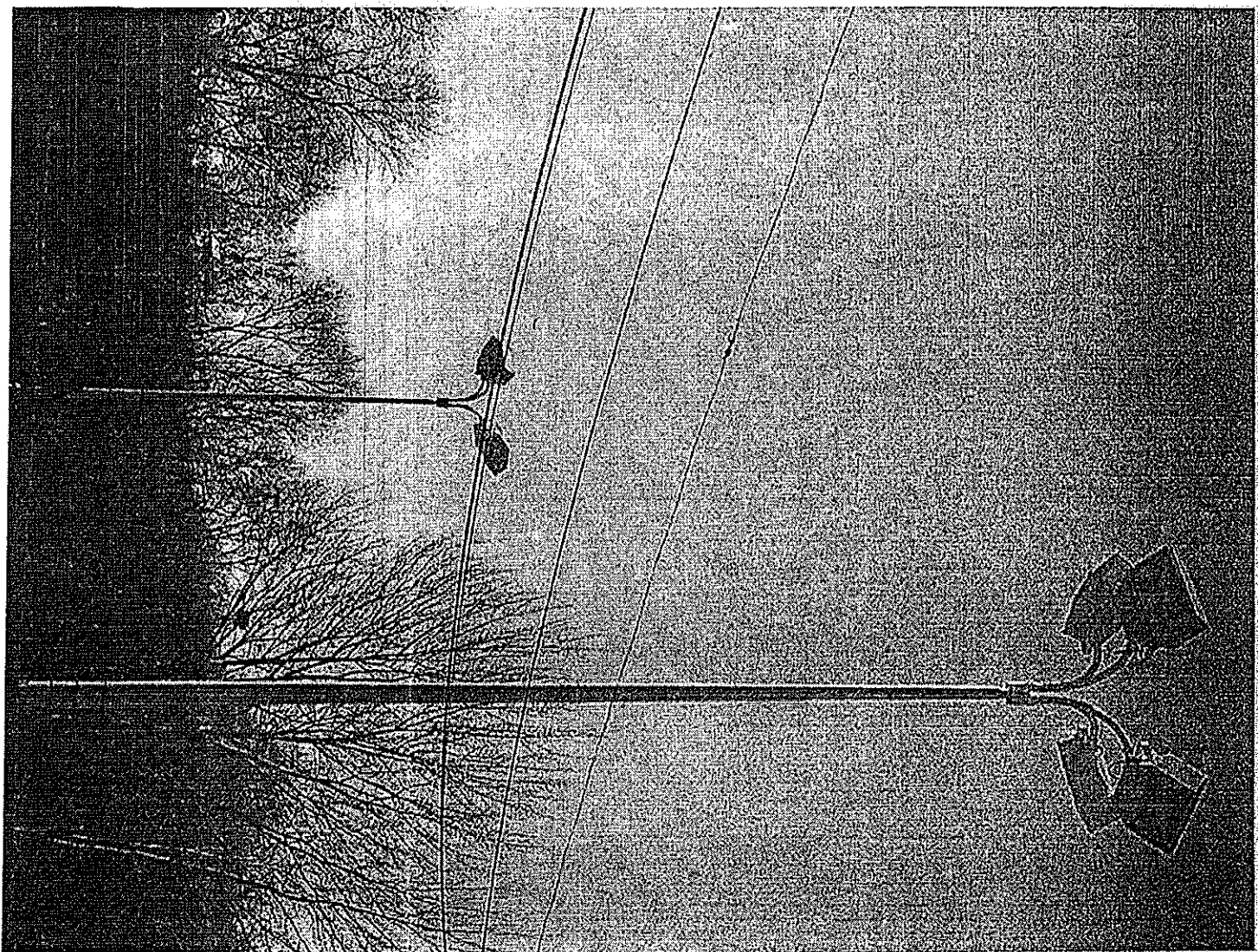


JK Realty Downers Grove, Inc
List of Shareholders

<u>Name</u>	<u>% of Ownership</u>
Judith A. Spellman 1 South 601 Verdun Winfield, IL 60190	25.00%
Mark J. Koloseike 9327 S. Bala Drive Tempe, AZ 85284	25.00%
William A. Koloseike 832 Woodlawn Naperville, IL 60540	25.00%
Nina B. Koloseike 510 Thorne Street Batavia, IL 60510	25.00%







B.E.I.

**PROPOSAL
BERNARDONI ELECTRIC, INC.
830 Tollgate Road Elgin, IL 60123**

PHONE (847) 697-2600 FAX (847) 697-2671

ATTENTION: Lee	PROJECT:	DATE: 10/12/10
PROPOSAL SUBMITTED TO: Bill Kay Nissan	PHONE: 630-829-4636	FAX NO.:
STREET: 1601 Ogden Avenue	JOB NAME: Lot Lighting	
CITY, STATE & ZIP CODE: Downers Grove, IL 60515-2736	JOB LOCATION: Downers Grove, IL	

WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR THE FOLLOWING:

Furnish all labor and material to complete the lighting renovations for the parking lot at Bill Kay Nissan in Downers Grove.

Phase 1 (north and east sales areas-blue)

All demolition of existing light poles and bases. Saw cut existing black top, remove black top, install conduits and wiring and fill trench with gravel. Pour new light pole bases as shown on Ruud Lighting photometrics plan. Install (15) new light poles and fixtures. Install new photocell with time clock, install new contactors as needed. All new light poles are to be equipped with fuses at each base. New light fixtures along outer perimeter of sales area are to be Ruud Front Line fixtures.

THE ABOVE WORK TO BE PERFORMED FOR THE SUM OF \$ 77,800.00

Phase 2 (center sales area-orange)

All demolition of existing light poles and bases. Saw cut existing black top, remove black top, install conduits and wiring and fill trench with gravel. Pour new light pole bases as shown on Ruud Lighting photometrics plan. Install (3) new light poles and fixtures. All new light poles are to be equipped with fuses at each base. New light poles to consist of double head-1000 watt fixtures.

THE ABOVE WORK TO BE PERFORMED FOR THE SUM OF \$ 19,100.00

Phase 3 (storage area-green)

All demolition of existing light poles and bases. Saw cut existing black top, remove black top, install conduits and wiring and fill trench with gravel. Pour new light pole bases as shown on Ruud Lighting photometrics plan. Install (4) new light poles and fixtures. All new light poles are to be equipped with fuses at each base. New light poles to consist of double head-1000 watt fixtures and single head fixtures with 400 watt heads.

THE ABOVE WORK TO BE PERFORMED FOR THE SUM OF \$ 27,800.00

Building Lighting (10 wallpacks)

Remove 10 existing wallpacks and replace with 10 new 400 watt pulse start wallpack fixtures.

THE ABOVE WORK TO BE PERFORMED FOR THE SUM OF \$ 3,720.00

If all three parking lot phases are to be done at one time, deduct \$ 2,700.00

Not included in this quotation is any permit fees or blacktop.

We Propose hereby to furnish material and labor complete in accordance with specifications above, for the sum of:

As Selected***** Dollars \$ _____

Authorized Signature

Tom Bernardoni

Payment to be made as follows:

**MONTHLY PAYMENTS BASED ON PERCENTAGE OF WORK COMPLETE.
TOTAL CONTRACT AMOUNT DUE 30 DAYS UPON JOB COMPLETION.**

Note: This proposal may be withdrawn by us if not accepted within 30 days.

TERMS AND CONDITIONS

All taxes included

No permit fees or any inspection fees included.

No Commonwealth Edison charges, if any, or pole work included.

All material is guaranteed to be as specified unless otherwise noted. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from drawings involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance. Bernardoni Electric, Inc. (BEI) excludes any costs associated with correcting design errors, omissions, or conflicts with local governing codes in the drawings or specifications. The issuance of this proposal does not constitute acceptance by BEI of any liquidated damages clause or condition in a referenced specification. Any contract or specification issued for contract mandating liquidated damages voids this proposal. The issuance of this proposal does not constitute acceptance by BEI of any assignment of liability under insurance waivers or indemnification or listing of additional insureds or waivers of subrogation. Any contract or specification issued for contract mandating assumption of indemnification by BEI for parties other than BEI will void this proposal.

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature: _____

Signature: _____

Position: _____

Position: _____

Date of Acceptance: _____

Date of Acceptance: _____



RUUD
LIGHTING

AeroDome™

Improved Lighting
with Fewer Fixtures
and Full Cutoff!

AeroDome™

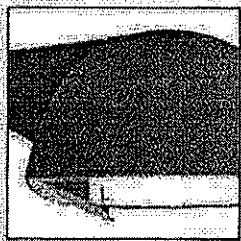
Full Cutoff Lighting and
Advanced **Vertical** Lamp
Optical Design!



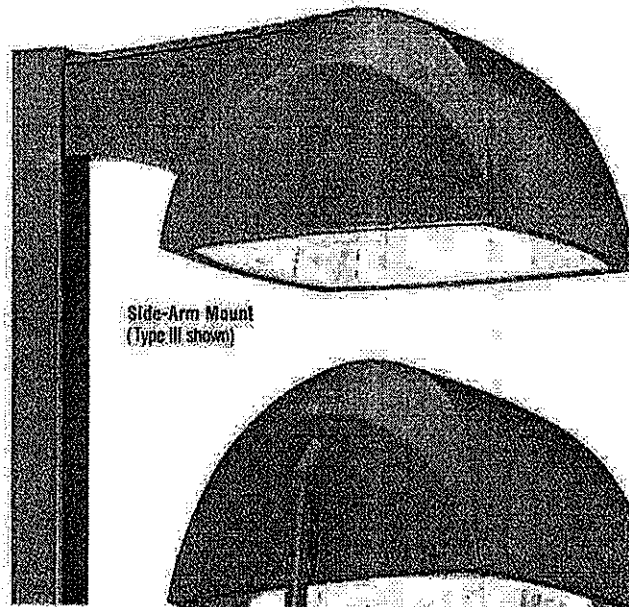
Up to 1000-watt PSMH,
MH or HPS lamp included

Offer Your Customers:

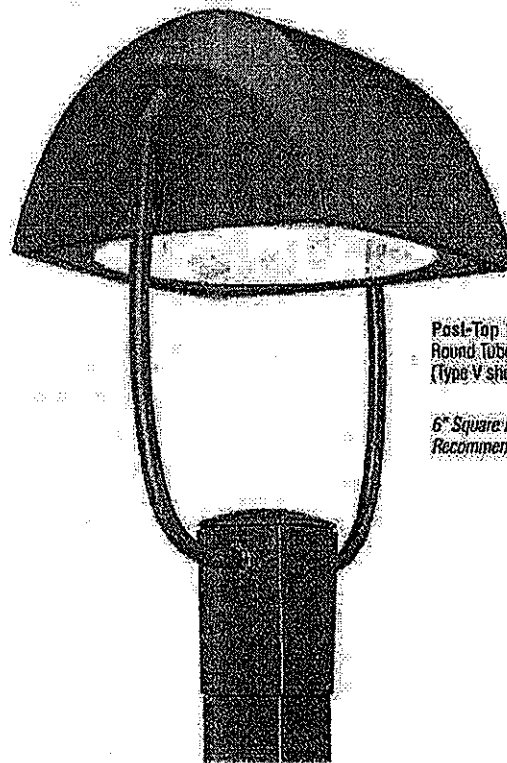
- Higher maintained light levels with fewer fixtures
- Greater spacing with improved uniformity
- Rotatable optics for mounting and layout flexibility
- IESNA Full Cutoff classification with flat glass lens



Backlight Shield (Optional)



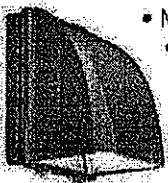
Side-Arm Mount
(Type III shown)



Post-Top Mount
Round Tube Center
(Type V shown)

6" Square Pole
Recommended

Match Form and Function on Your Next Project with our Full Cutoff Wall Pack!



- Meets IESNA Full Cutoff Classification
- Premium optics with vertical lamp up to 400-watt PSMH and MH
- Easy installation, uses EZ Wall Pack® mounting system
- Shares the design characteristics of the AeroDome family

Colors available with Exclusive Colorfast
DeltaGuard® finish, with 7-year warranty



Bronze



Black

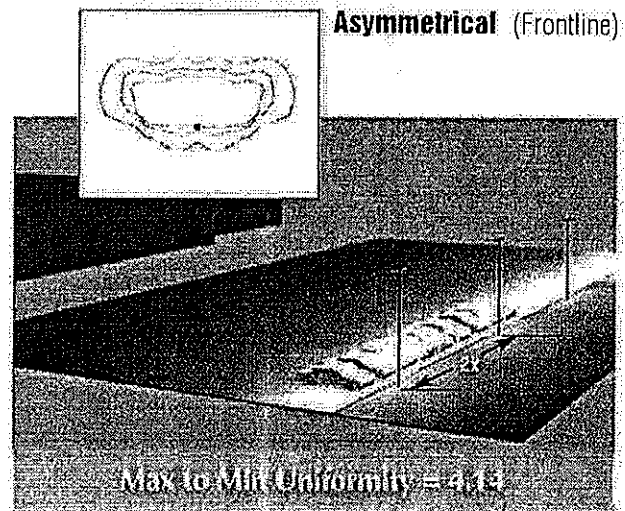
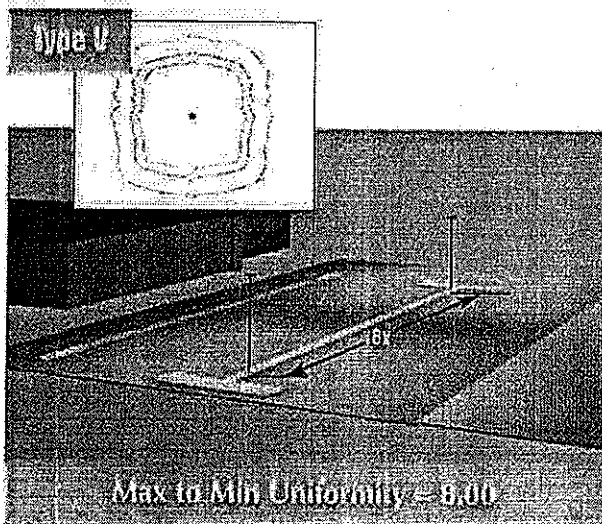
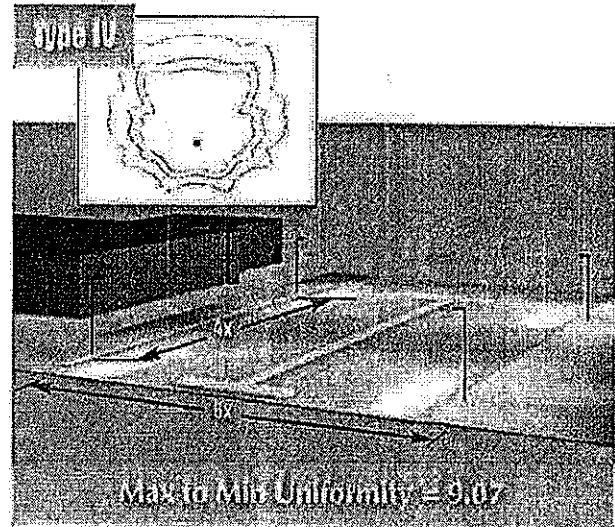
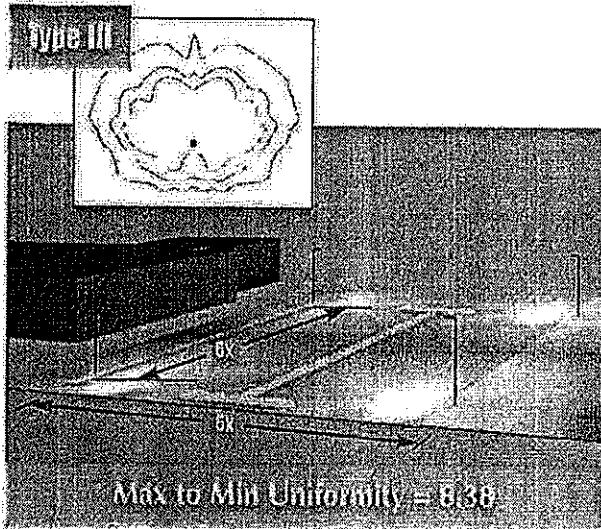


White



Silver

The right optic and pole spacing for every Area, Parking and Frontline Application!



x = Distance in Units of Mounting Height

Let us help you... take the guesswork out of selecting the right optic, pole spacing and height for your project.

Our Application Engineering Department is ready to help you design your next project. Call us for a free layout and quote today! 800-236-7000

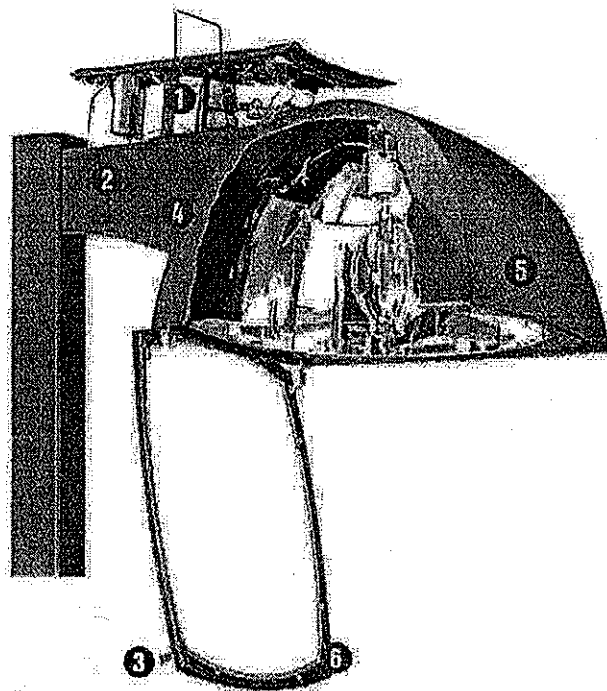
AeroDome™

Easy Installation... Saves Time and Money

- 1 Separate removable ballast module means you can install the fixture with less weight while mounting fixture to pole
- 2 Simple, direct pole Side-Arm or Post-Top Mount
- 3 Tool-less lens frame entry saves time, eases installation and maintenance

Longer Life... With Less Maintenance and No Worries

- 4 Isolated ballast compartment with thermal chimney manages heat for longer component life
- 5 Seamless, die-cast aluminum housing with Colorfast DeltaGuard® finish
- 6 High-temperature silicone gaskets seal optical system from debris and insects to reduce maintenance



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Dependability... DIRECT!

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Racine, Wisconsin 53406-3772

For additional information,
pricing and a free
professional lighting layout,

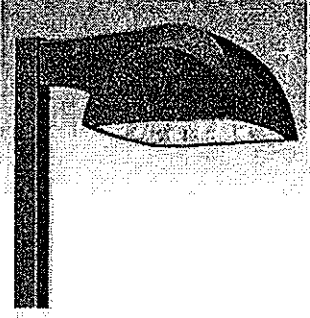
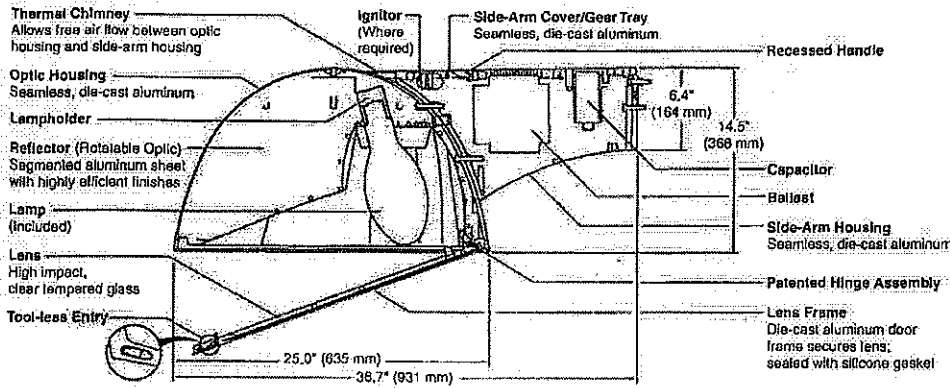
CALL TODAY!
(800) 236-7000

Visit us online at: www.ruudlighting.com

SIDE-ARM MOUNT

AERODOME™ FORWARD THROW (TYPE IV)

**AVV40-25
SERIES**



SPEC # WATTAGE CATALOG #

PULSE START METAL HALIDE		
SPEC #	250W PSMH	AVV4(c)6925-(a)(b)
SPEC #	300W PSMH	AVV4(c)6930-(a)(b)
SPEC #	320W PSMH	AVV4(c)6932-(a)(b)
SPEC #	350W PSMH	AVV4(c)6935-(a)(b)
SPEC #	400W PSMH	AVV4(c)6940-(a)(b)
SPEC #	450W PSMH	AVV4(c)6945-(a)(b)
SPEC #	750W PSMH	AVV4(c)675-(a)(b)
SPEC #	1000W PSMH	AVV4(c)699-(a)(b)
METAL HALIDE		
SPEC #	250W MH	AVV4(c)492-(a)(b)
SPEC #	400W MH	AVV4(c)494-(a)(b)
SPEC #	1000W MH	AVV4(c)499-(a)(b)
HIGH PRESSURE SODIUM		
SPEC #	250W HPS	AVV4(c)592-(a)(b)
SPEC #	400W HPS	AVV4(c)594-(a)(b)
SPEC #	1000W HPS	AVV4(c)599-(a)(b)

Specify (a) Voltage, (b) Options & (c) Mounting/Rotatable Optics.
 Ⓢ Reduced envelope lamp; BT37 for 1000W PSMH & 1000W MH; ED37 for 1000W HPS.

(a) VOLTAGE SUFFIX KEY

D	120/277V
M	120/208/240/277V (Standard)
T	120/277/347V (Canada Only)
1	120V
2	277V
27	277V Reactor (PSMH Only)
3	208V
4	240V
5	480V
6	347V (Canada Only)

For voltage availability outside the US and Canada, see Bulletin TD-9 or contact your Ruud Lighting authorized International Distributor.

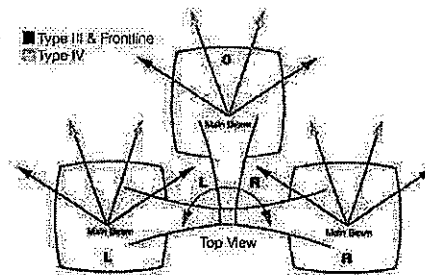
(b) OPTIONS (factory-installed)

(a)F	Fusing
(a)P	Button Photocell
-1P	External Photocell (for 1000W/120V)
-5P	External Photocell (for 480V)
Q	Quartz Standby (includes 100W quartz lamp) (N/A on 277V Reactor)

Specify (a) Single Voltage — See Voltage Suffix Key

(c) MOUNTING/ROTATABLE OPTICS

O	Standard Configuration
L	Rotated Left of Standard Configuration
R	Rotated Right of Standard Configuration



Notes

GENERAL DESCRIPTION

Parking lot and roadway full cutoff luminaire for HID lamp, totally enclosed. Housing is seamless, die-cast aluminum. Electrical components are heat-sunk and contained in mounting arm assembly (direct mount configuration). Lens assembly consists of tool-less quick release frame constructed of rigid aluminum and high-impact, clear-tempered glass lens. High-temperature silicone gasket seals lens from water and insects.

FINISH

Exclusive DeltaGuard® finish features an E-coat epoxy primer with medium bronze ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

ELECTRICAL

Fixture includes clear, mogul-base lamp. 1000W PSMH & MH utilize the BT37 reduced envelope lamp. 1000W HPS utilizes the ED37 reduced envelope lamp. Pulse-rated porcelain enclosed, 4kv (5kv for 750 & 1000W PSMH) rated screw-shell-type lampholder with spring-loaded center contact. Lamp ignitor included where required. All ballast assemblies are high-power factor and use the following circuit type:

Reactor (277V PSMH)
250 – 450W PSMH

CWA — Constant Wattage Autotransformer
250 – 1000W PSMH; 250 – 1000W MH;
250 – 1000W HPS

LABELS

ANSI lamp wattage label supplied, visible during relamping. UL Listed in US and Canada for wet locations.

PATENTS

US 4,689,729; D531,882; Canada 108888; Other Patents Pending.

ACCESSORIES: (field-installed)

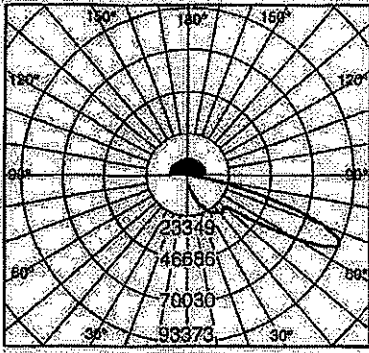
AVRP-3 Round Pole Adaptor (fits 3" – 6" dia. pole)

AVV40-25
SERIES

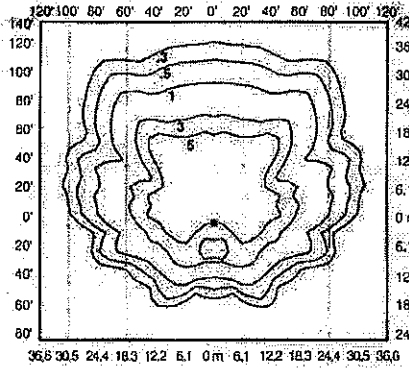
SIDE-ARM MOUNT

AERODOME™ FORWARD THROW (TYPE IV)

Isofootcandle plots show initial footcandles at grade. (Footcandles \div 0.0929 = Lux)



Lighting Sciences Inc.
Certified Test Report No. LSI 21227
Candlepower distribution curve of 1000W MH
AeroDome Light.



Isofootcandle plot of 1000W MH AeroDome
Light at 32' (9.7 m) AFG (30' (9.1 m)
pole plus 2' (0.6 m) base height).
(Plan view)



9201 Washington Avenue Racine, Wisconsin 53406-3772 USA

PHONE (262) 886-1900

FAX (262) 884-3309

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01/23/08

Exhibit B
Campaign Disclosure Certificate

The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity that is a party to a contract with the Village to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the contract.

By signing the contract, Applicant agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

- Applicant has not contributed to any elected Village position within the last five (5) years.

Signature

Print Name

- Applicant has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

Name of Contributor: _____
(company or individual)

To whom contribution was made: _____

Year contribution made: _____ Amount: \$ _____

Signature

Print Name

OASIS Grant
Site A: Bill Kay Nissan - 1601 Ogden Ave





www.downers.us

June 15, 2011

Lee A. Eisenberg
Bill Kay Nissan
1601 Ogden Avenue
Downers Grove, IL 60515

Re: OASIS Grant for 1601 Ogden Avenue (Bill Kay Nissan)

**COMMUNITY RESPONSE
CENTER**

630.434.CALL (2255)

CIVIC CENTER

801 Burlington Avenue
Downers Grove
Illinois 60515-4782
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

FIRE DEPARTMENT

ADMINISTRATION
5420 Main Street
Downers Grove
Illinois 60515-4834
630.434.5980
FAX 630.434.5998

POLICE DEPARTMENT

825 Burlington Avenue
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

**PUBLIC WORKS
DEPARTMENT**

5101 Walnut Avenue
Downers Grove
Illinois 60515-4046
630.434.5460
FAX 630.434.5495

Dear Mr. Eisenberg:

Thank you for your interest in the Ogden Avenue Site Improvement Strategy (OASIS) Program. The OASIS Team met on May 10, 2011 to review your application for a matching grant for site lighting improvements at the above-mentioned property.

The OASIS Team is pleased to inform you that the request is being recommended for funding. The OASIS Team is recommending a grant in the amount of \$40,000 based on the quotes provided. Because the request is more than \$15,000, the recommendation of the OASIS Team will be forwarded to the Village Council.

Village staff anticipates Village Council consideration of the OASIS Grant will take place on **July 19, 2011**. Please note, pursuant to the State of Illinois Labor Laws, the project must use prevailing wage labor.

Please contact me if you have any comments or questions. I can be reached at 630.434.5520 or jobrien@downers.us.

Sincerely,
The OASIS Team

Jeff O'Brien, AICP
Planning Manager
Village of Downers Grove

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING EXECUTION OF A GRANT
AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE
AND DOWNERS GROVE ANIMAL HOSPITAL AND BIRD CLINIC, P.C.**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois,
as follows:

1. That the form and substance of a certain Grant Agreement (the "Agreement"), between the Village of Downers Grove (the "Village") and Downers Grove Animal Hospital and Bird Clinic, P.C. (the "Applicant"), for OASIS Program grant funding, in the amount of \$48,737.00, to make improvements to the property/business located at 631-635 Ogden Avenue, which is along the Ogden Avenue commercial corridor, as set forth in the form of the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provisions of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____
Village Clerk

OASIS GRANT AGREEMENT

THIS AGREEMENT is made this ____ day of _____, 2011 by and between the Village of Downers Grove, Illinois, an Illinois municipal corporation with offices at 801 Burlington Avenue, Downers Grove, Illinois 60515, (“the Village”) and Downers Grove Animal Hospital and Bird Clinic, P.C. at 631-635 Ogden Avenue, Downers Grove, Illinois 60515 (“Applicant”).

WITNESSETH:

WHEREAS, the Village has established the Ogden Avenue Site Improvement Strategy Program (“OASIS Program”) for application to receive a grant from the Village to make improvements to properties/businesses along the Ogden Avenue commercial corridor; and,

WHEREAS, said Program is funded from TIF funds for the purpose of controlling and preventing blight and deterioration within the Ogden Avenue Tax Increment Finance District (“TIF District”), and to encourage the further redevelopment of properties in the TIF District in accordance with the general guidelines set forth in the Program as adopted in Ordinance 5150 on September 14, 2010; and,

WHEREAS, Applicant owns a property/business at 631-635 Ogden Avenue Downers Grove, Illinois 09-05-402-027 and 09-05-402-028 which is located within the TIF District; and

WHEREAS, pursuant to the Program the Village has agreed to financially participate, subject to its sole discretion, the Program Guidelines, and the terms and conditions set forth in this Agreement; and,

WHEREAS, the Applicant desires to participate in the Program, subject to the Program Guidelines and the terms and conditions set forth in this Agreement;

NOW THEREFORE, in consideration of the mutual covenants and agreement herein set forth, and other good and valuable consideration, the Parties do hereby agree as follows:

A. General Provisions:

1. The above recitals are incorporated into and made part of this Agreement as though fully set forth herein.
2. This Agreement may not be transferred or assigned.
3. This Agreement may be terminated by either party by giving ten (10) days written notice to the other party. If the Applicant terminates this Agreement, the Village shall not be required to make any reimbursement payments to the Applicant.
4. In the event the Applicant fails to complete the project and submit the required proof of payment documents in the required timeframe, the Village may terminate this Agreement and award the funds to other eligible projects.
5. The parties shall have any and all remedies available at law in the event of a breach of this Agreement.
6. Applicant acknowledges that the Freedom of Information Act may apply to public records in possession of Applicant or a contractor. Applicant and its contractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. 5 ICLS 140/1 et. seq.
7. This Agreement will be governed by and construed in accordance with the laws of the State of Illinois. Venue is proper only in the County of DuPage.

8. This Agreement will not be subject to amendment unless made in writing and signed by all parties.
9. Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to designated representatives of both parties as follows:

Village Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

To the Applicant as stated below.

B. Applicant's Obligations:

1. Applicant shall complete the project in substantial compliance with the attached plans, incorporated as part of this Agreement as Exhibit A. Any changes to the plans shall require written approval from the Community Development Director, or his designee.
2. Applicant shall grant an easement to the Village for, or install, a public sidewalk along that portion of the subject property adjacent to Ogden Avenue where no public sidewalk currently exists.
3. Applicant, at its own expense, shall obtain all necessary permits prior to commencement of any work to complete the improvements.
4. Applicant shall submit the following required proof of payment documents:
 - a. Itemized paid-in-full invoices.
 - b. Canceled checks for the payment for the completed improvements.
 - c. Final lien waivers, if applicable.
 - d. Certified payroll records of contractors.
5. Applicant understands that it will not receive payment if there are any outstanding code violations on the property or if Applicant owes any money to the Village.
6. Applicant shall complete the project and submit the required proof of payment documents within one (1) year of the effective date of this Agreement. If the project is not completed or if the required proof of payment documents are not submitted within one (1) year, the Village shall have the right to declare this Agreement null and void and shall not be required to make any reimbursement payments to the Applicant.
7. Applicant shall complete the project in such a manner as to comply with all conditions of this Agreement, and in accordance with the Program Guidelines and all pertinent regulations, ordinances, or codes of the Village or other authority having jurisdiction over the property.
8. Applicant is hereby notified by the Village that work contemplated by this Agreement may be subject to the Prevailing Wage Act ("Act"), 820 ILCS 130/1 et seq. Applicant agrees to comply with all applicable provisions of the Act as administered by the Illinois Department of Labor ("IDOL"). Applicant further agrees to contact IDOL for a determination of applicability of the Act to the project contemplated by this Agreement. If required by IDOL, Applicant agrees to pay the prevailing wage rates and to require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work on the projects contemplated by this Agreement. For applicable rates, go to the State of Illinois – Department of Labor website and use the most current DuPage county rate. Applicant recognizes and agrees that it is solely responsible for compliance with the Act and agrees to fully indemnify, defend and hold harmless the Village with regard to any actions or proceeding instituted regarding such compliance.

9. Applicant shall be required to submit an executed Campaign Disclosure Certificate, attached hereto as Exhibit B.

C. Village's Obligations:

1. The Village shall reimburse the Applicant for one-half (1/2) of the actual incurred costs to complete all eligible aspects of the project. The amount of said reimbursement shall not exceed \$48,737.
2. The Village shall remit payment to the Applicant within sixty (60) days of completion of the project and receipt of the required proof of payment documents.
3. The Village shall diligently review permit submittals, issue permits and complete required inspections deemed necessary to complete the project.

IN WITNESS HEREOF, the parties set their hand and seal the day and date hereinabove written.

APPLICANT:

Downers Grove Animal Hospital & Bird Clinic, PC
635 Ogden Avenue
Downers Grove, IL

VILLAGE OF DOWNERS GROVE:

By:

Signature

Village Manager

Print Name

Attest:

Title

Village Clerk

Application

A printable version of the Ogden Avenue Site Improvement Reimbursement Grant Application is available on-line at www.downers.us or www.dgedc.com. A paper copy of the application is available on the next page. Three (3) copies of the complete application, including any support documentation are due by the application deadline(s).

Applicant is:	<input checked="" type="checkbox"/> Tenant <input type="checkbox"/> Owner
Name of Business/Building:	Downers Grove Animal Hospital & Bird Clinic, P.C.
Address/Property ID # of Project Property:	635 Ogden Ave Downers Grove, IL 60515
Owner s Name AND TITLE:	Robert J. Merkin, President and Majority Owner
Owner s Mailing Address:	4518 Cornell Ave. Downers Grove, IL 60515
Owner s Business Phone:	(630) 968-2812
Owner s Fax:	(630) 968-7402
Owner s E-Mail:	RmerkinDVM@DGAnimalHospital.com
PLEASE ONLY COMPLETE THE REST OF THIS TABLE IF TENANT IS THE GRANT APPLICANT.	
Tenant Name AND TITLE:	Downers Grove Animal Hospital & Bird Clinic, P.C.
Tenant Mailing Address:	635 Ogden Ave. Downers Grove, IL 60515
Business Phone for Tenant:	(630) 968-2812
E-Mail for Tenant:	RmerkinDVM@DGAnimalHospital.com GMerkinDVM@DGAnimalHospital.com

Project Description: See Attachment

Project Description:

Downers Grove Animal Hospital & Bird Clinic, P.C. (DGAH) plans to undertake a complete renovation commencing in 2011 to be completed in the early months of 2012. This project will encompass all of the four project types eligible for OASIS funding, and it will be entirely consistent with the goals of the OASIS program.

Site improvement elements will include parking lot reconstruction (not simply resurfacing), burying of overhead power lines at the southeast corner of the building, maintenance of existing vehicular access to neighboring Trek Bicycle Shop, fencing of adjacent properties and fencing of refuse and animal areas. Preliminary estimates show that we will be spending upwards of \$50,000.00 on site improvement.

Landscaping will be added and replaced to conform to existing codes to include parking lot screening with shrubs and/or ornamental grasses, installation of building foundation plantings and the addition of green areas not already in existence. Preliminary estimates show that our landscaping could cost upwards of \$20,000.00 with more than \$6,000.00 eligible for OASIS funding.

Major Facade renovation will include cedar siding, storefront door and window replacement. New real thin cut stone, limestone sills above the stone with stucco designed & applied to look like real brick above the sill. Preliminary estimates show that we plan to spend well in excess of \$50,000.00 on facade renovation.

Our existing free-standing sign will be replaced with a code-compliant monument style sign and wall signage as allowed by existing code. Preliminary estimates show that our planned monument sign will likely cost upwards of \$10,000.00 with wall signage in excess of \$4,000.00.

The project that we plan to complete is consistent with the published goals of the OASIS program in that we will:

- Provide a more attractive site through major facade renovation and landscaping.
- Improve traffic circulation by maintaining a turnaround for large delivery trucks which will discourage parking in the center lane of Ogden Ave for deliveries.
- Improve existing building appearance.
- Improve signage.

Preliminary estimates show that we will be spending well in excess of \$600,000 on this project, with over \$100,000 going directly to components of the project that comply with the OASIS program. We therefore request the maximum allowable grant. Additionally, considering the size of our project and the fact that all four categories of the OASIS program are being addressed, we would request that the maximum grant be increased by 25% as described under "conditions" on page 4 of Village Ordinance 5150.

Existing Site Conditions:

Please provide a photo of current site conditions to illustrate where improvements are proposed. Photo should be provided in a paper or digital (e.g. JPEG) format. Electronic photos may be e-mailed to: jobrien@downers.us.

Written Project Description:

Please describe your proposed project improvement. Attach pages as needed.

See attachment.

Required Documentation For Submittal:

3 copies of the complete application, including any support documentation are due by **December 1, 2010**. Additional copies may be requested by OASIS team after the application deadline.

1. If you are proposing an alteration to a building the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Façade elevations (as determined necessary at pre-application meeting*), including height, length and width measurements
- Color scheme of the proposed addition or alteration
- Building material samples (roof, siding, chimneys, etc.) if applicable
- Site plan with building outline and proposed changes
- Cut sheets for proposed doors and windows, if applicable

If you have questions about this, please contact the Community Development Department. Specific questions about submittal requirements will be answered during the pre-application meeting.

2. If you are proposing landscape/or other site improvements the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11"x 17 in size.

- Site plan with building outline and proposed changes to site
- Landscape plan, if applicable (e.g. access, driveway consolidation, etc)

3. If you are proposing a new sign/awning/canopy the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page:

- Color drawing of the sign/awning including measurements of free-standing sign and site plan showing sign location on a site
- Façade elevation showing sign/awning placement, if plan applicable

Schedule Information:

Anticipated Project Start Date: 9/1/2011

Anticipate Project Completion Date: 3/1/2012

NOTE: Completion Date must be prior within one year of the year following application.

Architect / Designer for the Project (If Applicable):

Name: KLLM Architects, Inc.

Address: 1700 W. Cortland Street, Suite 203, Chicago, IL 60622

Phone: (773) 365-8700

Fax: (773) 365-5556

Contractor for the Project (If Known):

Name: RWE Management Company

Address: 16 W. 361 S. Frontage Rd. Suite 106

Phone: (630) 734-0883

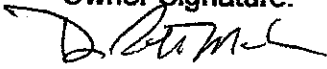
Fax: (630)734-0884

	Total Site Improvement Costs	Grant Eligible Project Costs*	TO BE COMPLETED BY CITY	
			Grant Contribution	Bonus Award
ESTIMATE 1 Contractor Name: Ability Builders Inc.		\$125,100.00		
ESTIMATE 2 Contractor Name: RWE Management Company	\$169,624.00	\$112,468.41		

Two detailed contractor estimates are required. Please provide additional sheets with supporting detail as necessary.

This application for a Site Improvement Reimbursement Grant is hereby believed to be complete and accurate.

Owner Signature:



Tenant Signature:



Print Owners Name:

Dr. Robert Merz
4/25/11

Print Tenant Name:

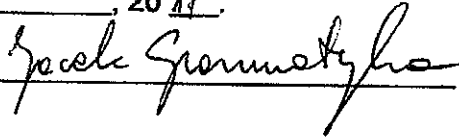
Downers Grove Animal Hospital & Bird Clinic, PC.

NOTE: Tenant Signature only necessary if
Tenant is applying for a Grant

STATE OF ILLINOIS
COUNTY OF DUPAGE
VILLAGE OF DOWNERS GROVE

The foregoing petition was acknowledged before me by on this 25 day of
April, 2011.

Notary Public:



Notary Public



3 Copies of the completed application should be submitted to the Village's
Community Development Department.

Applications may be dropped off at the Village Hall from 8:00 am and 5:00 pm
Monday – Friday, or mailed to:

Village of Downers Grove
ATTN: Community Development Department
801 Burlington Avenue
Downers Grove, IL 60515

Disclosure of Beneficiaries/Trust Disclosure:

The information requested below must be completed and attached to any grant application submitted to the Village of Downers Grove. This form is used to ensure that the applicant has a recognized, vested interest in the property. This form is required by persons applying for permits, licenses, approvals or benefits from the Village of Downers Grove
Village of Downers Grove

DISCLOSURE OF BENEFICIARIES

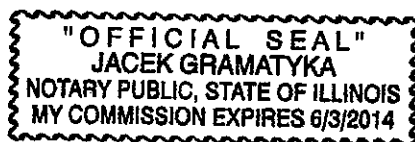
1. Grant Applicant: _____
2. Address: _____
3. Nature of Applicant (Please circle one):
 - a. Natural Person
 - b. Corporation
 - c. Land Trust/ Trustee
 - d. Trust/Trustee
 - e. Partnership
 - f. Joint Venture
4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of applicant: S-Corporation
5. If in your answer to Section 3 you checked box b, c, d, e or f, identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of case of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

6. Name, address and capacity of person making this disclosure on behalf of the applicant:

IMPORTANT NOTE: In the event your answer to Section 5 identifies entities other than a natural person, additional disclosures are required for each entity.
VERIFICATION I, , being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Signature: *D. J. Mc...*

Subscribed and Sworn to before me this 25 day of April, 20 11.
Jacek Gramatyka Notary
Public



Program Summary and Evaluation Criteria

The Ogden Avenue Site Improvement Strategy (OASIS) is a program that offers matching grants to business and property owners seeking to make improvements to their sites in the Ogden Avenue TIF Corridor. The goals of the OASIS program are:

- Provide more attractive sites
- Improve traffic circulation for vehicles and pedestrians (on private property as well as the street)
- Improve existing building appearance
- Improve signage and reduce visual clutter

These goals are based on the findings of the 1999 Ogden Avenue Commercial Corridor Master Plan and Village's Strategic Plan. Projects will be reviewed in the context of the recommendations contained within those documents. The categories described below will be used to judge applications.

Applications are judged on a qualitative basis. The OASIS Program is competitive and all applications will be judged against one another – regardless of the number of improvements proposed. The OASIS team will judge applications based on the number of features being improved by an application, the quality of those improvements and how those address the goals of the program. The best projects will be awarded a matching OASIS Grant. Each category contains examples of improvements that are identified as important components to fulfill the goals listed above. The successful project will include multiple elements of the categories below.

Category 1 – Site Improvements:

Examples of site improvements include consolidating driveway accesses to Ogden Avenue, removal of nonconforming parking spaces, installing stormwater management strategies, removing pavement and adding landscaping, providing cross-access between properties, installation of public sidewalks and installation of exterior site lighting.

Projects should seek to beautify the property and improve traffic circulation on site and on Ogden Avenue. The OASIS Team will give special consideration to projects at major intersections (Main St, Saratoga Ave, Fairview Ave and Lee Ave).

Improvement proposed: Yes No

Comments:

Category 2 – Landscaping:

Examples of landscaping include screening of off-street parking areas with shrubs, ornamental grasses and shrubs, installing landscaping to improve water run-off quality, installation of foundation plantings, installing ornamental fences, construction of outdoor café spaces and installation of shade trees.

Projects should seek to beautify the property and improve green space. The OASIS Team will give special consideration to landscaping projects that combine elements to improve on-site stormwater management.

Improvement proposed: Yes No

Comments:

Category 3 – Building Facade:

Examples of improvements to building facades include major renovations that update a building's appearance (a "major renovation" affects more than 50% of existing exterior walls fronting Ogden Avenue or adjacent side streets), installation of a canopy or awning, adding transparent windows, adding pedestrian-friendly doors and shrubs, installing parapet walls and decorative cornices that hide mechanical equipment and installation of decorative lighting fixtures on the building.

Projects should seek to use high-quality materials and designs. Building facade improvements should enhance the commercial nature of the corridor and complement nearby high-quality buildings. Examples of high-quality buildings include: 42-76 Ogden Avenue, 217 Ogden Avenue, 225 Ogden Avenue, 400 Ogden Avenue, 401 Ogden Avenue, 639 Ogden Avenue, 807 Ogden Avenue, 1000 Ogden Avenue, 1148 Ogden Avenue, and 1601 Ogden Avenue.

Improvement proposed: Yes No

Comments:

Category 4 – Signs:

Examples of improvements to signage include removal of non-conforming signs and installation of code-compliant signs and removal of box-type wall signs and replacement with channel letter signage. Note: sign-only applications will not be funded until the third submission deadline. At that time, sign-only requests will only be funded after all other requests

The successful project will bring the property into compliance with the Village's sign ordinance. Projects should seek to use high-quality materials and designs. The signage should be designed to enhance the business' visibility from Ogden Avenue while removing visual clutter from the corridor.

Improvement proposed: Yes No

Comments:

Overall Project Comments:

OASIS Team Recommendation:

**ABILITY BUILDERS INC.
6534 SOUTH BENTLEY AVE.
WILLOWBROOK, IL. 60527**

Office: 630-323-3873

Fax: 630-986-5899

Cell: 630-217-3874

April 23, 2011

To: Doctor Robert Merkin
Downers Grove Animal Hospital
635 Ogden Ave.
Downers Grove, IL 60515

RE: Exterior Renovation

The following is a break down of allowances relating to the construction of the blacktop drive, parking lot, landscaping, fencing, signage, underground electric and renovation of the north side of the building which is included in the contract between Ability Builders Inc., and Downers Grove Animal Hospital dated October 2, 2010.

1. Blacktop drive, parking lot, dumpster pads and parking bumpers.	\$51,820.00
2. Landscaping as outlined in attached document.	\$6,200.00
3. Fencing, trash enclosure, exercising area and rear property line.	\$7,680.00
4. Signage including monument sign, foundation, electric supply, stone veneer and building signs.	\$12,900.00
5. Underground electric service for the building.	\$4,500.00
6. Renovation of the front north side of the building including stone, masonry, siding, windows, door and lighting.	<u>\$42,000.00</u>
TOTAL	\$125,100.00

Demolition, excavation, hauling and removal of debris are included in the above allowances.

Ability Builders Inc.
By. Howard Beauchamp
Secretary

RWE Management Breakdown for OASIS Application

Landscaping	Site Improvement	Facade	Sign
Kerria Japonica \$98.96	Paving \$26,662.00	Mansard Removal \$800.00	Pour foundation \$1,195.00
Dwarf Fothergilla \$167.82	Fencing \$7,846.00	Masonry \$20,800.00	Masonry \$2,040.00
Dwarf Little Sweetspere \$267.23	Excavation \$1,163.00	Soffit & Fascia \$600.00	Monument \$6,400.00
Purple Median Grass \$67.87	New Underground Service \$8,000.00	Gutters \$600.00	North Building \$1,780.00
Carefree Rose \$267.68	General Conditions \$2,445.58	Siding \$1,798.00	South Building \$1,780.00
Red Spirit Winterberry \$497.78	Management Fee \$4,367.10	Doors \$2,200.00	Power \$500.00
Hostas \$88.70	Total \$50,483.68	Windows \$5,250.00	Lights for Wall Signage \$2,400.00
Texas Scarlet \$140.47		General Conditions \$1,794.69	General Conditions \$901.32
Compost \$550.00		Management Fee \$3,204.80	Management Fee \$1,609.50
Mulch \$487.50		Total \$37,047.49	Total \$18,605.82
Bed Prep \$270.00			
Bed Excavation \$675.00			
Northeast corner excavation \$250.00			
North planter excavation \$848.00			
Existing sign excavation \$800.00			
General Conditions \$306.71			
Management Fee \$547.70			
Total \$6,331.42			

Overall Project Cost \$112,468.41

RWE MANAGEMENT COMPANY
COST ESTIMATE

DOWNERS GROVE ANIMAL HOSPITAL

RWE Management Company
16W361 S. Frontage Rd. Suite 106
Burr Ridge, IL 60527
Tel/ 630.734.0883
Fax/ 630.734.0884

Date: 4/25/2011
Job: Downers Grove Animal Hospital
635 Ogden Ave
Downers Grove, IL 60515

RE: Exterior Work Estimate

CSI	DESCRIPTION	QTY	\$/QTY	Total	North Elev.	East Elev.	South Elev.	Site Work	Subtotals
2.510	Paving								
	Patch misc. potholes, grind entire lot 1 1/2" deep	1	ls \$ 24,790.00	\$ 24,790				\$ 24,790	
	New rear south parking - 3" asphalt surface over 8" stone base	52	sq yds \$ 36.00	\$ 1,872				\$ 1,872	
	Install new 1 1/2" surface			Included					
	Restripe and install 21 new wheel stops			Included					
2.830	Fencing								\$ 26,662 Paving Subtotal
	Exercise Area - 8'-0" H PVC Fence	42	lf \$ 66.00	\$ 2,772				\$ 2,772	
	Rear Property line 6'-0" Cedar Privacy Fence	118	lf \$ 22.00	\$ 2,596				\$ 2,596	
	Isolation Front & Back 8'-0" H PVC Fence	7	lf \$ 66.00	\$ 462				\$ 462	
	Isolation Gate 8'-0" H PVC Fence	1	ea \$ 500.00	\$ 500				\$ 500	
	Trash Enclosure 6'-0" H Cedar Fence	28	lf \$ 22.00	\$ 616				\$ 616	
	Trash Enclosure Cedar Double Gate 6'-0" H	2	ea \$ 450.00	\$ 900				\$ 900	
2.900	Landscaping								\$ 7,846 Fencing Subtotal
	Landscape per drawings	1	ls \$ 12,487.00	\$ 12,487				\$ 12,487	
2.150	Excavation								\$ 12,487 Landscaping Subtotal
	Remove asphalt paving on north elevation to create planter area	848	sf \$ 1.00	\$ 848				\$ 848	
	Excavate for monumental signage	1	ls \$ 800.00	\$ 800				\$ 800	
	Excavate for trash enclosure	1	ls \$ 1,200.00	\$ 1,200				\$ 1,200	
	Remove asphalt along south side of building	960	sf \$ 1.00	\$ 960				\$ 960	
	Excavate for additional south parking lot at fence	465	sf \$ 2.50	\$ 1,163				\$ 1,163	
	North East Corner - Excavate for green space	100	sf \$ 2.50	\$ 250				\$ 250	
	Hauling excess material off site include for the above								\$ 5,221 Excavation Subtotal

RWE MANAGEMENT COMPANY
COST ESTIMATE

DOWNERS GROVE ANIMAL HOSPITAL

CSI	DESCRIPTION	QTY	\$/QTY	North					
				Total	East Elev.	South Elev.	Site Work	Subtotals	
2.200	Demolition	1	ls \$	800.00	\$	800			
	Remove mansard overhangs								
3.300	Concrete								\$ 800 Demolition Subtotal
	Pour monument sign foundation	1	ea \$	1,195.00	\$	1,195			
	Pour trash enclosure Slab with thickened edges	1	ea \$	1,490.00	\$	1,490			\$ 1,490 Concrete Subtotal
4.200	Masonry								\$ 2,685 Concrete Subtotal
	North Elevation								
	Install thin stone allowance \$10 per sf	262	sf \$	25	\$	6,550	\$	6,550	
	Limestone sills above the stone	97	lf \$	18	\$	1,750	\$	1,750	
	Direct stucco application over the existing CMU with brick design	900	sf \$	10	\$	8,550	\$	8,550	
	Modify opening for doors and windows	4	ea \$	500	\$	2,000	\$	2,000	
	Close existing opening	3	ea \$	250	\$	750	\$	750	
	Cut new opening	1	ea \$	1,200	\$	1,200	\$	1,200	
	East Elevation								
	Install thin stone allowance \$10 per sf	153	sf \$	25	\$	3,825	\$	3,825	
	Limestone sills above the stone	51	lf \$	18	\$	920	\$	920	
	Direct stucco application over the existing CMU with brick design	300	sf \$	9	\$	2,700	\$	2,700	
	Modify opening for doors and windows	2	ea \$	500	\$	1,000	\$	1,000	
	Close existing opening	1	ea \$	250	\$	250	\$	250	
	Cut new opening	1	ea \$	1,200	\$	1,200	\$	1,200	
	South Elevation								
	Install thin stone allowance \$10 per sf	150	sf \$	25	\$	3,750	\$	3,750	
	Limestone sills above the stone	50	lf \$	18	\$	902	\$	902	
	Direct stucco application over the existing CMU with brick design	500	sf \$	10	\$	4,770	\$	4,770	
	Modify opening for doors and windows	2	ea \$	500	\$	1,000	\$	1,000	
	Close existing opening	2	ea \$	250	\$	500	\$	500	
	Cut new opening for doors & windows	1	ea \$	1,200	\$	1,200	\$	1,200	
	Monument Sign								
	Install CMU back up for stone veneer	40	ea \$	10	\$	400	\$	400	
	Install natural stone allowance \$300 per ton	40	sf \$	25	\$	1,000	\$	1,000	
	Limestone copings	8	lf \$	80	\$	640	\$	640	
6.100	Rough Carpentry								\$ 44,857 Masonry Subtotal

\$ - Rough Carpentry Subtotal

RWE MANAGEMENT COMPANY
COST ESTIMATE

DOWNERS GROVE ANIMAL HOSPITAL

CSI	DESCRIPTION	QTY	\$/QTY	Total	North Elev.	East Elev.	South Elev.	Site Work	Subtotals
7.310	Soffit/Fascia/Gutters at Gable Roof	170	If \$ 600.00	\$ 1,950		\$ 1,950			
	Furnish and install new soffit & fascia	100	If \$ 6.00	\$ 600		\$ 600			
	Furnish and install upper slope gutters			Not Included					
	New shingle Roof								
7.400	Siding								\$ 2,550 Soffit/Fascia/Gutter/Subtotal
	Furnish and install Cedar Siding - North Elevation at Gable and Recess Gas Meter Location	216	Sf \$ 7.00	\$ 1,512	\$ 1,512				
	Furnish and install Cedar Siding East	200	Sf \$ 7.00	\$ 1,400		\$ 1,400			
	Furnish and install Cedar Siding South at Gable End	72	Sf \$ 7.00	\$ 504			\$ 504		
	Removal of existing		Included						
8.860	Doors								\$ 3,416 Siding Subtotal
	South Double Door Entry Doors	1	ea \$ 2,600.00	\$ 2,600			\$ 2,600		
	North Entrance Door	1	ea \$ 2,200.00	\$ 2,200	\$ 2,200				
	Single Door South	1	ea \$ 1,400.00	\$ 1,400			\$ 1,400		
9.9000	Painting								\$ 6,200 Doors Subtotal
	Stain Cedar Siding - North	408	Sf \$ 0.70	\$ 286	\$ 286				
	Stain Cedar Siding - East	600	Sf \$ 0.70	\$ 420		\$ 420			
	Stain Cedar Siding - South	264	Sf \$ 0.70	\$ 185			\$ 185		
	Stain Cedar Siding - West	400	Sf \$ 0.70	\$ 280					
8.860	Windows								\$ 1,170 Paint Subtotal
	Furnish and install the windows - North Elevation	7	ea \$ 750.00	\$ 5,250	\$ 5,250				
	Furnish and install new windows - East Elevation	5	ea \$ 750.00	\$ 3,750		\$ 3,750			
	Furnish and install new windows - South Elevation	3	ea \$ 750.00	\$ 2,250			\$ 2,250		
13.000	Signage								\$ 11,250 Windows Subtotal
	Furnish and install the monument signage	1	ls \$ 6,400.00	\$ 6,400				\$ 6,400	
	Furnish and install building signage North	1	ls \$ 1,780.00	\$ 1,780	\$ 1,780				
	Furnish and install building signage South	1	ls \$ 1,780.00	\$ 1,780			\$ 1,780		
16.100	Electrical								\$ 9,980 Signage Subtotal
	Furnish and install power to monument signage	1	ea \$ 500.00	\$ 500				\$ 500	
	New Underground service	1	allow \$ 8,000.00	\$ 8,000				\$ 8,000	
	Furnish and install exterior fixtures North	4	ea \$ 300.00	\$ 1,200	\$ 1,200				
	Furnish and install exterior fixtures South	4	ea \$ 300.00	\$ 1,200			\$ 1,200		
									\$ 10,900 Electrical Subtotal

RWE MANAGEMENT COMPANY
COST ESTIMATE

DOWNERS GROVE ANIMAL HOSPITAL

CSI	DESCRIPTION	QTY	\$/QTY	Total	North Elev.	East Elev.	South Elev.	Site Work	Subtotals
	General Conditions								
	Supervision	65 hrs	\$ 70.00	\$ 4,550					
	General Labor	8 wkcd	\$ 300.00	\$ 2,400					
	Final Cleaning	0 ls	\$ -	\$ -					
	Dumpsters	3 ea	\$ 350.00	\$ 1,050					
	Misc Tools & Material	1 ls	\$ 200.00	\$ 200					
			\$ 33.00	\$ 33.00					
									\$ 8,200 General Conditions Subtotal

Total per Section North Elev \$ 33,828 \$ 18,015 \$ 22,041 \$ 71,841
 East Elev South Elev Site Work

10% Subtotal \$ 154,204
 Fee \$ 15,420
 Total \$ 169,624

Clarifications:

Alternate: All New Stone & Brick Veneer (Standard size) in lieu of Thin Natural Stone & Stucco with Brick Design

1)	Masonry North Elevation					
	Tear down existing brick walls on the front elevation	1 ls	\$ 3,300.00	\$ 3,300	\$ 3,300	\$ 3,300
	Install steel angle to existing foundation rear	20 lf	\$ 30.00	\$ 600	\$ 600	\$ 600
	Install new Brick, modular size, allowance \$400 per 1000	900 sf	\$ 11.58	\$ 10,425	\$ 10,425	\$ 10,425
	Install natural stone allowance \$300 per ton	282 sf	\$ 25.00	\$ 6,550	\$ 6,550	\$ 6,550
	Install Limestone copings above lower wall	73 lf	\$ 50.00	\$ 3,650	\$ 3,650	\$ 3,650
	Install Limestone sills	196 lf	\$ 18.00	\$ 3,528	\$ 3,528	\$ 3,528
	Credit Masonry North Elevation Base Bid	1 ls	\$ (16,850.00)	\$ (16,850)	\$ (16,850)	\$ (16,850)

\$ 11,203 Subtotal
 \$ 1,120 Management Fee
 \$ 12,323 Total

Senergy®

SenerBrick—Brick Finish Application Technique

TECHNICAL BULLETIN
1025215

DESCRIPTION

The look of brick and benefits of EIFS can be achieved by using brick finish techniques that utilize special templates and Senergy 100% acrylic finishes. SenerBrick Brick surfaces yield the appearance of a wide variety of brick veneers over any Senergy wall system or other approved substrates, including prepared interior gypsum wallboard, precast or CMU and insulating concrete forms (ICFs.)

PACKAGING

Templates are 3 feet wide x 200 feet long rolls.

COVERAGE

Finish coverage varies depending upon the finish, template selected and application technique.

COLOR AND TEXTURE

Mortar color and brick colors are achieved by using any of 128 standard colors or custom colored finishes.

PREPARATION

Follow Senergy Wall Systems specifications for the installation of the all components that are required prior to the finish coat. When the base coat has dried (approximately 24 hours), proceed as follows to achieve brick appearance. For application over other substrates, consult the BASF Wall Systems Technical Service Department.

MIXING

Thoroughly mix the factory-prepared finish with a mixer to a homogeneous consistency. A small amount of clean potable water may be added to adjust workability. Additives are not permitted. Close container when not in use. Clean tools with soap and water immediately after use.

APPLICATION

MORTAR COLOR APPLICATION:

The SenerBrick Brick "mortar" color is achieved by trowel applying Senergy Texture Finish over the base coat and floating with a hard trowel or plastic float to a smooth, uniform consistency. Allow approximately 24 hours to dry.

APPLICATION OF THE BRICK TEMPLATE:

The brick template is a waxed paper with peel-and-stick backing. The template is applied in a running bond pattern over the dried finish that supplies the mortar color. Templates can be matched up easily at the vertical and horizontal ends to continue the selected pattern on large walls. Templates should be applied only to areas that will be completed that day.

APPLICATION OF THE BRICK FINISH:

The "brick" color is achieved by trowel applying Senergy Senerflex Classic Finish over the template and then sponging or using a plastic float to float the finish to a uniform consistency. While the finish coat is still wet, the template is carefully peeled away, revealing the underlying mortar color and creating the veneer brick pattern. Other Senerflex finishes such as Sahara, Fine and Texture may be used depending on the type of brick texture desired.

ORDERING

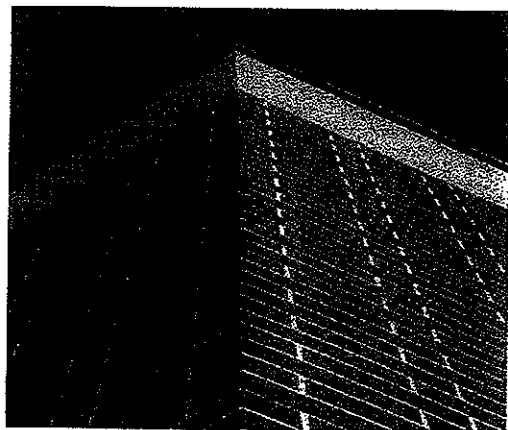
The brick stencil source is: Artcrete, Inc., 5812 Highway 494, Natchitoches, Louisiana 71457. Contact: Frank Piccolo 318-379-2000. Download their catalog at www.artcrete.com.

LIMITATIONS

Do not use on flat horizontal surfaces exposed to weather. Sloped surfaces must have a minimum slope of 6:12. Senergy Finishes are not recommended for large sloping surfaces. Apply only when ambient and substrate temperatures will be at least 4°C (40°F) and higher for at least 24 hours. Do not apply in direct sunlight. Applying in sunlight may result in cold joints or color variations. Protect from rain for at least 24 hours.

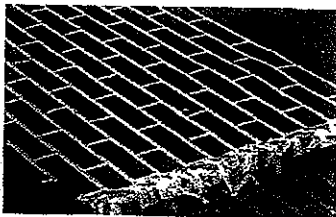
*Do not apply directly to exterior sheathing.

*Always create a mock up to demonstrate the final appearance of the finished product.

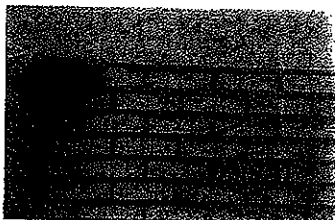


 **BASF**
The Chemical Company

SenerBrick - Brick Finish Application Technique



1. Start by laying out the brick template design on the ground to mimic the project drawings. Then, cut the template to working lengths and lay it flat with the release tape facing upward on a clean surface. Lay a 2x2 that is 40 inches long along the width of one end of the template. Pull a portion of the release tape up so it can be wrapped around the 2x2 (as shown in this photo). Once you get the release tape started, rolling the 2x2 across the template will assist you in removing the release tape uniformly.



2. Once the template has been removed, with the assistance of a couple of helpers, place the template against the wall aligning the template to the predetermined layout line.



3. Immediately use a clean stainless steel trowel to push the template firmly against the prepared wall surface. Avoid snagging the template with the trowel.

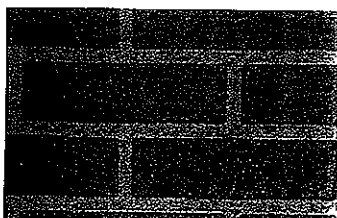
Work within controlled areas until you get the feel for how much area you can control comfortably. Do not apply more template than you will be able to finish within a couple of hours.



4. Once the template is secured, trowel the finish diagonally across the template and wall surface. The diagonal method helps to minimize the amount of finish that is pushed under the template. Immediately double back and remove the finish down to the top side of the template. Immediately begin to float the finish with a plastic float in either random or vertical float actions. It is not critical to make the texture perfect. Irregularities actually make the finish look more realistic.

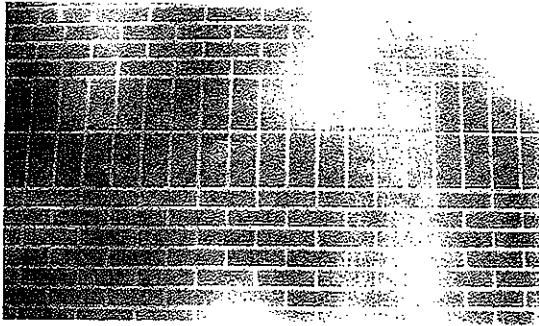


5. As soon as the texturing is complete, remove the template. Pull the template outward, perpendicular to the wall before the finish begins to dry. This technique helps to keep the edges clean and sharp looking.

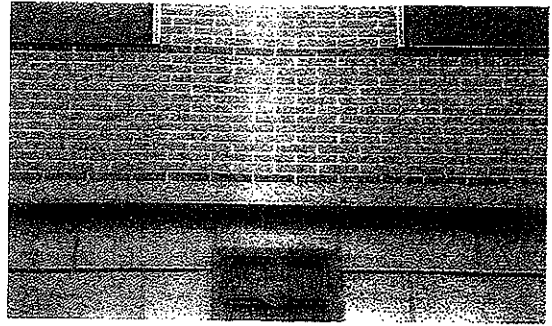


6. The finished look.

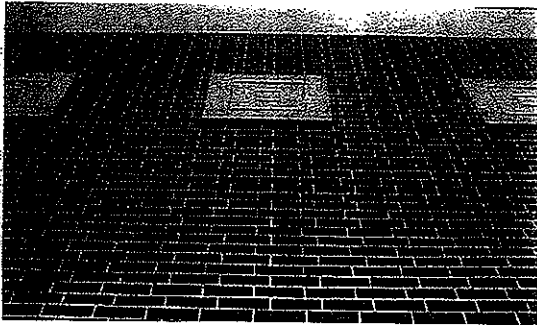
If you are looking for a distressed color appearance, lightly spray our AnticoGlaze (darker contrasting colors of AnticoGlaze work better) randomly onto the finish surface prior to the finish float (Step 4)- before you remove the template. Float the AnticoGlaze lightly and briefly to avoid pushing the AnticoGlaze into the finish.



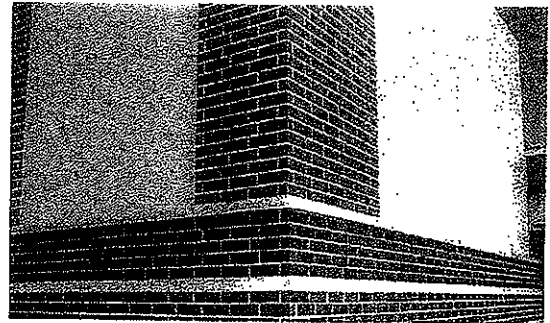
A simple running bond appearance with a sailor bond interval



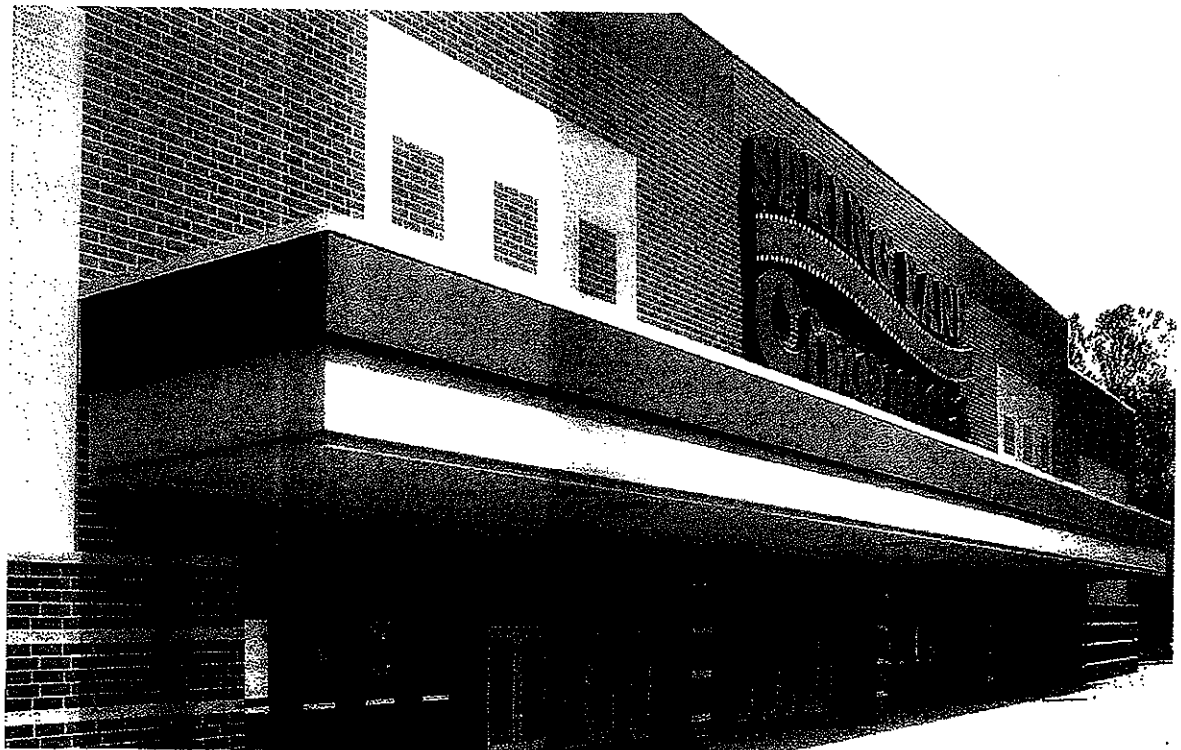
The block, accent medallion and running bond appearance (with darker stretcher bond accent rows), are all done in EFS



A raking stretcher bond appearance with finished foam shapes to accentuate the wall



Variations in the brick's color and positioning create endless design options



Senerbrick Brick Finish allows you to achieve the appearance you want, using one trade and in less time

SenerBrick - Brick Finish Application Technique

Note

BASF Wall Systems is an operating unit of BASF Construction Chemicals, L.L.C. (herein after referred to as "BASF Wall Systems")

Residential Policy

On one and two-family residential framed construction, BASF Wall Systems requires that the wall system selected be one that includes provisions for water drainage. The choices include Senterion® line of water drainage EIFS, commercial Senerflex® Channelled Adhesive or Channelled Insulation Design, Senergy Stucco Wall System, and Senergy Cement-Board Stucco™ Systems. There are no exceptions to this policy. Under no circumstances will BASF Wall Systems warrant the use of any other system on this type of construction without expressed written authorization from BASF Wall Systems (Residential construction using EIFS on masonry (CMU) or poured concrete does not require the additional water drainage provisions described above. Senergy Exterior Surfacing Systems for insulating concrete forms are also acceptable.) See the Senergy Residential Policy Bulletin for a more detailed discussion of this topic. Consult BASF Wall Systems Technical Services Department for specific recommendations concerning all other applications. Consult the Senergy website, www.senergy.basf.com for additional information about products and systems and for updated literature.

Disclaimer

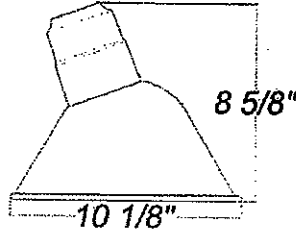
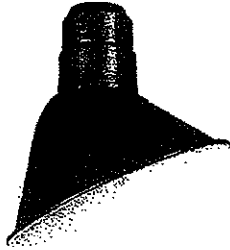
This information and all further technical advice are based on BASF Wall Systems' present knowledge and experience. However, BASF assumes no liability for providing such information and advice including the extent to which such information and advice may relate to existing third party intellectual property rights, especially patent rights. In particular, BASF Wall Systems disclaims any and all CONDITIONS AND WARRANTIES, WHETHER EXPRESS OR IMPLIED, INCLUDING THE IMPLIED WARRANTIES OF FITNESS FOR A PARTICULAR PURPOSE OR MERCHANTABILITY. BASF WALL SYSTEMS SHALL NOT BE RESPONSIBLE FOR CONSEQUENTIAL, INDIRECT OR INCIDENTAL DAMAGES (INCLUDING LOSS OF PROFITS) OF ANY KIND. BASF Wall Systems reserves the right to make any changes according to technological progress or further developments. It is the customer's responsibility and obligation to carefully inspect and test any incoming goods. Performance of the product(s) described herein should be verified by testing and carried out only by qualified experts. It is the sole responsibility of the customer to carry out and arrange for any such testing. Reference to trade names used by other companies is neither a recommendation, nor an endorsement of any product and does not imply that similar products could not be used.

BASF Wall Systems

3550 St. Johns Bluff Road South
Jacksonville, FL 32224-2614
Phone 800 • 221 • 9255
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www.senergy.basf.com

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Printed in U.S.A. 09/08

A810
Catalog:



Description:
10" Angle Shade

Max Wattages are based on open lamp

Specification:

RLM shades manufactured from 1100 Aluminum Alloy typically .08 - .125 thickness.

- White paint standard inside all painted fixtures. Fixtures, arms and post mounts are U.L. wet listed when installed according to manufacturers instructions. Design and construction may change at factory's discretion. Screw hardware may not match finish, but are made of stainless steel.
- All fixtures come standard with 96" of lead wire. Additional lead wire (LDW).
- For Color Selections see color page. ANP will do its best to match your custom color. Consult factory for prices.
- When ordering Raw Copper finish, please note that some accessories/components such as finials, decorative balls, and spacer tubes are painted copper and are not raw copper. Cast back plates included are solid copper. All hubs are painted copper.
- Some accessories may extend below fixture line or be out of proportion. When using a combination of accessories, contact factory for compatibility.
- Grills and Vapor Tight guards are available in painted finishes only (standard & premium).
- Steel Shades available, consult factory.

	Inc. (Incandescent)	WPL (Fluorescent)	HID High Pressure Sodium/Metal Halide
Max Wattages	150W	42W	100W

**HID refers to both Metal Halide(MH) and High Pressure Sodium(HPS).
Please specify preferences.

Caution! Glass enclosure reduces maximum wattage.
Max Wattages are based on open lamp

Available Colors							
Color plates below represent available colors for this product.							
☐☐If photograph not available in selected color, color back plate will be shown							
40	41	42	43	44	45	46	47
48	49	50	51	52	53	55	56
57	58	59	60	61	62	63	64
65	66	67	68	69	70	71	72
76	99						

Paint:

Standard Powder Coating Process

A polyester powder coat is used for superior gloss and color retention. -State of the art 20 PSI pressure power wash at 140° incorporates five step iron phosphate process with sealer and DI water to cleanse and pre-treat the metal surface for maximum paint adhesion. Electrostatically applied ranging from texture to smooth glossy polyester powder topcoat and baked at 430° for maximum hardness and exterior durability.

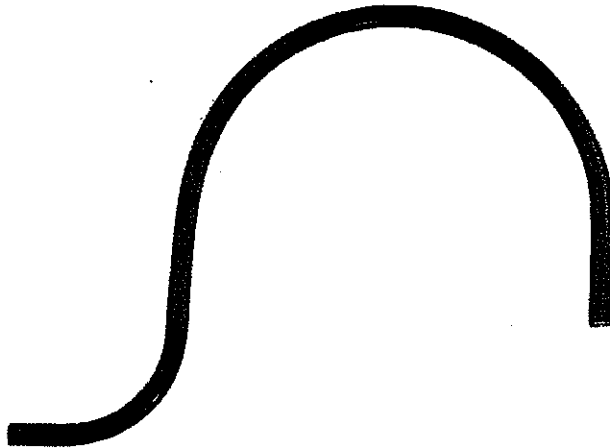
Marine Grade Paint:

For objects exposed to extreme conditions as is found in coastal regions or industrial atmospheres we offer, at an additional charge, a highly weather and UV resistant powder coating that withstands up to 3000 hours of continuous salt spray and comes with a 5 year warranty. Consult Factory for additional paint cost and availability.



E18
Catalog:

Description:
3/4" Diameter Arm



Specifications:

RLM mounts aluminum manufactured using schedule 40 1/2 or 3/4" IPS

- White paint standard inside all painted fixtures. Fixtures, arms and post mounts are U.L. wet listed when installed according to manufacturers instructions. Design and construction may change at factory's discretion. Screw hardware may not match finish, but are made of stainless steel.

- All fixtures come standard with 96" of lead wire. Additional lead wire (LDW)

- For Color Selections see color page. ANP will do its best to match your custom color. Consult factory for prices.

- When ordering Raw Copper finish, please note that some accessories/components such as finials, decorative balls, and spacer tubes are painted copper and are not raw copper. Cast back plates included are solid copper. All hubs are painted copper.

- Some accessories may extend below fixture line or be out of proportion. When using a combination of accessories, contact factory for compatibility.

- Grills and Vapor Tight guards are available in standard and premium painted finishes only

Paint:

Standard Powder Coating Process

A polyester powder coat is used for superior gloss and color retention. -State of the art 20 PSI pressure power wash at 140° Incorporates five step iron phosphate process with sealer and DI water to cleanse and pre-treat the metal surface for maximum paint adhesion. Electrostatically applied ranging from texture to smooth glossy polyester powder topcoat and baked at 430° for maximum hardness and exterior durability.

Marine Grade Paint:

For objects exposed to extreme conditions as is found in coastal regions or industrial atmospheres we offer, at an additional charge, a highly weather and UV resistant powder coating that withstands up to 3000 hours of continuous salt spray and comes with a 5 year warranty. Consult Factory for additional paint cost and availability.

Available Colors							
Color plates below represent available colors for this product. If photograph not available in selected color, color back plate will be shown							
40	41	42	43	44	45	46	47
48	49	50	51	52	53	55	56
57	58	59	60	61	62	64	65
66	67	68	69	70	71	72	76
99							

NO. 1	DATE	DESCRIPTION

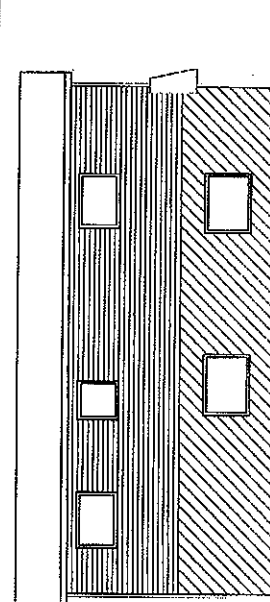
SCALE: 1/8" = 1'-0"

ELEVATIONS
 DOWNERS GROVE, ILL. ILLINOIS 60615

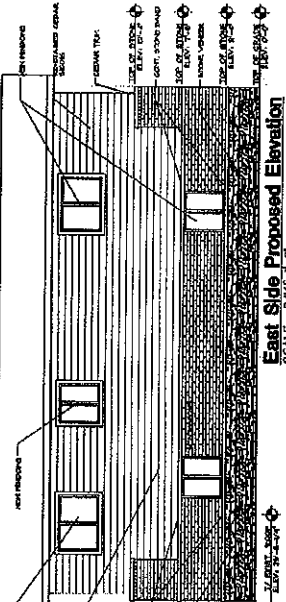


PROJECT ARCHITECT
 ARCHITECTS
 ADDRESS
 DOWNERS GROVE, ILL. ILLINOIS
 SCALE: 1/8" = 1'-0"

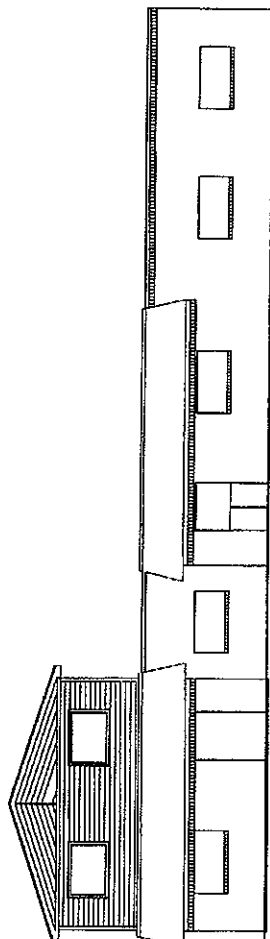
A-200



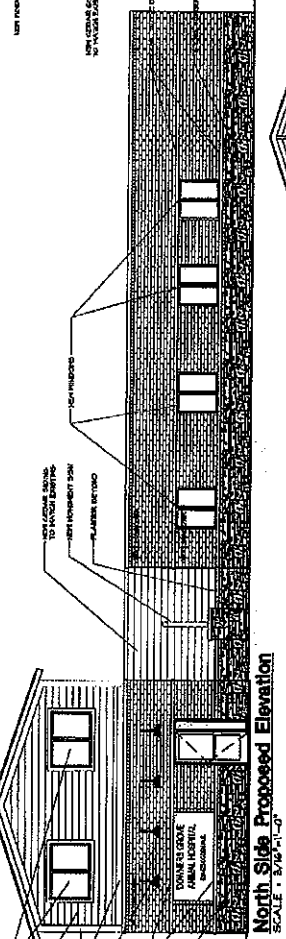
East Side Exist. Elevation
 SCALE: 1/8" = 1'-0"



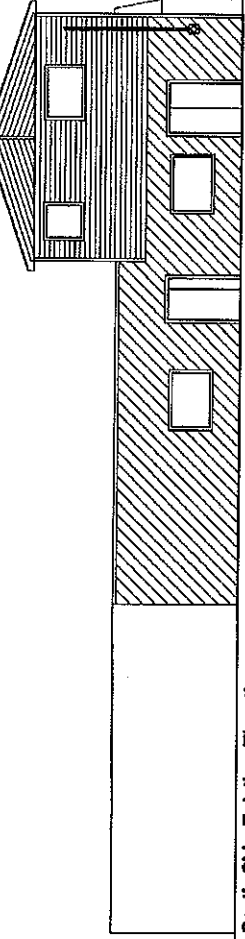
East Side Proposed Elevation
 SCALE: 1/8" = 1'-0"



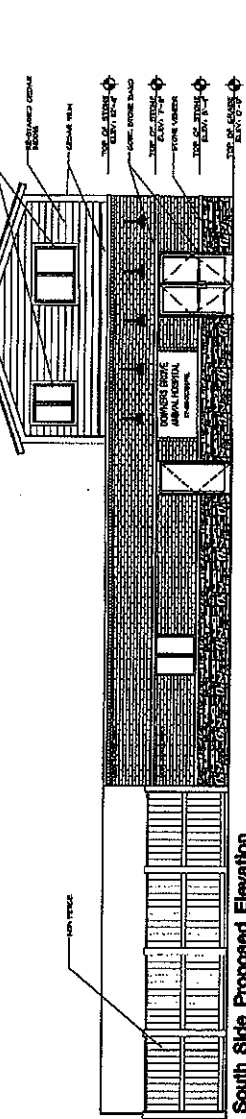
North Side Exist. Elevation
 SCALE: 1/8" = 1'-0"



North Side Proposed Elevation
 SCALE: 1/8" = 1'-0"



South Side Existing Elevation
 SCALE: 1/8" = 1'-0"



South Side Proposed Elevation
 SCALE: 1/8" = 1'-0"

NO.	REV.	DATE	DESCRIPTION

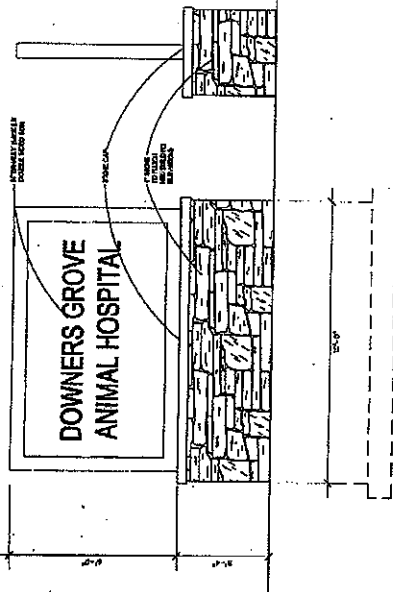
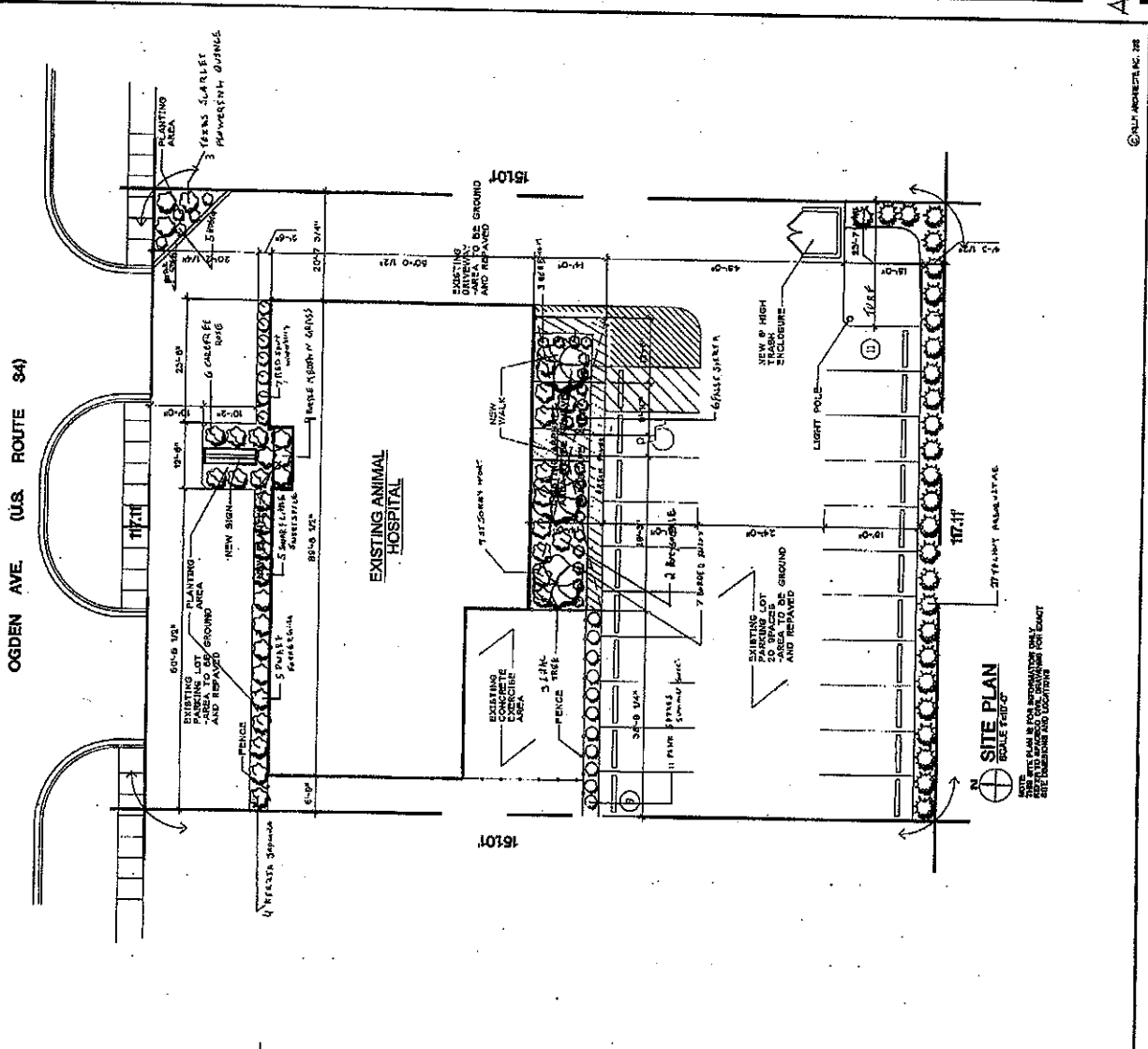
DATE: 5/27/74
 SCALE: 1/2"=1'-0"

DOWNERS GROVE ANIMAL HOSPITAL
ARCHITECTURAL SITE PLAN
 ADDRESS: DOWNERS GROVE, IL, ILLINOIS 60515



PROJECT ARCHITECT:
 DOWNERS GROVE, ILL.
 ARCHITECTS
 1000 N. LAUREL AVE.
 DOWNERS GROVE, ILL. 60515

AS-100



Sign Elevation Detail
 SCALE: 1/2"=1'-0"

LANDSCAPE PLAN

SITE PLAN
 SCALE: 1/2"=1'-0"

THIS SITE PLAN IS FOR INFORMATION ONLY.
 IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE CITY ENGINEERING DEPARTMENT.

Exhibit B
Campaign Disclosure Certificate

The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity that is a party to a contract with the Village to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the contract.

By signing the contract, Applicant agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

Applicant has not contributed to any elected Village position within the last five (5) years.

Signature

Print Name

Applicant has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

Name of Contributor: _____
(company or individual)

To whom contribution was made: _____

Year contribution made: _____ Amount: \$ _____

Signature

Print Name

OASIS Grant
Site B: Downers Grove Animal Clinic - 631-635 Ogden Ave





www.downers.us

June 15, 2011

Robert J. Merkin
Downers Grove Animal Hospital and Bird Clinic P.C.
631-635 Ogden Avenue
Downers Grove, IL 60515

Re: OASIS Grant for 631-635 Ogden Avenue (Downers Grove Animal Hospital)

**COMMUNITY RESPONSE
CENTER**

630.434.CALL (2255)

CIVIC CENTER

801 Burlington Avenue
Downers Grove
Illinois 60515-4782
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

FIRE DEPARTMENT

ADMINISTRATION
5420 Main Street
Downers Grove
Illinois 60515-4834
630.434.5980
FAX 630.434.5998

POLICE DEPARTMENT

825 Burlington Avenue
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

**PUBLIC WORKS
DEPARTMENT**

5101 Walnut Avenue
Downers Grove
Illinois 60515-4046
630.434.5460
FAX 630.434.5495

Dear Dr. Merkin:

Thank you for your interest in the Ogden Avenue Site Improvement Strategy (OASIS) Program. The OASIS Team met on May 10, 2011 to review your application for a matching grant for façade renovation, site, landscaping and sign improvements at the above-mentioned property.

The OASIS Team is pleased to inform you that the request is being recommended for funding. The project is eligible for \$38,990 based on the quotes provided. The OASIS Team is recommending an extra 25% for the comprehensive nature of these improvements. As such, the recommended grant amount is \$48,737. Because the request is more than \$15,000, the recommendation of the OASIS Team will be forwarded to the Village Council.

The recommendation will be forwarded to the Village Council with the following conditions:

1. Landscaping shall be added to the north side of the proposed monument sign to comply with the Village's sign ordinance.
2. Electrical details for the proposed monument sign shall be submitted.
3. Door and window cut sheets shall be provided.

Village staff anticipates Village Council consideration of the OASIS Grant will take place on **July 19, 2011**. Please note, pursuant to the State of Illinois Labor Laws, the project must use prevailing wage labor.

Please contact me if you have any comments or questions. I can be reached at 630.434.5520 or jobrien@downers.us.

Sincerely,
The OASIS Team

Jeff O'Brien, AICP
Planning Manager
Village of Downers Grove

RESOLUTION NO. ____

**A RESOLUTION AUTHORIZING EXECUTION OF A GRANT
AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE
AND HIS GRACE CHRISTIAN CHILD DEVELOPMENT LEARNING CENTER, INC.**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois,
as follows:

1. That the form and substance of a certain Grant Agreement (the "Agreement"), between the Village of Downers Grove (the "Village") and His Grace Christian Child Development Learning Center, Inc. (the "Applicant"), for OASIS Program grant funding, in the amount of \$22,100.00, to make improvements to the property/business located at 4232 Venard Road, which is along the Ogden Avenue commercial corridor, as set forth in the form of the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provisions of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____

Village Clerk

OASIS GRANT AGREEMENT

THIS AGREEMENT is made this ____ day of _____, 2011 by and between the Village of Downers Grove, Illinois, an Illinois municipal corporation with offices at 801 Burlington Avenue, Downers Grove, Illinois 60515, (“the Village”) and His Grace Christian Child Development Learning Center, Inc. at 4232 Venard Road, Downers Grove, Illinois 60515 (“Applicant”).

WITNESSETH:

WHEREAS, the Village has established the Ogden Avenue Site Improvement Strategy Program (“OASIS Program”) for application to receive a grant from the Village to make improvements to properties/businesses along the Ogden Avenue commercial corridor; and,

WHEREAS, said Program is funded from TIF funds for the purpose of controlling and preventing blight and deterioration within the Ogden Avenue Tax Increment Finance District (“TIF District”), and to encourage the further redevelopment of properties in the TIF District in accordance with the general guidelines set forth in the Program as adopted in Ordinance 5150 on September 14, 2010; and,

WHEREAS, Applicant owns a property/business at 4232 Venard Road, Downers Grove, Illinois 09-06-402-002 which is located within the TIF District; and

WHEREAS, pursuant to the Program the Village has agreed to financially participate, subject to its sole discretion, the Program Guidelines, and the terms and conditions set forth in this Agreement; and,

WHEREAS, the Applicant desires to participate in the Program, subject to the Program Guidelines and the terms and conditions set forth in this Agreement;

NOW THEREFORE, in consideration of the mutual covenants and agreement herein set forth, and other good and valuable consideration, the Parties do hereby agree as follows:

A. General Provisions:

1. The above recitals are incorporated into and made part of this Agreement as though fully set forth herein.
2. This Agreement may not be transferred or assigned.
3. This Agreement may be terminated by either party by giving ten (10) days written notice to the other party. If the Applicant terminates this Agreement, the Village shall not be required to make any reimbursement payments to the Applicant.
4. In the event the Applicant fails to complete the project and submit the required proof of payment documents in the required timeframe, the Village may terminate this Agreement and award the funds to other eligible projects.
5. The parties shall have any and all remedies available at law in the event of a breach of this Agreement.
6. Applicant acknowledges that the Freedom of Information Act may apply to public records in possession of Applicant or a contractor. Applicant and its contractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. 5 ICLS 140/1 et. seq.
7. This Agreement will be governed by and construed in accordance with the laws of the State of Illinois. Venue is proper only in the County of DuPage.

8. This Agreement will not be subject to amendment unless made in writing and signed by all parties.
9. Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to designated representatives of both parties as follows:

Village Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

To the Applicant as stated below.

B. Applicant's Obligations:

1. Applicant shall complete the project in substantial compliance with the attached plans, incorporated as part of this Agreement as Exhibit A. Any changes to the plans shall require written approval from the Community Development Director, or his designee.
2. Applicant shall grant an easement to the Village for, or install, a public sidewalk along that portion of the subject property adjacent to Ogden Avenue where no public sidewalk currently exists.
3. Applicant, at its own expense, shall obtain all necessary permits prior to commencement of any work to complete the improvements.
4. Applicant shall submit the following required proof of payment documents:
 - a. Itemized paid-in-full invoices.
 - b. Canceled checks for the payment for the completed improvements.
 - c. Final lien waivers, if applicable.
 - d. Certified payroll records of contractors.
5. Applicant understands that it will not receive payment if there are any outstanding code violations on the property or if Applicant owes any money to the Village.
6. Applicant shall complete the project and submit the required proof of payment documents within one (1) year of the effective date of this Agreement. If the project is not completed or if the required proof of payment documents are not submitted within one (1) year, the Village shall have the right to declare this Agreement null and void and shall not be required to make any reimbursement payments to the Applicant.
7. Applicant shall complete the project in such a manner as to comply with all conditions of this Agreement, and in accordance with the Program Guidelines and all pertinent regulations, ordinances, or codes of the Village or other authority having jurisdiction over the property.
8. Applicant is hereby notified by the Village that work contemplated by this Agreement may be subject to the Prevailing Wage Act ("Act"), 820 ILCS 130/1 et seq. Applicant agrees to comply with all applicable provisions of the Act as administered by the Illinois Department of Labor ("IDOL"). Applicant further agrees to contact IDOL for a determination of applicability of the Act to the project contemplated by this Agreement. If required by IDOL, Applicant agrees to pay the prevailing wage rates and to require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work on the projects contemplated by this Agreement. For applicable rates, go to the State of Illinois – Department of Labor website and use the most current DuPage county rate. Applicant recognizes and agrees that it is solely responsible for compliance with the Act and agrees to fully indemnify, defend and hold harmless the Village with regard to any actions or proceeding instituted regarding such compliance.

9. Applicant shall be required to submit an executed Campaign Disclosure Certificate, attached hereto as Exhibit B.

C. Village's Obligations:

1. The Village shall reimburse the Applicant for one-half (1/2) of the actual incurred costs to complete all eligible aspects of the project. The amount of said reimbursement shall not exceed \$22,100.
2. The Village shall remit payment to the Applicant within sixty (60) days of completion of the project and receipt of the required proof of payment documents.
3. The Village shall diligently review permit submittals, issue permits and complete required inspections deemed necessary to complete the project.

IN WITNESS HEREOF, the parties set their hand and seal the day and date hereinabove written.

APPLICANT:
His Grace Christian Child Development
Learning Center, Inc.
4232 Venard Road
Downers Grove, IL

VILLAGE OF DOWNERS GROVE:

By:

Signature

Village Manager

Print Name

Attest:

Title

Village Clerk

Application

A printable version of the Ogden Avenue Site Improvement Reimbursement Grant Application is available on-line at www.downers.us or www.dqedc.com. A paper copy of the application is available on the next page. Three (3) copies of the complete application, including any support documentation are due by the application deadline(s).

Applicant is: <u>Victoria Omoike</u>	<input checked="" type="checkbox"/> Tenant <input type="checkbox"/> Owner
Name of Business/Building:	<u>His Grace Christian Child development Learning Center Inc.</u>
Address/Property ID # of Project Property:	<u>4232 Venard, Rd, Downers Grove</u>
Owner's Name AND TITLE:	<u>Ralph Schmidt</u>
Owner's Mailing Address:	<u>3011 38th Street, Oakbrook, IL</u>
Owner's Business Phone:	<u>Phone 630-323-4611</u>
Owner's Fax:	<u>630-664-4700</u>
Owner's E-Mail:	
PLEASE ONLY COMPLETE THE REST OF THIS TABLE IF TENANT IS THE GRANT APPLICANT.	
Tenant Name AND TITLE:	<u>Victoria Omoike, President</u>
Tenant Mailing Address:	<u>5518 Lenox Rd, Lisle, IL 60532</u>
Business Phone for Tenant:	<u>630-916-6559</u>
E-Mail for Tenant:	<u>info@hisgracechildcare.com</u>

Project Information

Project Description:

10,000 sf Child-Care - Montessori Center - Interior Buildout, Exterior Remodeling, & site remodeling (parking, landscape, etc) Sprinkler System installed.

Existing Site Conditions:

Please provide a photo of current site conditions to illustrate where improvements are proposed. Photo should be provided in a paper or digital (e.g. JPEG) format. Electronic photos may be e-mailed to: jobrien@downers.us.

Written Project Description:

Please describe your proposed project improvement. Attach pages as needed.

Parking lot and asphalt pavement
Refuse Area
Landscape areas
Sidewalk
Signage (monument sign)
Curb cut to street (curb & gutter)

Required Documentation For Submittal:

3 copies of the complete application, including any support documentation are due by **December 1, 2010**. Additional copies may be requested by OASIS team after the application deadline.

1. If you are proposing an alteration to a building the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Façade elevations (as determined necessary at pre-application meeting*), including height, length and width measurements
- Color scheme of the proposed addition or alteration
- Building material samples (roof, siding, chimneys, etc.) if applicable
- Site plan with building outline and proposed changes
- Cut sheets for proposed doors and windows, if applicable

If you have questions about this, please contact the Community Development Department. Specific questions about submittal requirements will be answered during the pre-application meeting.

2. If you are proposing landscape/or other site improvements the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Site plan with building outline and proposed changes to site
- Landscape plan, if applicable (e.g. access, driveway consolidation, etc)

3. If you are proposing a new sign/awning/canopy the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page:

- Color drawing of the sign/awning including measurements of free-standing sign and site plan showing sign location on a site
- Façade elevation showing sign/awning placement, if plan applicable

Schedule Information:

Anticipated Project Start Date: April

Anticipate Project Completion Date: May

NOTE: Completion Date must be prior within one year of the year following application.

Architect / Designer for the Project (If Applicable):

Name: Alberto Agama - Agama Designs

Address: 269 Walsh Circle

Phone: (630) 201-1400 Fax: _____

Contractor for the Project (If Known):

Name: _____

Address: _____

Phone: _____ Fax: _____

Itemized Activity Estimated

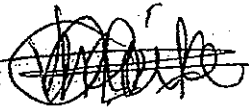
	Total Site Improvement Costs	Grant Eligible Project Costs*	TO BE COMPLETED BY CITY	
			Grant Contribution	Bonus Award
ESTIMATE 1 Contractor Name: <u>Oro Construction</u>	<u>\$60,000</u>	<u>\$30,000</u>		
ESTIMATE 2 Contractor Name: <u>Bak Construction</u>	<u>\$70,000</u>	<u>\$35,000</u>		

Two detailed contractor estimates are required. Please provide additional sheets with supporting detail as necessary.

This application for a Site Improvement Reimbursement Grant is hereby believed to be complete and accurate.

Owner Signature:

Tenant Signature:



Print Owners Name:

Print Tenant Name:

Ralph Schmidt

Victoria Omoike

NOTE: Tenant Signature only necessary if
Tenant is applying for a Grant

STATE OF ILLINOIS
COUNTY OF DUPAGE
VILLAGE OF DOWNERS GROVE

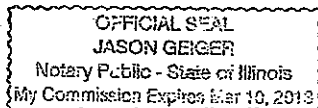
The foregoing petition was acknowledged before me by on this 4 day of
February, 20 11.

Notary Public:



for Victoria Omoike

Notary Public



3 Copies of the ~~completed~~ application should be submitted to the Village's
Community Development Department.

Applications may be dropped off at the Village Hall from 8:00 am and 5:00 pm
Monday - Friday, or mailed to:

Village of Downers Grove
ATTN: Community Development Department
801 Burlington Avenue
Downers Grove, IL 60515

Disclosure of Beneficiaries/Trust Disclosure:

The information requested below must be completed and attached to any grant application submitted to the Village of Downers Grove. This form is used to ensure that the applicant has a recognized, vested interest in the property. This form is required by persons applying for permits, licenses, approvals or benefits from the Village of Downers Grove
Village of Downers Grove

DISCLOSURE OF BENEFICIARIES

1. Grant Applicant: Victoria Omaiico (His Grace Christian CC/MC)
2. Address: 1000-16 Rolling Rd, Lombard, IL 60148
3. Nature of Applicant (Please circle one):
 - a. Natural Person
 - b. Corporation
 - c. Land Trust/ Trustee
 - d. Trust/Trustee
 - e. Partnership
 - f. Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of applicant:

5. If in your answer to Section 3 you checked box b, c, d, e or f, identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of case of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

- a. Victoria Omaiico
 5518 Lenox Rd.
 Lister, IL 60532

6. Name, address and capacity of person making this disclosure on behalf of the applicant: N/A

IMPORTANT NOTE: In the event your answer to Section 5 identifies entities other than a natural person, additional disclosures are required for each entity.

VERIFICATION I, _____, being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Signature: _____

Subscribed and Sworn to before me this _____ day of _____, 20____.

Notary Public

Program Summary and Evaluation Criteria

The Ogden Avenue Site Improvement Strategy (OASIS) is a program that offers matching grants to business and property owners seeking to make improvements to their sites in the Ogden Avenue TIF Corridor. The goals of the OASIS program are:

- Provide more attractive sites
- Improve traffic circulation for vehicles and pedestrians (on private property as well as the street)
- Improve existing building appearance
- Improve signage and reduce visual clutter

These goals are based on the findings of the 1999 Ogden Avenue Commercial Corridor Master Plan and Village's Strategic Plan. Projects will be reviewed in the context of the recommendations contained within those documents. The categories described below will be used to judge applications.

Applications are judged on a qualitative basis. The OASIS Program is competitive and all applications will be judged against one another – regardless of the number of improvements proposed. The OASIS team will judge applications based on the number of features being improved by an application, the quality of those improvements and how those address the goals of the program. The best projects will be awarded a matching OASIS Grant. Each category contains examples of improvements that are identified as important components to fulfill the goals listed above. The successful project will include multiple elements of the categories below.

2 18

Category 1 – Site Improvements:

Examples of site improvements include consolidating driveway accesses to Ogden Avenue, removal of nonconforming parking spaces, installing stormwater management strategies, removing pavement and adding landscaping, providing cross-access between properties, installation of public sidewalks and installation of exterior site lighting.

Projects should seek to beautify the property and improve traffic circulation on site and on Ogden Avenue. The OASIS Team will give special consideration to projects at major intersections (Main St, Saratoga Ave, Fairview Ave and Lee Ave).

Improvement proposed: Yes No

Comments: We are contributing to the beautification of the property, which will improve Venard Rd and Ogden Avenue.

Category 2 – Landscaping:

Examples of landscaping include screening of off-street parking areas with shrubs, ornamental grasses and shrubs, installing landscaping to improve water run-off quality, installation of foundation plantings, installing ornamental fences, construction of outdoor café spaces and installation of shade trees.

Projects should seek to beautify the property and improve green-space. The OASIS Team will give special consideration to landscaping projects that combine elements to improve on-site stormwater management.

Improvement proposed: Yes No

Comments: We are installing landscape and sidewalk along Venard Road. We are installing curb cuts & a monument sign which will beautify the streetscape.

Category 3 – Building Façade:

Examples of improvements to building facades include major renovations that update a building's appearance (a "major renovation" affects more than 50% of existing exterior walls fronting Ogden Avenue or adjacent side streets), installation of a canopy or awning, adding transparent windows, adding pedestrian-friendly doors and shrubs, installing parapet walls and decorative cornices that hide mechanical equipment and installation of decorative lighting fixtures on the building.

Projects should seek to use high-quality materials and designs. Building façade improvements should enhance the commercial nature of the corridor and complement nearby high-quality buildings. Examples of high-quality buildings include: 42-76 Ogden Avenue, 217 Ogden Avenue, 225 Ogden Avenue, 400 Ogden Avenue, 401 Ogden Avenue, 639 Ogden Avenue, 807 Ogden Avenue, 1000 Ogden Avenue, 1148 Ogden Avenue, and 1601 Ogden Avenue.

Improvement proposed: Yes No

Comments:

We are changing the elevation by adding an entrance Gable wit decorative columns. changing existing mansard shingles w/architectural shingles, replacing all doors & windows and adding sidewalk & landscaping

Category 4 – Signs:

Examples of improvements to signage include removal of non-conforming signs and installation of code-compliant signs and removal of box-type wall signs and replacement with channel letter signage. Note: sign-only applications will not be funded until the third submission deadline. At that time, sign-only requests will only be funded after all other requests

The successful project will bring the property into compliance with the Village's sign ordinance. Projects should seek to use high-quality materials and designs. The signage should be designed to enhance the business' visibility from Ogden Avenue while removing visual clutter from the corridor.

Improvement proposed: Yes No

Comments:

We are proposing a monument sign with brick piers & concrete stone caps - the sign will be illuminated as show on plans

I Ralph Schmidt am selling my building at 4232 Venard Downers Grove Il. Once a sale Has been completed with seller finance I give my approval for changes to be made on outside of building.

Ralph Schmidt



REALTOR® Association of West/South Suburban Chicagoland



COMMERCIAL SALES CONTRACT

WHEN EXECUTED BY ALL PARTIES THIS WILL BECOME A LEGALLY BINDING AND ENFORCEABLE CONTRACT

FROM: (Buyer) Victoria Omoike 5518 Lenox Rd., Lisle, IL 60532

TO: (Seller) Ralph Schmidt

DATE:

OFFER OF BUYER: I/We (Buyer) offer to purchase the real estate known as: 4232 Varnard Downers Grove Dupage IL 60515

Street City County State Zip
legally described on Exhibit A, if any, lot size approximately
permanent Index No.: 09-06-402-002

INCLUSIONS: The following shall be included: personal property, if any, located on the real estate of the date hereof, for which a bill of sale will be given: screens, storm windows and doors; shades, window blinds; radiator covers; heating, central cooling, ventilating, lighting and plumbing fixtures; attached mirrors, shelving, interior shutters, cabinets and awnings; planted vegetation; smoke detectors; as well as the following specific items: BUYER WILL INSTALL MAIN WATER LINE AND SPRINKLER SYSTEM AT BUYER'S

EXCLUSIONS: The following shall be excluded: expense

Any personal property not specifically included shall be deemed excluded.

1. PRICE: Purchase Price: \$600,000 Sold AS IS initial earnest money \$ 5,000 in the form of a check dated payable to Listing Broker or as designated escrow agent. Upon acceptance of this offer, said check shall be properly endorsed by payee and deposited by the party designated in Paragraph 7. Said initial earnest money shall be returned, and this offer shall be void if not accepted on or before

2. FINANCING: Seller will hold mortgage. This contract is contingent upon the ability of Buyer to secure within days of Seller's acceptance on a commitment for a loan evidenced by a note to be secured by a mortgage or trust deed on the real estate in the amount of \$ 600,000 or such lesser amount as Buyer shall accept, with a fixed or initial interest rate (delete one) not to exceed 5.0%, said loan to be amortized over a minimum of years, with a loan service charge not to exceed %. If Buyer makes a good faith effort but is unable to obtain a commitment for the mortgage loan contemplated herein, Buyer shall so notify Seller in writing within the time specified in this Paragraph. IF SELLER IS NOT SO NOTIFIED WITHIN SUCH TIME PERIOD, BUYER SHALL FOR ALL PURPOSES BE DEEMED TO HAVE SECURED SUCH COMMITMENT OR TO HAVE AGREED TO PURCHASE THE REAL ESTATE WITHOUT MORTGAGE FINANCING OR BASED UPON THE MORTGAGE COMMITMENT ACTUALLY OBTAINED. If Seller is so notified, Seller may, at Seller's option, within 10 business days after Seller's receipt of said notice, elect to accept purchase money financing or to secure a mortgage commitment on behalf of Buyer upon substantially the same terms for the mortgage loan contemplated herein with such other material terms and conditions for comparable loans. If Seller is so notified, Buyer agrees to furnish to Seller all requested credit and financial information and to sign customary papers relating to the application for securing of a mortgage commitment. If Seller is thereafter unable or unwilling to secure such commitment or to accept purchase money financing as herein provided, this contract shall be null and void, and Buyer and Seller shall execute all necessary documents to refund earnest money to Buyer.

3. PAYMENT METHODS: The Purchase Price shall be paid, at closing, subject to prorations, all in cash, by cashier's check, certified check, wire transfer or other forms of funds acceptable to closing agent.

4. CLOSING: Provided title conforms with this contract or has been accepted by Buyer, closing or escrow payout shall be on the by conveyance by stamped recordable warranty deed (or other appropriate deed if title is in trust or in an estate) and payment of purchase price. Title shall be conveyed at the time required by this contract subject only to: general taxes for and subsequent years; building lines and building restrictions of record; zoning and building laws and ordinances; public and utility easements; covenants and restrictions of record as to use and occupancy; party wall rights and agreements, if any; existing leases or tenancies; the mortgage or trust deed, if any, as described in Paragraph 2 above; acts done or suffered by or through the Buyer. However, special taxes or assessments, if any, for improvements not yet completed shall be paid by Seller at closing. This sale shall be closed at office of title insurance company or Seller's attorney's office as agreed or in escrow with the title company issuing the title commitment by deed and money escrow fee to be divided between Seller and Buyer.

Seller and /or Buyer will pay their respective brokers' commissions as provided in their respective representation agreements or contracts and shall provide waiver of Brokers' liens at closing.

5. **PRORATIONS:** Real Estate taxes (based on _____% of most recent ascertainable taxes); assignable insurance policies, if requested by Buyer; rents, if any; water taxes and other proratable items including flood hazard insurance shall be prorated to date of possession. Parties hereto agree to re-prorate all unbilled real estate tax bills.

6. **POSSESSION:** Possession shall be delivered at closing unless otherwise agreed in writing.

7. **EARNEST MONEY:** Earnest money and this contract shall be held by TBA for the benefit of the parties hereto.

(Check if applicable) Parties agree that said earnest money is to be held in a federally insured deposit account at a banking institution designated by the holder of the earnest money. All interest earned on the earnest money is to accrue to Buyer and is to be paid to Buyer at the time of closing or upon termination of this Contract.

8. **ATTORNEY MODIFICATION:** The terms of this Contract (and all riders attached), except purchase price, are subject to modification by the parties' attorneys within 5 business days from the date of acceptance. Notice of modification, if any, shall be in writing and shall state the specific terms being modified and the suggested revisions. If within 10 business days of the date of acceptance, agreement is not reached, this Contract shall be null and void, and all earnest money shall be returned to Buyer.

9. **INSPECTION/ENVIRONMENTAL SITE ASSESSMENT:** This contract is contingent upon approval by Buyer of the condition of the real estate as evidenced by an inspection/environmental site assessment conducted at Buyer's expense and by a contractor selected by Buyer, within 5 business days after Seller's acceptance of this contract. Buyer shall indemnify Seller from and against any loss or damage to the real estate caused by the acts or negligence of Buyer or the person performing such inspection. Notice of disapproval shall be given pursuant to Paragraph 15.

10. **DISCLOSURE:** Seller shall provide to the Buyer all information relevant to the condition, use and operation of the subject property available to Seller. Seller shall prepare, and deliver to Buyer, all documentation for the subject property in accordance with the Illinois Responsible Property Transfer Act, or similar laws of any jurisdiction in which the property is located. Seller shall also cooperate with Buyer to secure whatever environmental site assessment Buyer or Buyer's lender deems necessary or appropriate.

11. **SELLER REPRESENTATION:** Notwithstanding anything to the contrary contained in this contract, Seller represents that to the best of Seller's knowledge, all heating, central cooling, ventilating, electrical and plumbing fixtures and systems on the real estate and all equipment to be transferred to Buyer pursuant to this contract are in working order and will be so at the time of closing.

Seller represents that, to the best of Seller's knowledge, there are not now, nor have there been, any underground storage tanks located on the Property and no chemicals or toxic waste have been stored or disposed of on the Property, except for None

and that the Property has not been cited for any violation of any Federal, State, County or local environmental law, ordinance or regulation and the Property is not located within any designated legislative "superfund" area, except for None

12. **LEASES:** Seller will not enter into or extend any leases with respect to the subject property from and after the date Seller signs this contract without the express prior written consent of Buyer. All security deposits, damage deposits, or other deposits in the possession of Seller, including interest earned, if applicable, shall be assigned to Buyer at the time of closing; Seller shall deliver to Buyer, within 5 business days, true and correct copies of all leases, and this contract is subject to Buyer's review of same within 10 business days from date of acceptance.

13. **TITLE COMMITMENT:** Seller shall deliver to Buyer or Buyer's agent, not less than five days prior to the time of closing, a title commitment for an owner's title insurance policy issued by a title insurance company licensed to do business in the state of Illinois, in the amount of the purchase price, covering title to the real estate on or after the date hereof, showing title in the intended grantor subject only to (1) the conditions and stipulations and standard or general exceptions contained in the owner's policy issued by that company; (2) the title exceptions set forth above in paragraph 4, (3) title exceptions which may be removed by the payment of money at the time of closing and which the Seller may so remove at that time by using the funds to be paid upon the delivery of the deed. Any title commitment furnished by the Seller hereunder shall be conclusive evidence of good title as therein shown, subject only to exceptions as therein stated. The Seller shall timely file all notices and take all necessary steps to assure the deregistration of the real estate and recording of the deed at closing. If the title commitment discloses exceptions relating to title other than those referred to in this paragraph, Seller shall have 30 days from the date of the delivery thereof to Buyer to have these exceptions removed from the commitment. If Seller fails to have these exceptions removed within such time, Buyer may terminate this contract or may elect upon notice to Seller within 10 days after the expiration of the 30-day period, to take title as it then is with the right to

deduct from the purchase price liens or encumbrances of a definite or ascertainable amount. If Buyer does not so elect, this contract shall become null and void without further action of the parties, and the earnest money shall be returned to the Buyer.

14. DEFAULT: If the Buyer defaults, earnest money shall be forfeited and applied to payment of broker's commission and any expenses incurred, and balance paid to Seller. If Seller defaults, earnest money, at option of Buyer, shall be refunded to Buyer, but such refunding shall not release Seller from its obligations under this contract. In the event of a dispute as to who is entitled to the earnest money, the escrowee may deposit the escrow funds with the Clerk of the Circuit Court in accordance with state law. The parties agree to indemnify and hold the escrowee harmless from any and all claims and demands, including the payment of reasonable attorney's fees, costs and expenses arising out of such claims and demands, said amounts to be borne equally by both Seller and Buyer.

15. NOTICES: All notices or other communications which may be required or made under the terms of this contract shall be in writing and shall be made to the parties hereto at the addresses which appear after their names, or at such address or to such person as each may by written notice to the other designate, by personal delivery, certified or registered mail, or by facsimile transmission. In case of mailing, such notice shall be deemed to be given as of the date notice is placed in the United States mail, postage paid. For the purposes of Paragraph 9 of this contract, if written notice of disapproval is given within the time period specified, this contract shall be null and void and the earnest money shall be returned to Buyer. Notice of disapproval may be given by either party hereto or by their respective attorneys. If written notice of disapproval is NOT given within the time period specified, this contingency shall be deemed waived and the contract shall remain in full force and effect.

16. GENERAL CONDITIONS:

(a) If prior to closing, improvements on the real estate are destroyed or materially damaged by fire or other casualty, this contract, at option of Buyer, shall become null and void or Buyer may elect to take any assignment of Seller's insurance proceeds.

(b) Prior to closing, Seller shall furnish at Seller's expense a survey dated not more than six (6) months prior to contract acceptance by a licensed land surveyor showing the location of the improvements thereon (including fences separating the real estate from adjoining properties) and showing all encroachments, if any. If the survey discloses improper location of improvements or encroachments and Seller is unable to obtain title insurance protection for the benefit of Buyer against loss resulting from such improper locations or encroachment, Buyer may, at his option, declare this contract to be null and void. Providing all existing improvements (including fences) and encroachments, if any, appear on the survey thus furnished, Buyer shall bear the cost of any later date survey which may be required by Buyer's lender or desired by Buyer.

(c) Existing mortgage and lien indebtedness may be paid out of sale proceeds. Buyer may place a mortgage on the real estate and apply proceeds to purchase.

(d) All of the items of personal property shall be transferred to Buyer by delivery at closing of a customary Bill of Sale without warranty of merchantability or fitness for particular purpose. Seller also shall furnish Buyer an Affidavit of Title covering the time of closing, subject only to the title exceptions permitted by this contract and shall sign customary ALTA forms.

(e) Buyer acknowledges for the benefit of Seller and for the benefit of third parties that Buyer has had complete access to the real estate, its improvements and included personal property, as well as the public records related to the property, and is satisfied as to the physical and other condition of the real estate, improvements and included personal property.

(f) Seller shall remove all debris from the real estate and improvements by date of possession. Buyer shall have the right to inspect the real estate and improvements during the 48-hour period immediately prior to closing to verify that the real estate, improvements and included personal property are in substantially the same condition as of the date of Seller's acceptance of this contract, normal wear and tear excepted.

(g) The Seller warrants that neither Seller nor Seller's agent has received notice of any dwelling code violation which exists on the date of this contract from any city, village, or other governmental authority.

(h) Seller and Buyer shall execute all documents and provide all information so that Buyer's lender can issue its commitment and close the transaction.

(i) Seller shall comply with the terms of any municipal ordinance relating to the transaction contemplated herein for the municipality in which the real estate is located and shall provide to Buyer at closing evidence of compliance with such ordinances. Transfer taxes required by local ordinance shall be paid by the party designated in such ordinance. Seller shall pay any transfer tax imposed by state law.

ORO CONSTRUCTION INC

Oro Construction Inc.
Building & Remodeling
106 Ascot Lane Streamwood IL. 60107
(847) 456-8776

To : Victoria Omokie
Job Site: 4232 Venard Road Downers Grove ILL
Phone: (

02/03/11

PROPOSAL

Oro Construction Inc. Hereby proposes to perform any labor necessary for the completion of the daycare center this proposal includes the following:

- a.- Asphalt parking, Resurfacing of existing asphalt, parking paint and stripping per plan.
- b.- Site lighting (wallpaks at building and lights above doors) per plan.
- c.- Garage enclosure (6' CMU walls) per plan.
- d.- Monument Sign (illuminate sign) per plan.
- e.- Flat work (side walks) per plan.
- f.- Landscape per plan.
- g.- Concrete Curb and gutter at entrance per plan.
- h.- Elevation work carpentry painting per plan.
- i.- Exterior Windows (windsor vinyl casements) and Doors (hallow metal insulated) per plan.

The above work to be perform in accordance and above specifications submitted for work and to be completed in substantial workmanlike manner for the sum of.....\$ 60,00.00

- 1.- A deposit of \$ 30,000.00 is required when interior door completed.
- 2.- A Balance of \$ 30,000.00 is required upon completion.

Any alteration or deviation from above specifications involving extra cost, will be executed only upon written orders, and will become an extra charge over and above the contract price, the agreements contingent upon strikes , accidents or delays beyond our control. Owner is responsible to carry fire , tornado, and other necessary insurance upon the above work Oro Construction Inc. will be carry workmen's and public liability insurance on the above work.

ACCEPTANCE OF PROPOSAL

CONTRACTOR

GENERAL CONTRACTOR

ORO CONSTRUCTION INC.

DATE _____

Uriel Oropeza



CUSTOM RESIDENTIAL FRAMING & ADDITIONS Siding | Gutters | Roofing | Soffit

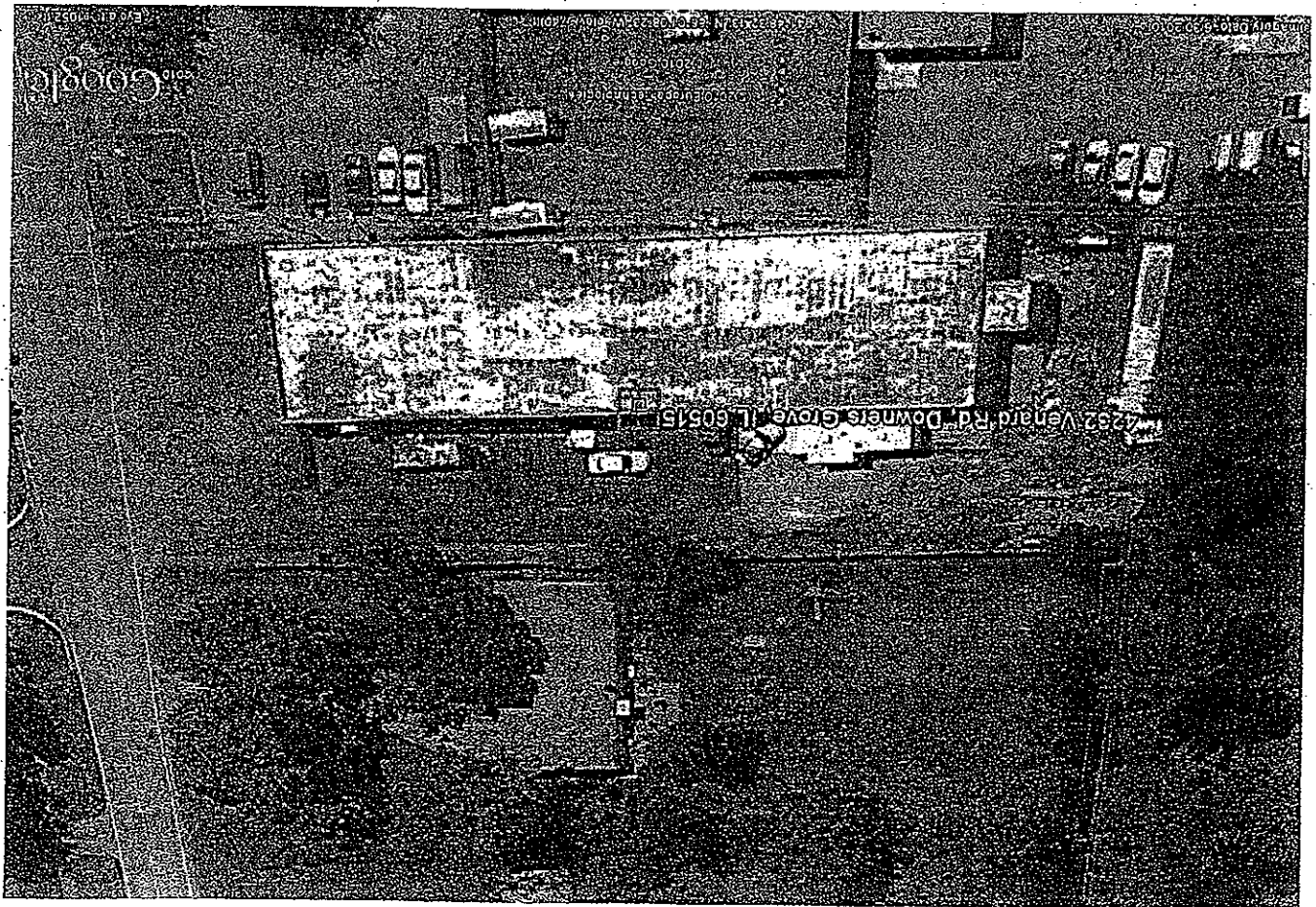
12896 Mayfair Drive
Lemont, IL 60439
708.878.7788 : voice
630.410.8133 : fax

Proposal

Date	Estimate #
2/4/2011	306

Name / Address
Victoria Omoike

Description	Qty	Rate	Total
Complete installation of concrete curbs, public sidewalk, concrete foundation for neon sign.		8,000.00	8,000.00
Installation of new sign for new proposed daycare.		5,000.00	5,000.00
Complete installation of new asphalt, repaving and repairing of existing asphalt. We will also restripe the parking lot with pylons.		22,000.00	22,000.00
Complete installation of fence surrounding dumpster area		800.00	800.00
Complete electrical work for all outside.		2,500.00	2,500.00
Complete landscaping work as per print.		6,500.00	6,500.00
Complete installation of new roof at front door as per print.		6,000.00	6,000.00
Complete installation of all new doors and windows as proposed per print. We will fill in existing overhead doors with new cmu. Concrete blocks.		19,200.00	19,200.00
All work proposed to be done at 4232 Venard Road. Downers grove Illinois. Proposed daycare center for client.		0.00	0.00
Signature of Acceptance		Total	\$70,000.00



Next Dimension Pro Series

SINGLE HUNG

SPECIFICATIONS

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Factory assembled vinyl single hung windows [including fixed units], glass and glazing, operable hardware, weatherstripping, and insect screen.
- B. Anchorages, attachments, and accessories.

1.02 RELATED SECTIONS

- A. Section 01340 - Shop Drawings, Product Data, and Samples.
- B. Section 01610 - Delivery, Storage, and Handling.
- C. Section 01710 - Final Cleaning.
- D. Section 07200 - Batt and Blanket Insulation.
- E. Section 07920 - Sealants and Caulking.
- F. Section 08800 - Glass and Glazing.

1.03 REFERENCES

- A. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM):
 - 1. ASTM E-283 - Rate of Air Leakage through Exterior Windows, Curtain Walls, and Doors.
 - 2. ASTM E-547 - Water Penetration of Exterior Windows, Curtain Walls, and Doors by Cyclic Static Air Pressure Difference.
 - 3. ASTM E-330 - Structural Performance of Exterior Windows, Curtain Walls, and Doors under Uniform Static Air Pressure Difference.
- B. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
- C. AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION (AAMA)
 - 1. ANSI/AAMA 101-93 - Voluntary Specifications for Aluminum and Poly (Vinyl Chloride) (PVC) Prime Windows and Glass Doors.
 - 2. ANSI/AAMA 101-93 - Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors.

1.04 PERFORMANCE CRITERIA

- A. Single hung window units shall meet requirements in accordance with ANSI/AAMA/NWWDA 101/I.S-2-97.
- B. Air leakage shall not exceed 0.30 cfm per sq. ft. of crack when tested in accordance with ASTM E-283 at 1.57 psf.
- C. No water penetration shall be allowed when tested in accordance with ASTM E-547.
- D. Window units shall withstand positive and negative windloads without damage. The units shall be tested in accordance with ASTM E-330.

1.05 SUBMITTALS

- A. Shop drawings shall be submitted in accordance with Section 01340.
- B. Product data in the form of general catalogs, test lab reports, product performance, and warranty information shall be submitted in accordance with Section 01340.
- C. Samples showing glazing, construction and finish shall be submitted in accordance with Section 01340.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. In compliance with Section 01610, window units shall be delivered undamaged, with protective packaging. Complete installation and finishing instructions shall be included.
- A. Store units in a clean, dry place, off the ground in a 90 degree upright position. Do not store units under direct sunlight or in temperatures exceeding 140 degrees F.

PART 2 - PRODUCTS

2.01 MANUFACTURER

- A. Next Dimension Pro Series Vinyl Single Hung Windows [including fixed units] as manufactured by Windsor Windows & Doors.

Next Dimension Pro Series

SINGLE HUNG

SPECIFICATIONS

2.02 MATERIALS

- A. **Frame:** Frame is available in either a Standard or Brickmould profile. The brickmould profile has a built-in J-channel relief. Standard frames are 2 3/4" wide while the Brickmould frame is 3" wide. They are manufactured using high performance uPVC extrusion material. Each frame corner is fusion welded, increasing strength and maximizing weather-proof performance. All frames include an aluminum reinforced fixed interlock meeting rail. An extruded rigid pre-punched nail fin with fusion welded corners surrounds the perimeter of the frame. The nail fin is set back 1 1/8" from the outside face of the unit (1 3/8" for the Brickmould frame) leaving an interior jamb width of 1 9/16". An accessory groove surrounds the perimeter of the interior and exterior to facilitate the attachment of mull strips or drywall and jamb extension receivers. Each frame contains a positive pressure drainage system that works in conjunction with the sash to remove moisture that may accumulate from heavy rain or condensation.
- B. **Sash:** All sash are manufactured using high performance uPVC extrusion material. Each sash corner is fusion welded, increasing strength and maximizing weather-proof performance. A wool pile seal is placed on the inside face perimeter of the sash further enhancing weather-proof performance. Each sash contains an interior drainage system that removes moisture that may accumulate from heavy rain or condensation. Top rail of operating sash includes an extruded interlock that engages tightly with the fixed interlock and an extruded lift rail as affixed to the bottom rail for greater ease of use. Up and down travel is made smooth through the use of a block and tackle balance system hidden within the jamb. The sash assembly is easily removed by disengaging the balance system, shifting the sash to the side, and removing.
- C. **Finish:** White exterior with white interior or clay exterior with clay interior. Color is encapsulated within 100% of all extrusions and is warranted for life not to blister, pit, corrode, flake, or peel.
- D. **Glazing:** All units include 3/4" double pane LoE 366 insulated glass with argon as standard, with glazing bead applied to the exterior side of the sash and adhesive tape toward the interior. A wide array of other glass combinations is offered including clear, tinted, tempered, and obscure.
- E. **Hardware:** All units contain a cam action lock and keeper with baked enamel finish; two locks standard on 42" wide units. All hardware is color matched to the unit and is attached with stainless steel screws. Balance system consists of a concealed, heavy-duty block and tackle with stainless steel take-out clips.
- F. **Screens:** Screen construction is charcoal color fiberglass mesh set into an aluminum frame. BetterVue™ Sreen option is available. All screen frames are color matched to the unit. Screens reside in extruded channels and are held in place by leaf springs. Screens are easily removed from the inside by lifting the attached tab. Our insect screens are intended to allow air and light in and keep insects out. The screen is not intended to stop children, adults or animals from falling out an open window.
- G. **Grilles:** 3/4" profiled aluminum inner grilles are available as an option. Inner grilles are color matched to the unit and are installed within the air space.
- H. **Mulls:** Mulls groups within a certain size range will utilize T-Bar mullion posts in one continuous frame. When T-Bars mullions are not possible, individual units are mulled using vinyl frame connectors and drip cap over all vertical mulls. Depending on the size, configuration, and structural requirements, mulled units may include galvanized steel structural or aluminum reinforcement bars.

Next Dimension Pro Series

SINGLE HUNG

SPECIFICATIONS

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Verify that there is no visible damage to the unit before installation.

3.02 INSTALLATION

- A. Verify the rough opening is of the recommended size and that it is plumb, level, and square.
- B. Install the window unit in accordance with the manufacturer's recommendations.
- C. Install sealants, backing material, and insulation around opening perimeter in accordance with Section 07900 and Section 07920.

3.03 ADJUSTMENT AND CLEANING

- A. Operate unit and verify that all hardware operates freely. Make any adjustments necessary.
- B. Cover the window unit to avoid damage due to spray paint, plaster, and other construction operations.
- C. Remove all visible labels and instructions.
- D. Final cleaning of glass in accordance of Section 01710

THE COLOR ADVANTAGE

BY WINDSOR WINDOWS & DOORS

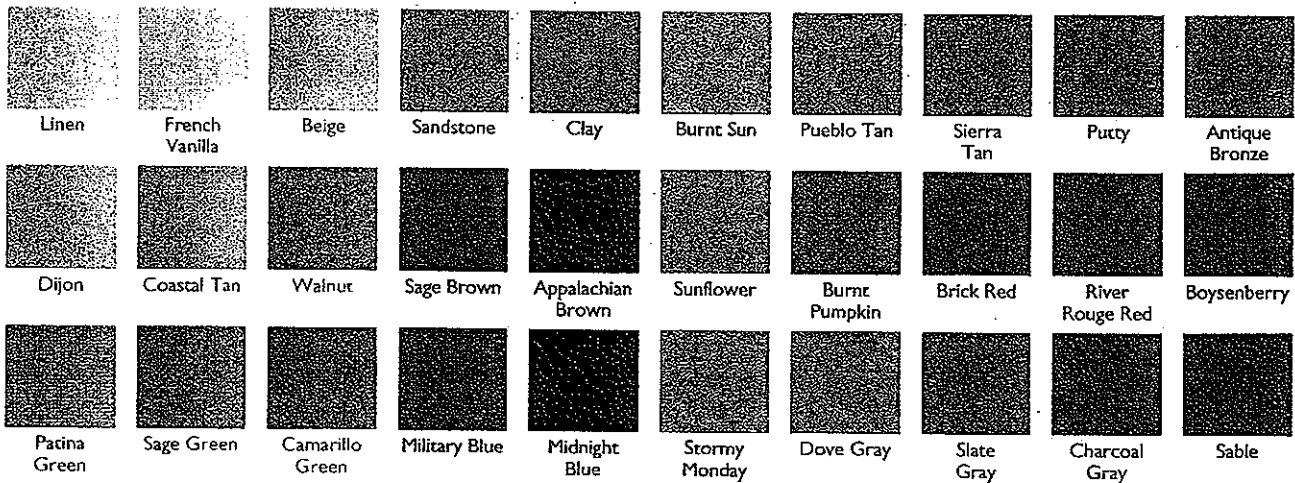
SPECIAL PRICING ON COLORFUL SOLUTIONS

Take advantage of this special opportunity to experience our extensive line of 37 cladding colors and 7 anodize finishes that are sure to impress your customers. By using the highest quality materials, Windsor's Color Advantage program will provide excitement, durability, low maintenance and weather resistance to your next project.

- Promotion includes all 30 feature colors and 7 anodize finishes (excludes copper anodize finish)
- Windsor's 7 standard colors are included if ordered in the 2604 finish
- Promotion valid on Pinnacle Clad and Legend HBR (excludes Windsor Bi-fold Patio Doors)
- Paint finishes will be AAMA 2604; anodize finishes will be AAMA 611 Class 1
- Offer valid on orders entered March 1-May 28, 2010
- All orders must ship by July 30, 2010
- Not valid with any other offer
- 30 unit* minimum and standard lead times apply

*Each window and door panel counts as a "unit." Orders under the unit minimum will carry a set-up fee.

FEATURE COLORS*



ANODIZE FINISHES*



*Printing limitations prevent exact color representation. See your Windsor distributor for actual color samples.

Contact your local distributor or call 1.800.218.6186 for more information on quality products from Windsor Windows & Doors.



WINDSOR
WINDOWS & DOORS
A Woodgrain Millwork Company

Excellent Choice

WWW.WINDSORWINDOWS.COM | 800.283.3399

QUALITY

PRODUCT SELECTION

SERVICE

VALUE



WINDSOR
WINDOWS & DOORS
A Woodgrain Millwork Company

Manufacturer's Certification Statement

For products purchased after June 1, 2009

This Manufacturer's Certification Statement can be relied upon by taxpayers for verification that certain Windsor Windows & Doors products are eligible for the tax credits identified in the American Recovery and Reinvestment Act of 2009. By the guidelines set forth by the IRS and defined in the American Recovery and Reinvestment Act of 2009, products eligible for the credit are listed in the Energy Performance Search Tool on the Windsor Windows website at www.windsorwindows.com.

The IRS requires that the manufacturer be identified. Windsor Windows & Doors, a division of Woodgrain Millwork Inc., is headquartered at the following address: Windsor Windows & Doors, 900 South 19th Street, West Des Moines, IA 50265

All exterior windows & doors that meet the following criteria are eligible to receive a tax credit:

- Must be "placed in service" from January 1, 2009 through December 31, 2010. See Footnote 1 below.
- To qualify for the tax credit, windows, doors, and skylights placed in service after February 17, 2009 must have a U-factor and Solar Heat Gain Coefficient (SHGC) less than or equal to 0.30. See Footnote 2 below.
- Must be for taxpayers' principal residence.
- Maximum amount is \$1,500 [total] in 2009 & 2010 for most home improvements (geothermal heat pumps, solar water heaters, solar panels, fuel cells, and windmills are not subject to this cap, and are in effect through 2016). See Footnote 3 below.
- Must have a Manufacturer Certification Statement to qualify.
- For record keeping, save your receipts and this Manufacturer Certification Statement.
- Improvements made in 2009 will be claimed on your 2009 taxes (filed by April 15, 2010) — use IRS Tax Form 5695 (2009 version) — it will be available late 2009 or early 2010.
- If you are building a new home, you can qualify for the tax credit for geothermal heat pumps, photovoltaics, solar water heaters, small wind systems and fuel cells, *but not the tax credits for windows, doors, insulation, roofs, HVAC, or non-solar water heaters.*

¹ Tax credits for windows, doors, insulation, HVAC, and non-solar water heaters (that were available in 2006 & 2007) are NOT available for products installed in 2008, but they are again eligible for products installed in 2009 and 2010.

² For products purchased between January 1, 2009 and February 16, 2009, the terms of the tax credit are less clear. The Internal Revenue Service will likely clarify these terms in guidance documents, which are expected to be released later this year. Please contact the Internal Revenue Service or your tax professional for further details.

³ Installation cost are NOT covered by the tax credit for Windows, Doors, Insulation or Roofs.

All Windsor quotes and unit labels also provide the U-Value and Solar Heat Gain Coefficient information necessary to determine eligibility for this credit.

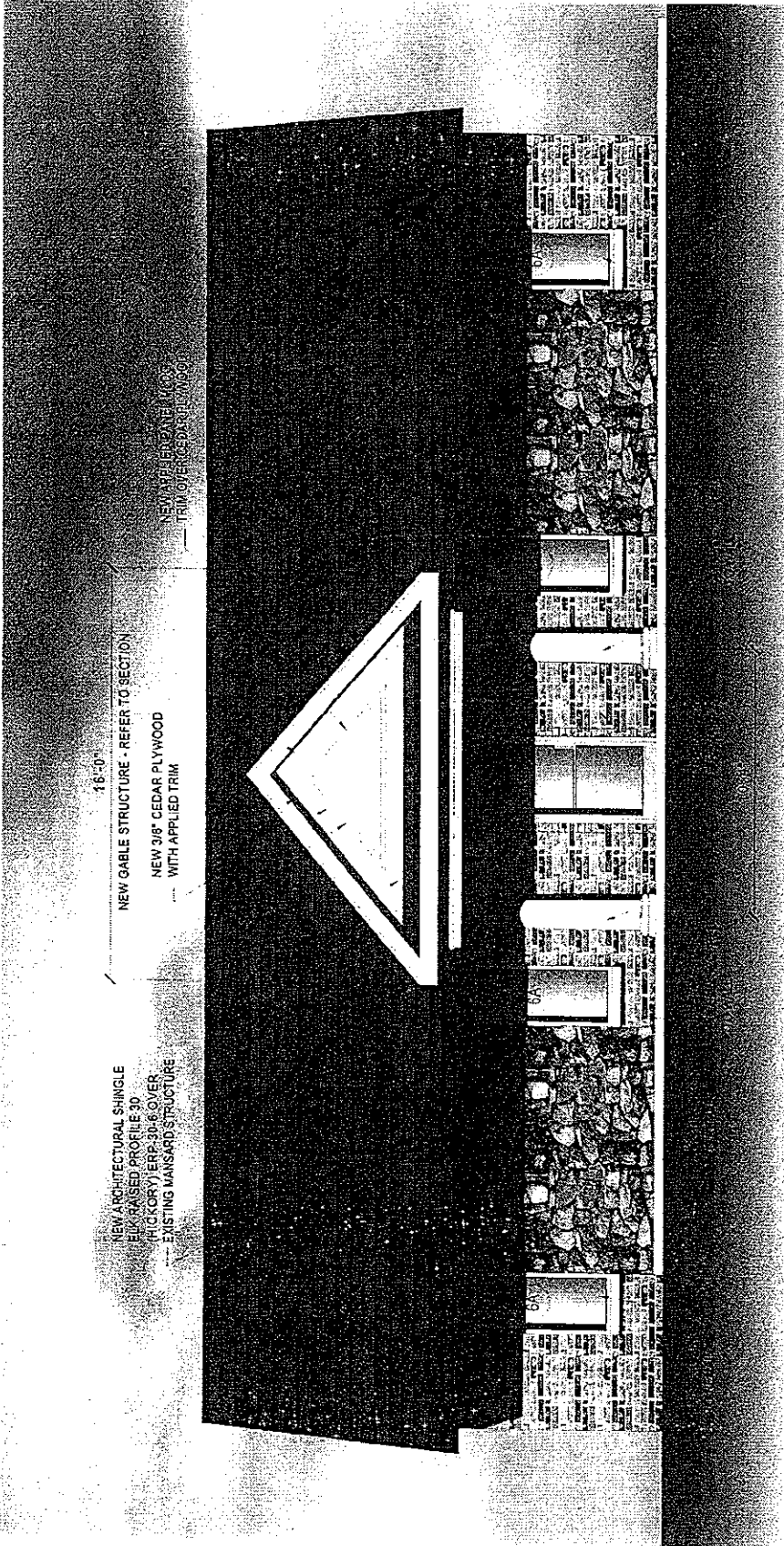
The preceding guidance is not intended as legal advice, and you should consult a tax professional with specific questions and visit the EnergyStar website at www.energystar.gov for further information. Windsor Windows & Doors assumes no liability regarding the ability of the homeowner to obtain tax credit.

Please contact your nearest Windsor Inside Sales Representative for details or any other questions about this document:

West & Midwest Customers	West Des Moines, IA Plant	515-223-6660
Eastern Customers	Monroe, NC Plant	704-283-7459

Under penalties of perjury, I declare that I have examined this certification statement, and to the best of my knowledge and belief, the facts are complete and accurate.

Mark Rieser, President, Windsor Windows & Doors



ELEVATION KEYNOTES

- | | | | |
|----|--|----|--|
| 1A | EXISTING ASPHALT SHINGLES TO REMAIN | 6A | REPLACE EXISTING WINDOW WITH ENERGY EFFICIENT WINDOW. COLOR ALMOND |
| 1B | PREFINISHED METAL GUTTER - COLOR SAND | 6B | NEW ENERGY EFFICIENT WINDOW. COLOR ALMOND |
| 1C | EXISTING CLAY PAVEMENT DOORING TO REMAIN | 7 | NEW ALUMINUM OPERATOR WINDOWS WITH 1" INSULATED GLASS - COLOR ALMOND TO MATCH WINDOW |
| 2 | CEDAR FASCIA - COLOR TO BE SELECTED BY ARCHITECT | 8 | HOLLOW METAL DOOR - CO. OR ALMOND - SEE DOOR SCHEDULE |
| 2A | EXISTING BRICK TO REMAIN | 9 | APPLIED PANEL MOLDING HOLDING OVER CEDAR FIR PLYWOOD - COLOR TO BE SELECTED BY ARCHITECT |
| 3B | LIMESTONE WINDOW SILL | 10 | 3/8" F.L.S. CEDAR FIR PLYWOOD W/1" APPLIED TRIM - COLOR TO BE SELECTED BY ARCHITECT |
| 3C | EXISTING CMU WALL - CLEAN AND REPAINT WALL | 11 | NEW STEEL INSULATED DOOR - SEE DOOR SCHEDULE |
| 4 | FYPON FASCIA - HUBS 1/2" - 8 COLOR ALMOND | | |
| 5 | TUSCAN STYLE FRP HOLLOW COLUMN - COLOR ALMOND | | |

FRONT ELEVATION

SCALE 1/4"=1'-0"

PROJECT
 PROPOSED DAY CARE CENTER
 4322 VERNARD ROAD
 DOWNERS GROVE, IL
 CLIENT
 VICTORIA OZORE

DATE: 10-03-11
 JOB NO.: 0247-11

FIGURE TITLE
 ELEVATIONS

SHEET NUMBER

A1

AD
AGAMA DESIGNS
 architecture

200 S. La Cumbre
 Yorkville, Illinois 62570
 Phone: 618.241.7500
 Email: info@adagamas.com

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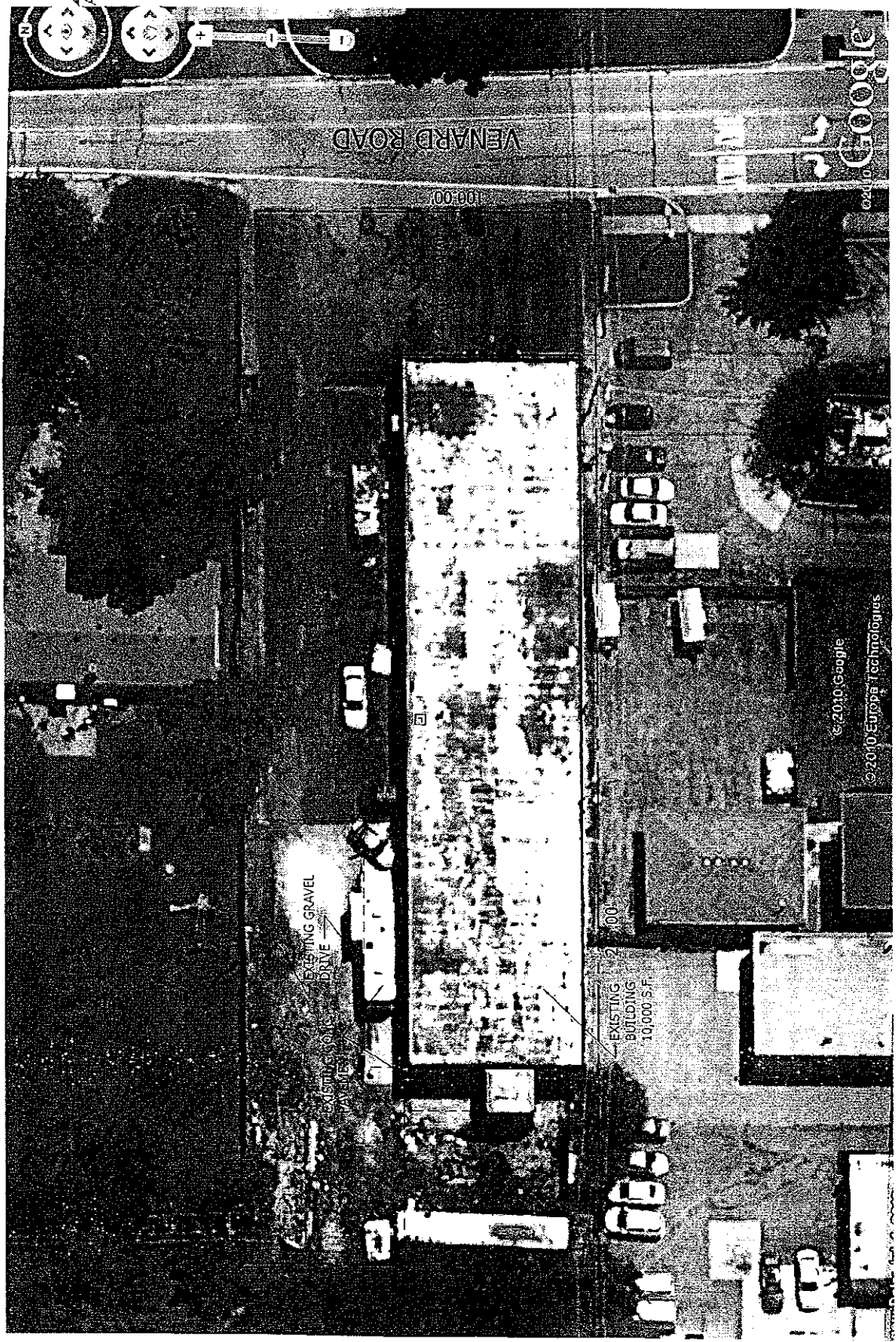
PROJECT:
 PROPOSED DAY CARE CENTER
 4232 VENARD ROAD
 DOWNERS GROVE, IL
 CLIENT:
 VICTORIA OLSON

DATE: 10.08.11
 JOB NO.: 49331

SHEET TITLE:
 EXISTING CONDITION
 SITE PLAN

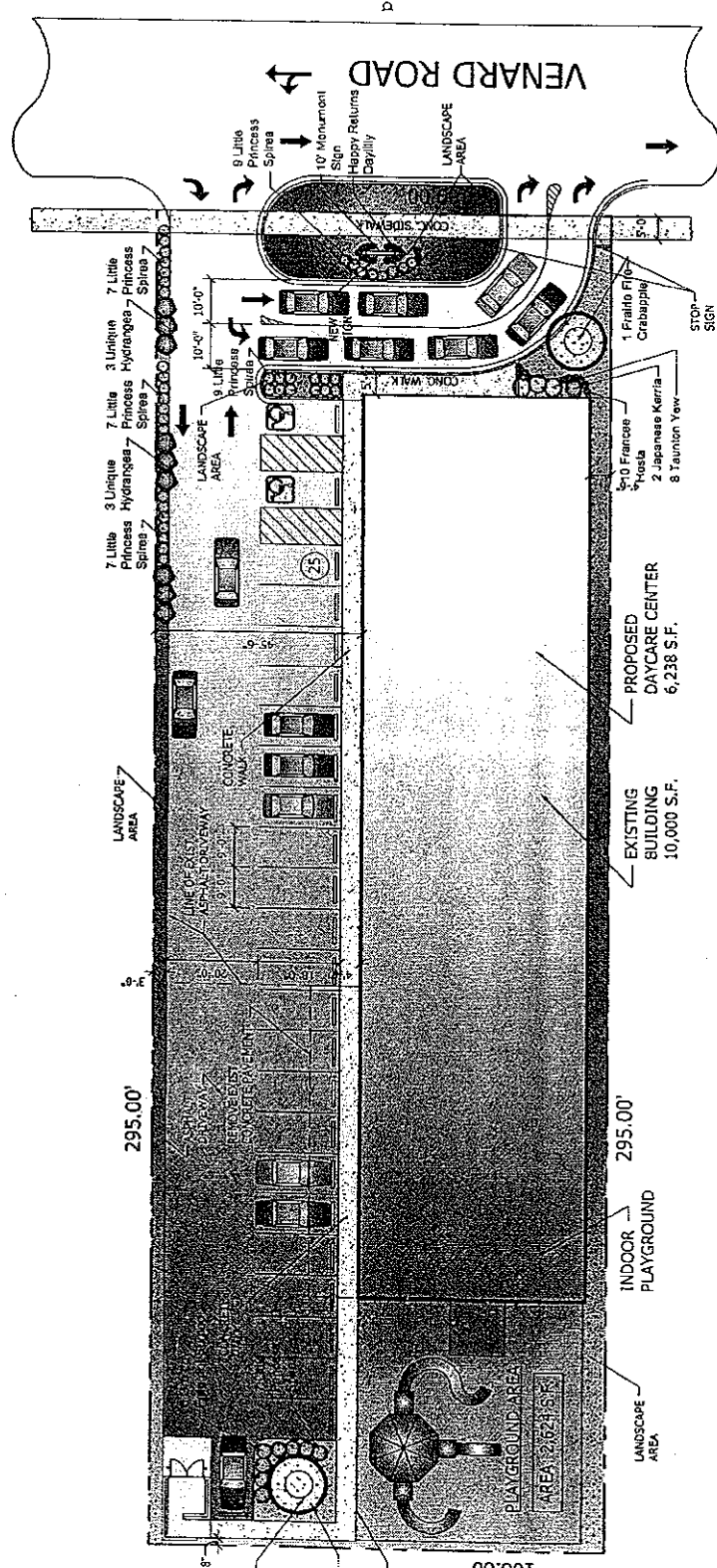
SHEET NUMBER

A0



EXISTING SITE PLAN

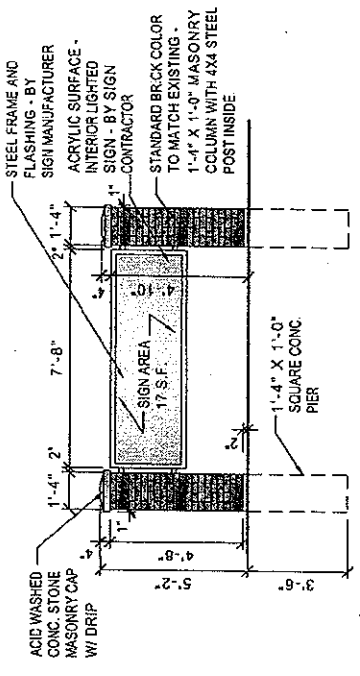
SCALE: NTS



(FOR REFERENCE ONLY - SEE PLOT OF SURVEY FOR MORE INFORMATION)

LANDSCAPE PLAN

SCALE: 1" = 20'



MONUMENT SIGN

SCALE: 1/4" = 1'-0"

PROJECT: PROPOSED DAY CARE CENTER
 4322 VENARD ROAD
 DOWMERS GROVE, TX
 DATE: 06/20/11
 JOB NO.: 09-27-11

SHEET TITLE
 LANDSCAPE PLAN

SHEET NUMBER
 L1



209 N. Main Street
 Chicago, IL 60610
 Phone: 630.327.7800
 Email: info@agamasigns.com

PROJECT	PROPOSED DAY CARE CENTER - PRELIMINARY
CLIENT	VICTORIA CHOICE - Phone: 630-728-9509
DATE	11/27/14
DESIGNER	AGAMA DESIGNS
DATE	11/27/14
PROJECT	PROPOSED DAY CARE CENTER - PRELIMINARY

SITE DATA TABLE

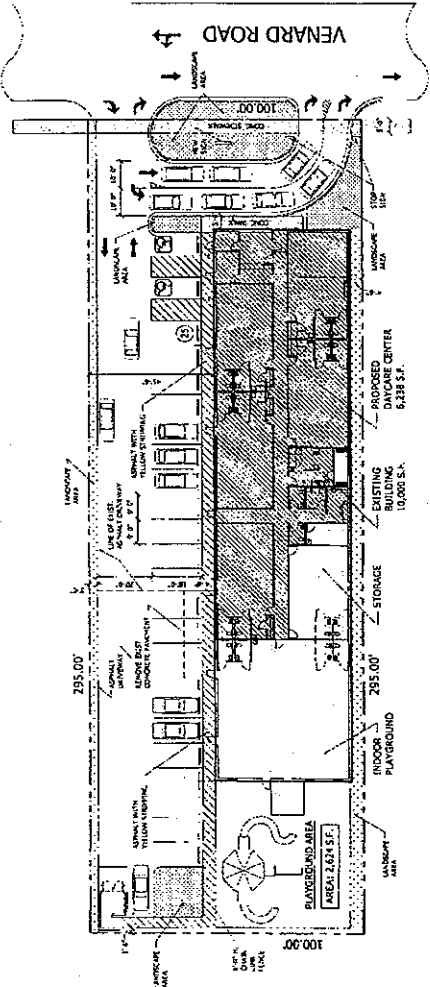
OWNER OF RECORD:

LEGAL DESCRIPTION:

PARCEL NUMBER: B-3
 CURRENT ZONING: B-3
 PROPOSED ZONING: B-3
 TOTAL SITE AREA: 28,506 S.F.
 EXISTING BUILDING FOOTPRINT: 10,000 S.F. - 35.1% OF SITE
 EXISTING ASPHALT PAVEMENT: 9,119 S.F. - 32.0% OF SITE
 PROPOSED ASPHALT PAVEMENT: 17,704 S.F. - 62.1% OF SITE
 PROPOSED CONCRETE PAVEMENT: 948 S.F. - 3.3% OF SITE
 PROPOSED LANDSCAPE AREA: 3,022 S.F. - 10.6% OF SITE
 ADDITIONAL IMPERVIOUS PAVEMENT: 4,175 S.F.

PARKING REQUIREMENTS:
 DAY CARE AREA:
 4 SPACES PER 1,000 SF
 6,738 SF STORAGE AND INDOOR PLAYGROUND (NOT INCLUDED)
 25 PARKING SPACES
 2 HANDICAP
 25 PARKING SPACES
 2 HANDICAP

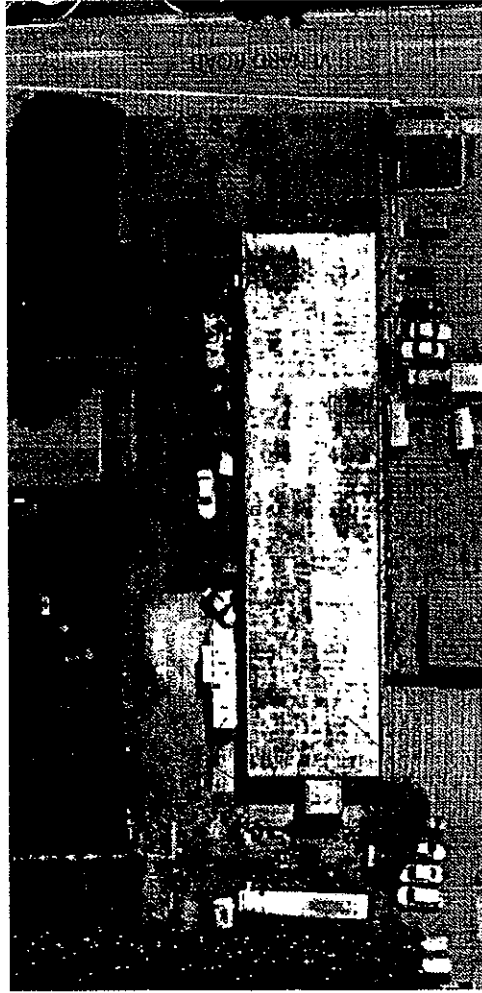
STAGING REQUIREMENTS:
 STAGING REQUIRED:
 4 SPACES PER 1,000 SF
 4 SPACES
 STAGING PROVIDED:
 4 SPACES



SITE PLAN - FOR REFERENCE ONLY

SCALE: 1"=27'

(FOR REFERENCE ONLY - SEE PLOT OF SURVEY FOR MORE INFORMATION)



SITE PLAN - EXISTING CONDITIONS

SCALE: 1"=27'

PROJECT: PROPOSED DAY CARE CENTER - PRELIMINARY

CLIENT: VICTORIA CHOICE - Phone: 630-728-9509

DATE: 11/27/14

DESIGNER: AGAMA DESIGNS

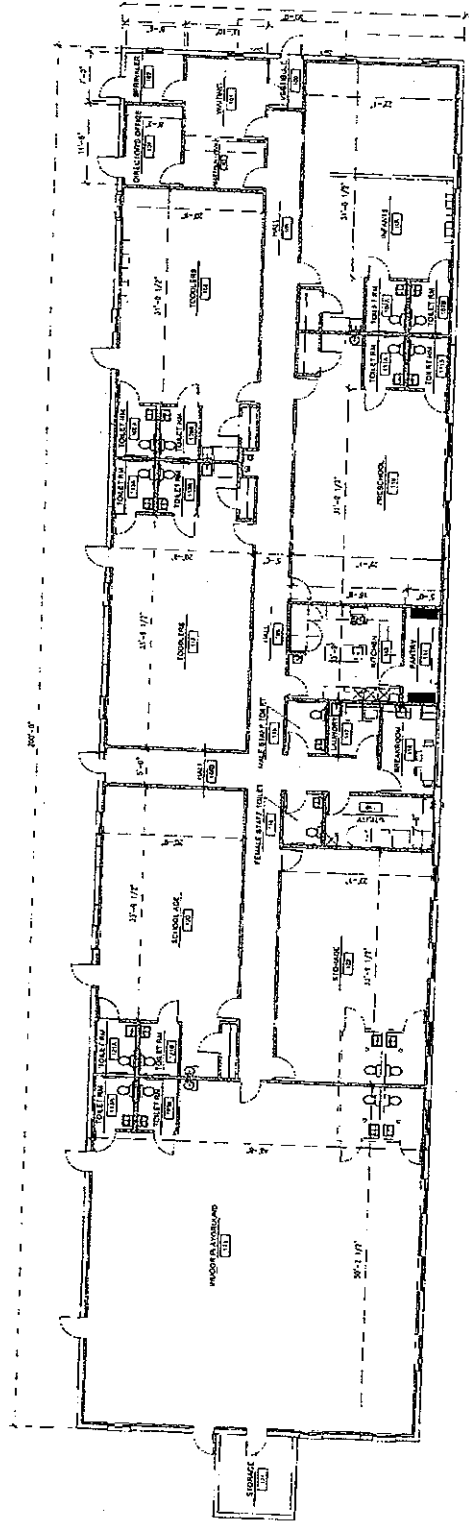
DATE: 11/27/14

PROJECT: PROPOSED DAY CARE CENTER - PRELIMINARY

SUBJECT NUMBER: A0

EXISTING SITE CONDITIONS

PROJECT	DATE
DESCRIPTION	DATE
ARCHITECT	DATE
ENGINEER	DATE
PLUMBER	DATE
ELECTRICIAN	DATE
MECHANICAL	DATE
INTERIOR DESIGNER	DATE
PAINTER	DATE
CONTRACTOR	DATE

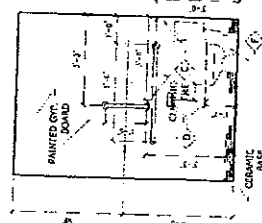
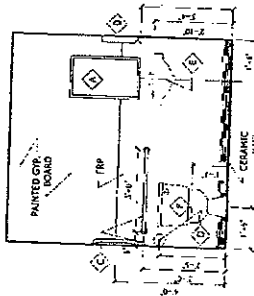


PROPOSED FLOOR PLAN
 SCALE: 1/8" = 1'-0"



CONSTRUCTION LEGEND
 DOTTED EXISTING WALL CONSTRUCTION
 SOLID NEW WALL CONSTRUCTION
 DASHED OPEN WALL CONTRIBUTION

- TOILET ACCESSORIES:**
- 1. SINK: 18" x 24" (180)
 - 2. SINK: 18" x 24" (180)
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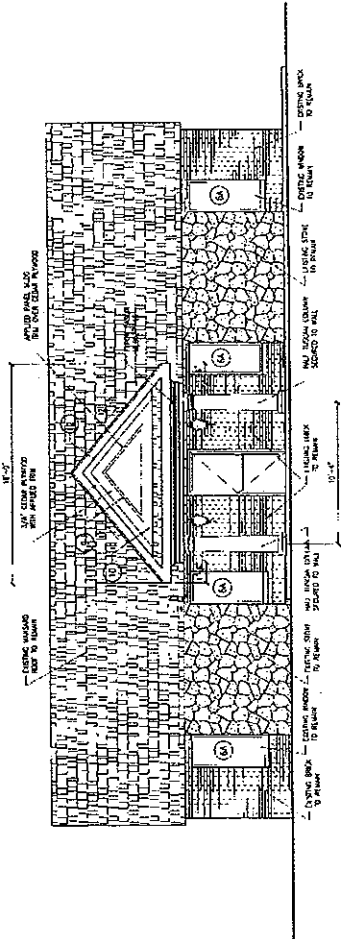


TOILET ROOM ELEVATIONS
 SCALE: 1/8" = 1'-0"

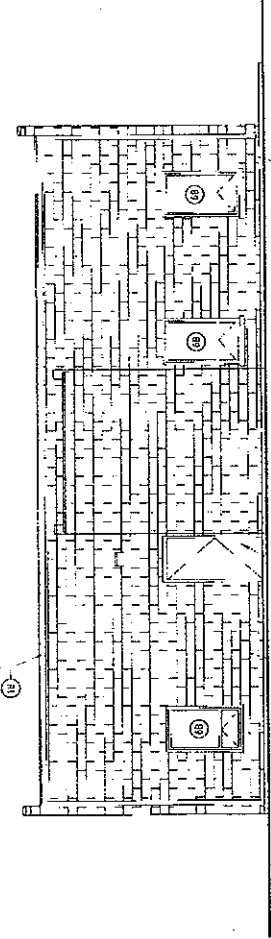
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ELEVATION KEYNOTES

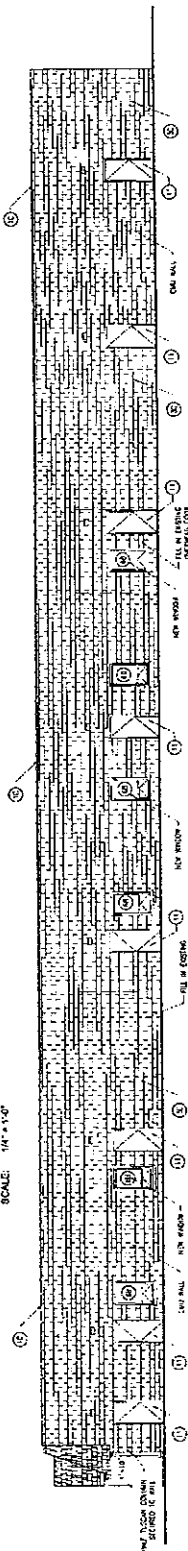
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2. PROPOSED METAL GUTTER - DARK SMD
3. EXISTING CURB PARAPET COLOUR TO REMAIN
4. EXISTING FASCIA - COLOUR TO BE SELECTED BY ARCHITECT
5. EXISTING BRICK TO REMAIN
6. EXISTING WINDOW PAIL
7. EXISTING CURB WALL - CLEAN AND REPAIR WALL
8. EXISTING FASCIA - MATCH TO COLOUR TO BE SELECTED BY ARCHITECT
9. EXISTING METAL GUTTER - COLOUR TO BE SELECTED BY ARCHITECT
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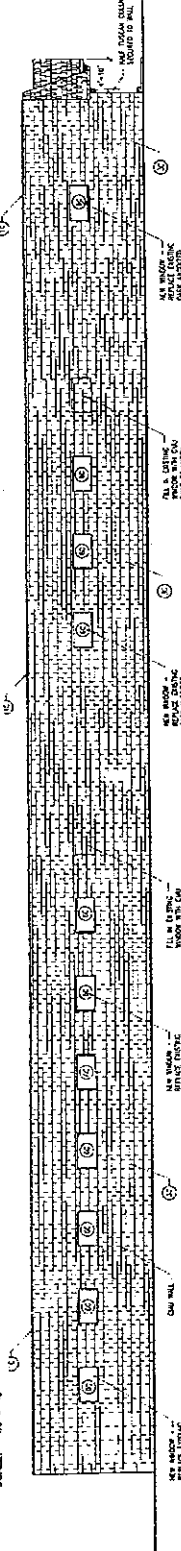
PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

PROJECT: PROPOSED DAY CARE CENTER - PRELIMINARY
 4232 VERNARD ROAD
 DOWNERS GROVE, IL
 VICTORIA OAKMOORE - PHONE: 604-728-9909

DATE: 12/27/16
 DRAWN BY: J. GARDNER
 CHECKED BY: J. GARDNER
 APPROVED BY: J. GARDNER

SHEET TITLE: PROPOSED ELEVATIONS
 SHEET NUMBER: A3
 SHEET NUMBER: A3

ORO CONSTRUCTION INC

Oro Construction Inc.
Building & Remodeling
106 Ascot Lane Streamwood IL. 60107
(847) 456-8776

To : Victoria Omoike
Job Site: 4232 Venard Rd, Downers Grove IL
Phone: (630) 728 9909

04/02/11

PROPOSAL

Oro Construction Inc, Hereby proposes to perform any labor necessary for the completion of day care center this proposal includes the following:

a.- Resurfacing of existing asphalt parking, paint and striping per plan.....	\$ 8500.00
b.- Site lighting (lights above door) per plan.....	\$ 2500.00
c.-Garage enclosure (6" CMU walls) per plan.....	\$ 3000.00
d.- Monument sign (illuminate sign) per plan.....	\$3,500.00
e.- Flat work (side walk) per plan.....	\$ 2500.00
f.- landscape grass only(per plan)	\$ 3800.00
g.- Concrete curb and gutters at entrance per plan	\$ 3400.00
h.- Front elevation carpentry work and paint	\$ 7000.00
j.- Exterior windows (windsor vinyl casement) and doors (hallow metal insulated per plan.....	\$ 25,800.00

The above work to be perform in accordance and above specifications submitted for work and to be completed in substantial workmanlike manner for the sum of.....\$ 60,000.00

- 1.- A deposit of \$ 30,000.00 required the first day of work .
- 2.- Balance of \$ 30,000,00 is required upon completion.

Any alteration or deviation from above specifications involving extra cost, will be executed only upon written orders, and will become an extra charge over and above the contract price, the agreements contingent upon strikes , accidents or delays beyond our control. Owner is responsible to carry fire , tornado, and other necessary insurance upon the above work Oro Construction Inc. will carry workmen's and public liability insurance on the above work.

ACCEPTANCE OF PROPOSAL

CONTRACTOR
ORO CONSTRUCTION INC.

DATE _____

Uriel Oropeza

ORO CONSTRUCTION INC

page

Exhibit B
Campaign Disclosure Certificate

The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity that is a party to a contract with the Village to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the contract.

By signing the contract, Applicant agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

- Applicant has not contributed to any elected Village position within the last five (5) years.

Signature

Print Name

- Applicant has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

Name of Contributor: _____
(company or individual)

To whom contribution was made: _____

Year contribution made: _____ Amount: \$ _____

Signature

Print Name

OASIS Grant
Site C: 4232 Venard Rd (Day Care Center)





www.downers.us

June 15, 2011

Victoria Omoike
His Grace Christian Child Development Learning Center, Inc.
5518 Lenox Road
Lisle, IL 60532

Re: OASIS Grant for 4232 Venard Road

Dear Ms. Omoike:

Thank you for your interest in the Ogden Avenue Site Improvement Strategy (OASIS) Program. The OASIS Team met on May 10, 2011 to review your application for a matching grant for façade renovation, site, landscaping and sign improvements at the above-mentioned property.

The OASIS Team is pleased to inform you that the request is being recommended for funding. The OASIS Team is recommending a grant in the amount of \$22,100 based on the quotes provided. Because the request is more than \$15,000, the recommendation of the OASIS Team will be forwarded to the Village Council.

Village staff anticipates Village Council consideration of the OASIS Grant will take place on **July 19, 2011**. Please note, pursuant to the State of Illinois Labor Laws, the project must use prevailing wage labor.

Please contact me if you have any comments or questions. I can be reached at 630.434.5520 or jobrien@downers.us.

Sincerely,
The OASIS Team

Jeff O'Brien, AICP
Planning Manager
Village of Downers Grove

**COMMUNITY RESPONSE
CENTER**

630.434.CALL (2255)

CIVIC CENTER

801 Burlington Avenue
Downers Grove
Illinois 60515-4782
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

FIRE DEPARTMENT

ADMINISTRATION
5420 Main Street
Downers Grove
Illinois 60515-4834
630.434.5980
FAX 630.434.5998

POLICE DEPARTMENT

825 Burlington Avenue
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

**PUBLIC WORKS
DEPARTMENT**

5101 Walnut Avenue
Downers Grove
Illinois 60515-4046
630.434.5460
FAX 630.434.5495

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING EXECUTION OF A GRANT
AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE
AND A-LEN RADIATORS AND AUTOMOTIVE, INC.**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois,
as follows:

1. That the form and substance of a certain Grant Agreement (the "Agreement"), between the Village of Downers Grove (the "Village") and A-Len Radiators and Automotive, Inc. (the "Applicant"), for OASIS Program grant funding, in the amount of \$93,750.00, to make improvements to the property/business located at 333 Ogden Avenue, which is along the Ogden Avenue commercial corridor, as set forth in the form of the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provisions of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____
Village Clerk

OASIS GRANT AGREEMENT

THIS AGREEMENT is made this ____ day of _____, 2011 by and between the Village of Downers Grove, Illinois, an Illinois municipal corporation with offices at 801 Burlington Avenue, Downers Grove, Illinois 60515, (“the Village”) and A-Len Radiators and Automotive, Inc. at 333 Ogden Avenue, Downers Grove, Illinois 60515 (“Applicant”).

WITNESSETH:

WHEREAS, the Village has established the Ogden Avenue Site Improvement Strategy Program (“OASIS Program”) for application to receive a grant from the Village to make improvements to properties/businesses along the Ogden Avenue commercial corridor; and,

WHEREAS, said Program is funded from TIF funds for the purpose of controlling and preventing blight and deterioration within the Ogden Avenue Tax Increment Finance District (“TIF District”), and to encourage the further redevelopment of properties in the TIF District in accordance with the general guidelines set forth in the Program as adopted in Ordinance 5150 on September 14, 2010; and,

WHEREAS, Applicant owns a property/business at 333 Ogden Avenue, Downers Grove, Illinois 09-04-300-050 which is located within the TIF District; and

WHEREAS, pursuant to the Program the Village has agreed to financially participate, subject to its sole discretion, the Program Guidelines, and the terms and conditions set forth in this Agreement; and,

WHEREAS, the Applicant desires to participate in the Program, subject to the Program Guidelines and the terms and conditions set forth in this Agreement;

NOW THEREFORE, in consideration of the mutual covenants and agreement herein set forth, and other good and valuable consideration, the Parties do hereby agree as follows:

A. General Provisions:

1. The above recitals are incorporated into and made part of this Agreement as though fully set forth herein.
2. This Agreement may not be transferred or assigned.
3. This Agreement may be terminated by either party by giving ten (10) days written notice to the other party. If the Applicant terminates this Agreement, the Village shall not be required to make any reimbursement payments to the Applicant.
4. In the event the Applicant fails to complete the project and submit the required proof of payment documents in the required timeframe, the Village may terminate this Agreement and award the funds to other eligible projects.
5. The parties shall have any and all remedies available at law in the event of a breach of this Agreement.
6. Applicant acknowledges that the Freedom of Information Act may apply to public records in possession of Applicant or a contractor. Applicant and its contractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. 5 ICLS 140/1 et. seq.
7. This Agreement will be governed by and construed in accordance with the laws of the State of Illinois. Venue is proper only in the County of DuPage.

8. This Agreement will not be subject to amendment unless made in writing and signed by all parties.
9. Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to designated representatives of both parties as follows:

Village Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

To the Applicant as stated below.

B. Applicant's Obligations:

1. Applicant shall complete the project in substantial compliance with the attached plans, incorporated as part of this Agreement as Exhibit A. Any changes to the plans shall require written approval from the Community Development Director, or his designee.
2. Applicant shall grant an easement to the Village for, or install, a public sidewalk along that portion of the subject property adjacent to Ogden Avenue where no public sidewalk currently exists.
3. Applicant, at its own expense, shall obtain all necessary permits prior to commencement of any work to complete the improvements.
4. Applicant shall submit the following required proof of payment documents:
 - a. Itemized paid-in-full invoices.
 - b. Canceled checks for the payment for the completed improvements.
 - c. Final lien waivers, if applicable.
 - d. Certified payroll records of contractors.
5. Applicant understands that it will not receive payment if there are any outstanding code violations on the property or if Applicant owes any money to the Village.
6. Applicant shall complete the project and submit the required proof of payment documents within one (1) year of the effective date of this Agreement. If the project is not completed or if the required proof of payment documents are not submitted within one (1) year, the Village shall have the right to declare this Agreement null and void and shall not be required to make any reimbursement payments to the Applicant.
7. Applicant shall complete the project in such a manner as to comply with all conditions of this Agreement, and in accordance with the Program Guidelines and all pertinent regulations, ordinances, or codes of the Village or other authority having jurisdiction over the property.
8. Applicant is hereby notified by the Village that work contemplated by this Agreement may be subject to the Prevailing Wage Act ("Act"), 820 ILCS 130/1 et seq. Applicant agrees to comply with all applicable provisions of the Act as administered by the Illinois Department of Labor ("IDOL"). Applicant further agrees to contact IDOL for a determination of applicability of the Act to the project contemplated by this Agreement. If required by IDOL, Applicant agrees to pay the prevailing wage rates and to require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work on the projects contemplated by this Agreement. For applicable rates, go to the State of Illinois – Department of Labor website and use the most current DuPage county rate. Applicant recognizes and agrees that it is solely responsible for compliance with the Act and agrees to fully indemnify, defend and hold harmless the Village with regard to any actions or proceeding instituted regarding such compliance.

9. Applicant shall be required to submit an executed Campaign Disclosure Certificate, attached hereto as Exhibit B.

C. Village's Obligations:

1. The Village shall reimburse the Applicant for one-half (1/2) of the actual incurred costs to complete all eligible aspects of the project. The amount of said reimbursement shall not exceed \$93,750.
2. The Village shall remit payment to the Applicant within sixty (60) days of completion of the project and receipt of the required proof of payment documents.
3. The Village shall diligently review permit submittals, issue permits and complete required inspections deemed necessary to complete the project.

IN WITNESS HEREOF, the parties set their hand and seal the day and date hereinabove written.

APPLICANT:

A-Len Radiators and Automotive, Inc.
333 Ogden Avenue
Downers Grove, IL

VILLAGE OF DOWNERS GROVE:

By:

Signature

Village Manager

Print Name

Attest:

Title

Village Clerk

Application

A printable version of the Ogden Avenue Site Improvement Reimbursement Grant Application is available on-line at www.downers.us or www.dgedc.com. A paper copy of the application is available on the next page. Three (3) copies of the complete application, including any support documentation are due by the application deadline(s).

Applicant is:	<input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Owner
Name of Business/Building:	A-LEN RADIATOR + AUTOMOTIVE, INC
Address/Property ID # of Project Property:	4305 FAIRVIEW AVENUE
Owner's Name AND TITLE:	LEONARD + CYNTHIA SEDICKA
Owner's Mailing Address:	43 MOULDERBRO LAKE DAL BROOK, IL 60523
Owner's Business Phone:	630 852 5445
Owner's Fax:	630 852 5456
Owner's E-Mail:	ALENODE @ AOL.COM
PLEASE ONLY COMPLETE THE REST OF THIS TABLE IF TENANT IS THE GRANT APPLICANT.	
Tenant Name AND TITLE:	
Tenant Mailing Address:	
Business Phone for Tenant:	
E-Mail for Tenant:	

Project Information

Project Description: PROJECT INCLUDES NEW SITE, PROPERTY LANDSCAPING, SIGNAGE AND FACADE IMPROVEMENT FOR FAIRVIEW & Ogden gateway

Existing Site Conditions:

Please provide a photo of current site conditions to illustrate where improvements are proposed. Photo should be provided in a paper or digital (e.g. JPEG) format. Electronic photos may be e-mailed to: jobrien@downers.us.

Written Project Description:

Please describe your proposed project improvement. Attach pages as needed.

THE PROJECT INCLUDES NEW SITE, PROPERTY,
LANDSCAPING, SIGNAGE and FACADE IMPROVEMENTS FOR
THE FAIRVIEW- ^{OR} OWEN GATEWAY AT 4305 FAIRVIEW
AS SHOWN IN THE ATTACHED PROPOSED BUILDING TWO
ELEVATIONS AND SITE ELEVATIONS by THOMAS E.
Schlenker ARCHITECT DATED 4-27-2011

Required Documentation For Submittal:

3 copies of the complete application, including any support documentation are due by **December 1, 2010**. Additional copies may be requested by OASIS team after the application deadline.

1. If you are proposing an alteration to a building the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Façade elevations (as determined necessary at pre-application meeting*), including height, length and width measurements
- Color scheme of the proposed addition or alteration
- Building material samples (roof, siding, chimneys, etc.) if applicable
- Site plan with building outline and proposed changes
- Cut sheets for proposed doors and windows, if applicable

If you have questions about this, please contact the Community Development Department. Specific questions about submittal requirements will be answered during the pre-application meeting.

2. If you are proposing landscape/or other site improvements the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Site plan with building outline and proposed changes to site
- Landscape plan, if applicable (e.g. access, driveway consolidation, etc)

3. If you are proposing a new sign/awning/canopy the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page:

- Color drawing of the sign/awning including measurements of free-standing sign and site plan showing sign location on a site
- Façade elevation showing sign/awning placement, if plan applicable

Schedule Information:

Anticipated Project Start Date: WITHIN 15 DAYS OF VILLAGE ISSUING ALL PERMITS

Anticipate Project Completion Date: WITHIN 6 months

NOTE: Completion Date must be prior within one year of the year following application.

Architect / Designer for the Project (If Applicable):

Name: Thomas F. Schlenker
 Address: 6000 EAST LAKE DRIVE LISLE 60532
 Phone: 630-725-9937 Fax: _____

Contractor for the Project (If Known):

Name: Sennstrom's Remodeling & Const. Inc.
 Address: 4426 Cummel Rd
 Phone: 630-963-0669 Fax: 630-963-0746

Itemized Activity Estimated FOR 4305 FAIRVIEW

	Total Site Improvement Costs	Grant Eligible Project Costs*	TO BE COMPLETED BY CITY	
			Grant Contribution	Bonus Award
ESTIMATE 1 Contractor Name: <u>Sennstrom's Remodeling</u>	<u>148,865.00</u>			
ESTIMATE 2 Contractor Name: <u>BENSON CONSTRUCTION</u>	<u>157,230.00</u>			

Two detailed contractor estimates are required. Please provide additional sheets with supporting detail as necessary.

This application for a Site Improvement Reimbursement Grant is hereby believed to be complete and accurate.

Owner Signature:

[Handwritten Signature]

Cynthia I. Sevicka
Print Owners Name:

LEDDARD A. SEVICKA

CYNTHIA I. SEVICKA

Tenant Signature:

Print Tenant Name:

NOTE: Tenant Signature only necessary if
Tenant is applying for a Grant

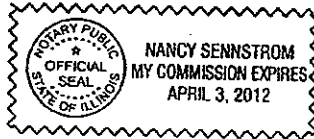
STATE OF ILLINOIS
COUNTY OF DUPAGE
VILLAGE OF DOWNERS GROVE

The foregoing petition was acknowledged before me by on this 28 day of
April, 2011.

Notary Public:

[Handwritten Signature]

Notary Public



3 Copies of the completed application should be submitted to the Village's Community Development Department.

Applications may be dropped off at the Village Hall from 8:00 am and 5:00 pm Monday – Friday, or mailed to:

Village of Downers Grove
ATTN: Community Development Department
801 Burlington Avenue
Downers Grove, IL 60515

Disclosure of Beneficiaries/Trust Disclosure:

The information requested below must be completed and attached to any grant application submitted to the Village of Downers Grove. This form is used to ensure that the applicant has a recognized, vested interest in the property. This form is required by persons applying for permits, licenses, approvals or benefits from the Village of Downers Grove
Village of Downers Grove

DISCLOSURE OF BENEFICIARIES

1. Grant Applicant: LYNTHIA & LEONARD SERICCA

2. Address: 4305 FAIRVIEW AVENUE

3. Nature of Applicant (Please circle one):

- a. Natural Person
- b. Corporation
- c. Land Trust/ Trustee
- d. Trust/Trustee
- e. Partnership
- f. Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of applicant:

5. If in your answer to Section 3 you checked box b, c, d, e or f, identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of case of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

- a. _____
- b. _____
- c. _____
- d. _____

6. Name, address and capacity of person making this disclosure on behalf of the applicant:

IMPORTANT NOTE: In the event your answer to Section 5 identifies entities other than a natural person, additional disclosures are required for each entity.

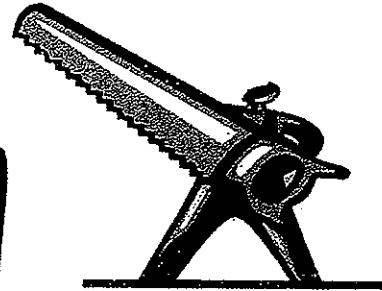
VERIFICATION I, _____, being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Signature: _____

Subscribed and Sworn to before me this _____ day of _____, 20____.

Notary Public

Danson Construction



4941 Wilcox, Downers Grove Il 60515

Estimate submitted to:

A-Len Automotive

Date: 4-15-11

4305 Fairview

Job site: Same

Downers Grove Il 60515

Job phone: 852-5445

Architect: Thomas Schlensker date of plans 4-26-11

Job description: Remodel the face of building, new signs, landscaping planters and lot improvements. Owner to supply permits.

Demolition: Remove the windows, entry door, siding, mansard roof on building, parking lot paving and wooden planter.

Concrete: Pour new concrete planters on 3-sides with footing.

Paving: New asphalt lot and stripping. A 2" binder coat with a 1-1/2" surface coat.

Framing: Build new canopies on 2-sides of building and install plywood sheating on walls with vapor barrier.

Exterior: Install cultured stone and Dryvit on wall per plan. Install cultured stone on planters boarding building.

Windows: Install new 1" thermopane windows and doors with bronze framing.

Electric: Install recess can lights on canopies, landscape and building lights.

Landscaping: 3-perimeter planter boxes with shrubs, perennials, soil and mulch.

Signs: Install 2-building signs with electric.

Removal of all rubbish. No utilities included.

We Propose hereby to furnish material and labor-complete in accordance with above specifications, for the sum of:

\$ 157,230.00

Acceptance of Proposal-The above prices, specifications and conditions are satisfactory and are hereby accepted. You authorized to do the work as specified. Any alterations will be executed only upon written orders.

Signature _____

Signature _____

Date of Acceptance _____



Sennstroms
Remodeling and Construction, Inc.

4426 Cumnor Rd. Downers Grove IL 60515

Phone (630)963-0669

Fax (630)963-0746

Proposal

April 28, 2011

A-Len Automotive

630-852-5445

4305 Fairview

Downers Grove IL 60515

Estimate below is for construction of a new façade, site improvement, landscaping and new building signage. Price includes blueprints and permits owner to pay fees and supply all plats. Will be built as follows:

Removing the existing mansard roof, cedar siding, six windows and entry door. Insulate existing stud walls with R-15. Sheat walls with ½" fire retardant plywood, cover with Tyvek. Build 24" flat canopies . Cover bottom of walls with stone by Daltile Rigid Field Stone, Indian Corn MS83. Owner to finalize color selection at start of project. Install Dryvit above all per plan dated 4-26-2011. Replace existing wood frame windows and entry door with dark bronze 2"x4-1/2" aluminum frame with 1" bronze over SN-68 Low-E glass and closer on entry. See attached. Building color will be Sherwin Williams SW6094 Sensational Sand. See attached. Owner to finalize color selection at start of project. All rubbish will be removed.

Façade improvement work:

\$102,270.00

Site work to include removing of parking lot and repaving and stripping.
Install site lighting.

Site improvements:

\$ 42,280.00

Landscaping work to include removal of existing wooden planter and replace with poured concrete on all 3-sides. Includes necessary foundation. Cover

with Daltile Rigid Field Stone to match building, with coping top, fill with soil, perennial plants, shrubs and mulch.

Landscaping improvements: \$ 40,165.00

Signage install 2-building signs with electric.

Signage improvements: \$ 11,350.00

Total estimate cost:

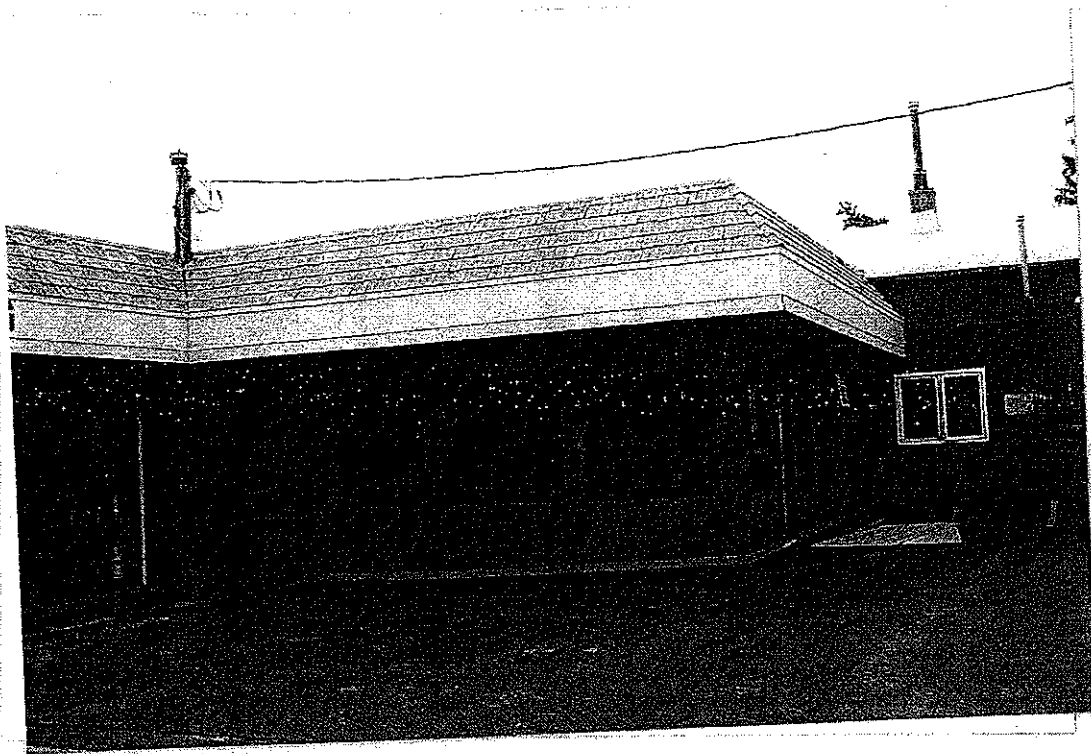
One Hundred Forty Eight Thousand Eight Hundred Sixty Five-\$148,865.00

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alterations or deviations from above specifications involving extra costs will be executed only on written orders and subject to Village approval. Will become an extra charge over and above the estimate. Work shall be completed in approximately six months from start date contingent upon strikes, accidents or delays beyond our control. Work will start approximately 15 days from Village issuance of all necessary permitting. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature _____ Date _____

This proposal may be withdrawn by us if not accepted within 60 days.

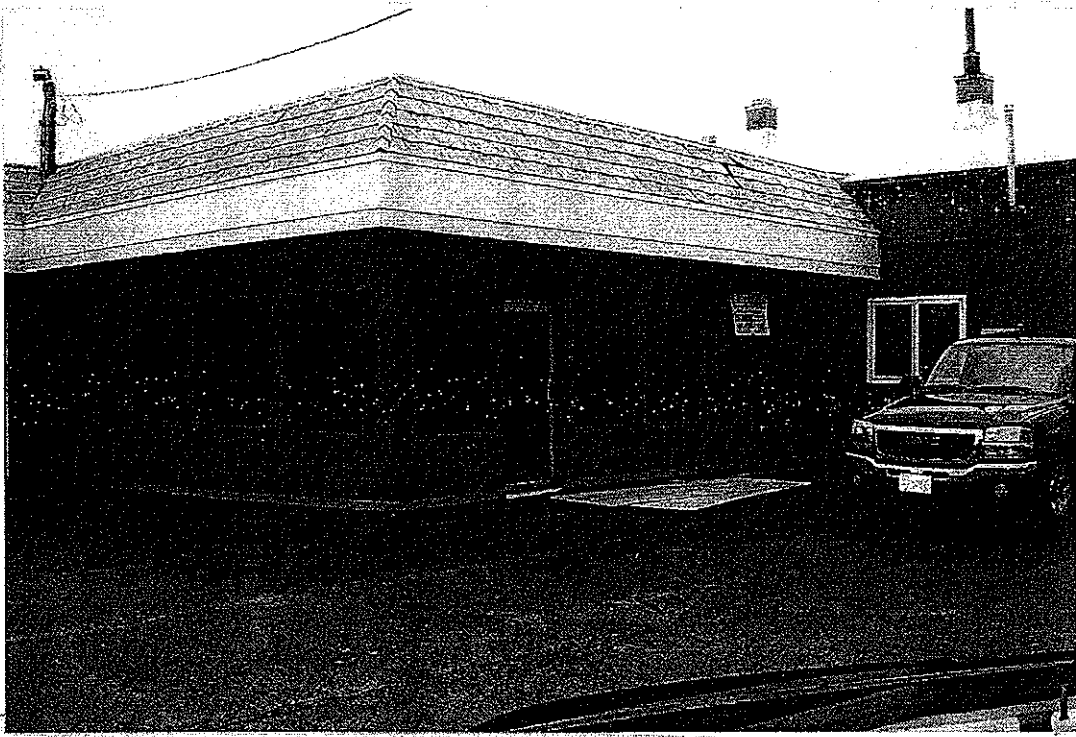
Acceptance of Proposal _____ Date _____



1



2



3



4

**Proposed Site
And
Elevation Plan
4305 Fairview Avenue**

DATE: 10/1/2011
DRAWN BY: [unintelligible]

RENOVATION TO
A-LEN AUTOMOTIVE
OGDEN AVE.
DOWNERS CORVE, IL

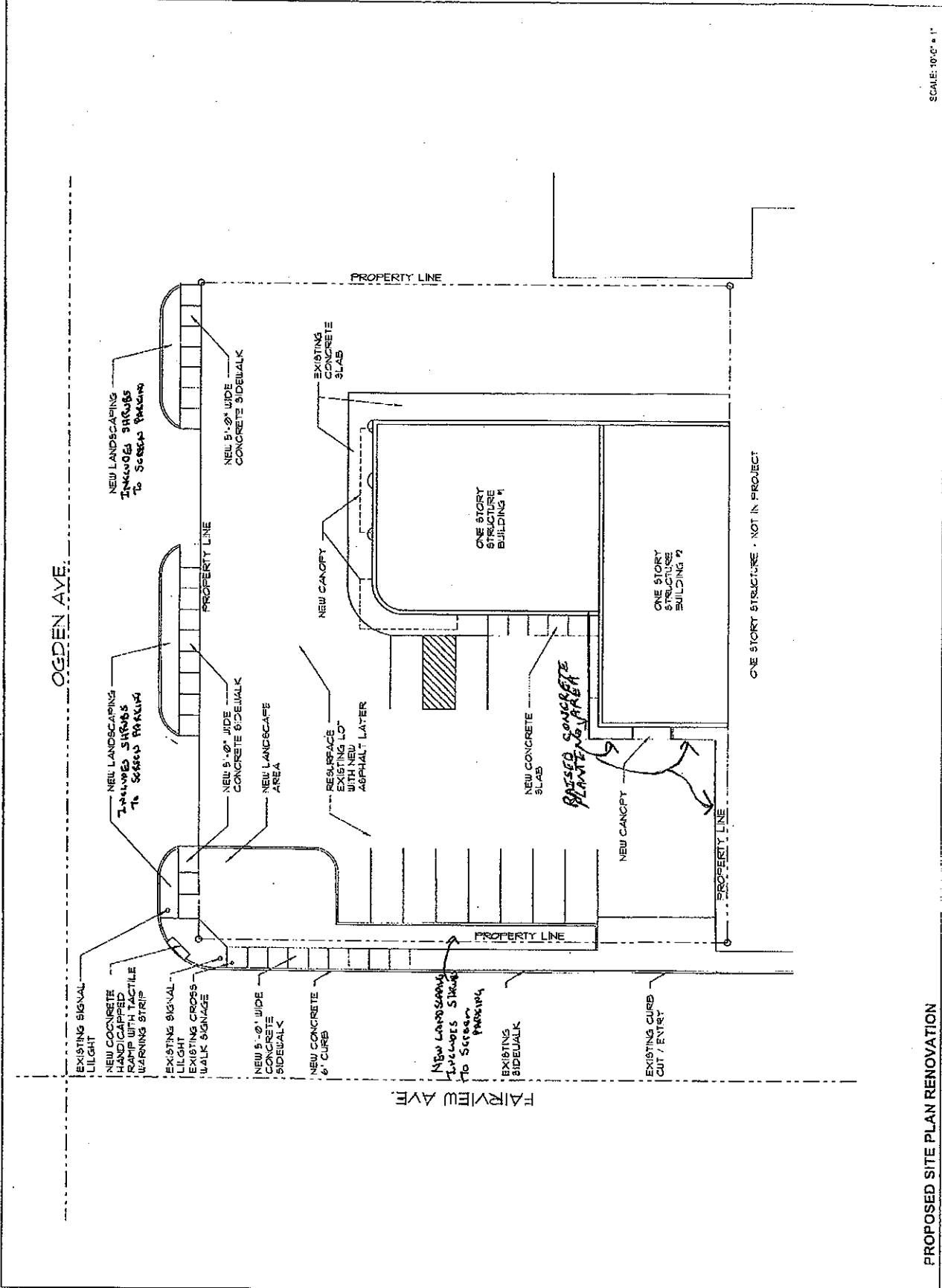
PROJECT:	OGDEN AVE.
DATE:	10/1/2011
DRAWN BY:	[unintelligible]
CHECKED BY:	[unintelligible]
SCALE:	AS SHOWN



Thomas E. Schlensker
ARCHITECT
1001 East Lake Road, Lake, IL 60050
Phone 830-515-1001

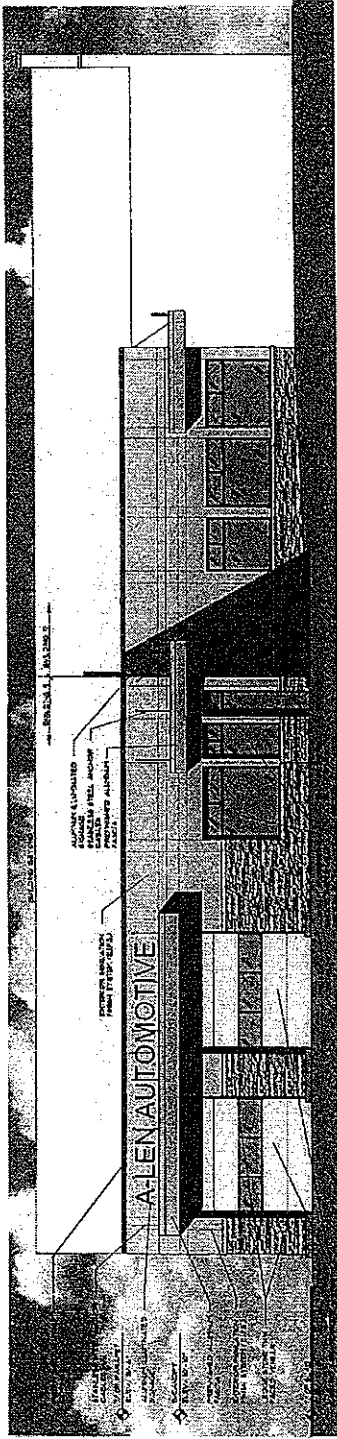


A-1

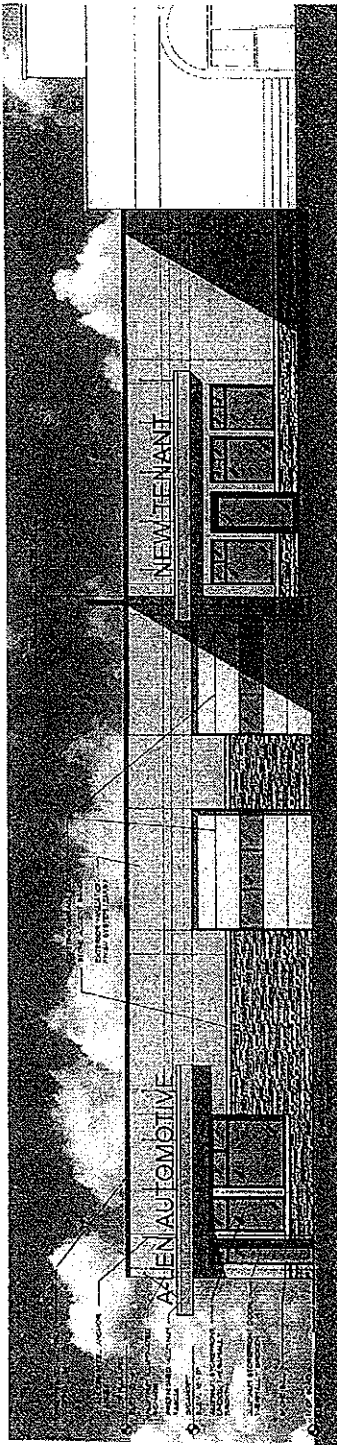


SCALE: 10'-0" = 1"

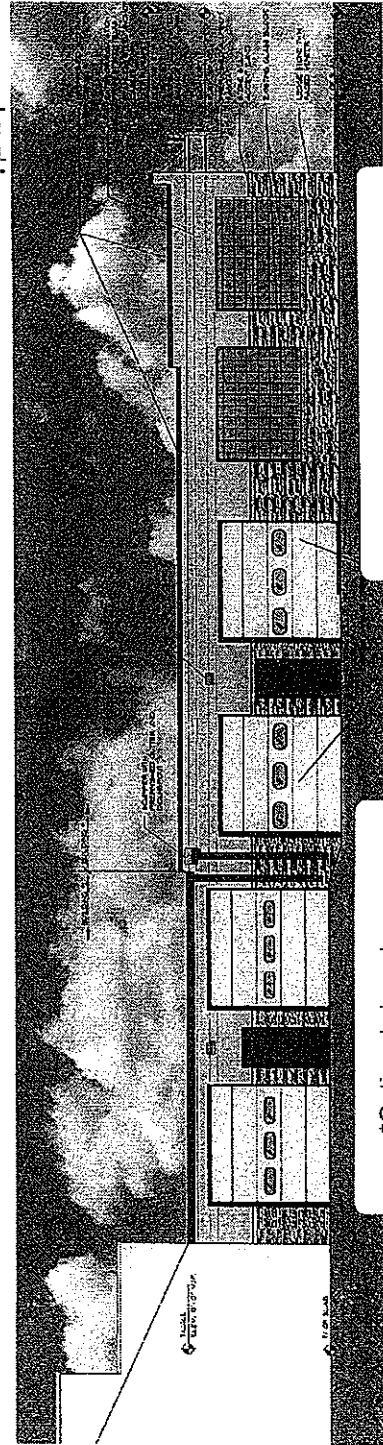
PROPOSED SITE PLAN RENOVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

*Optional view shown

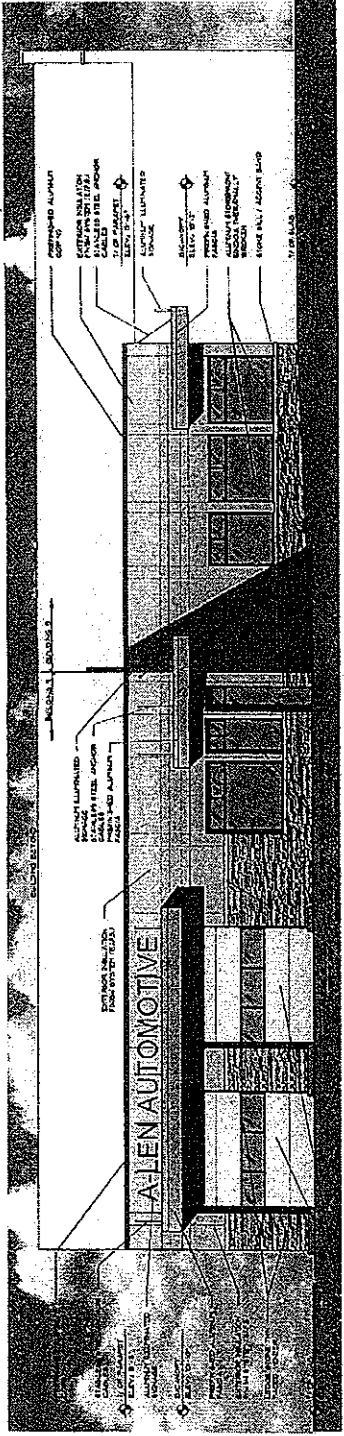
Include paint only

Schliensker
ARCHITECTS

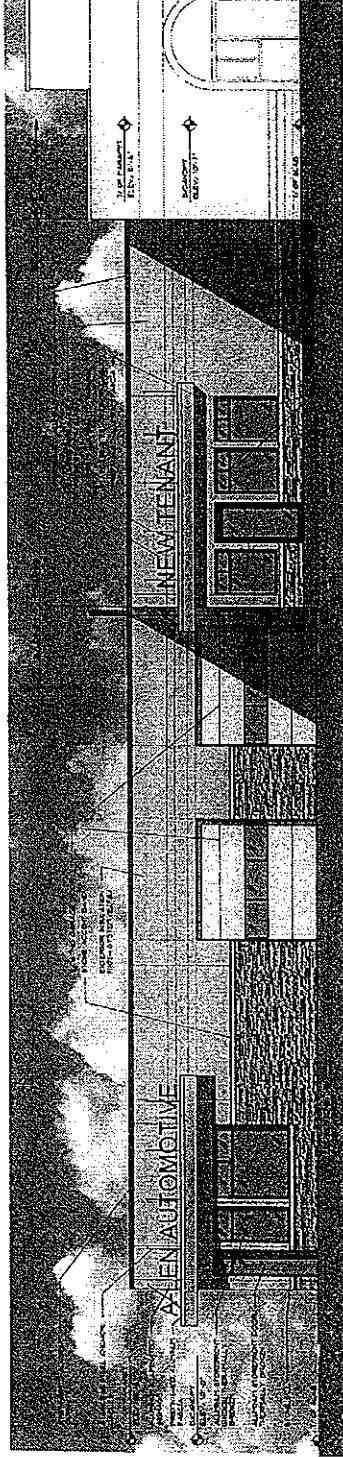
6004 East Lake Drive
Suite 317
Lisle, IL 60532
630-361-1074

PROPOSED ELEVATION BUILDING ONE

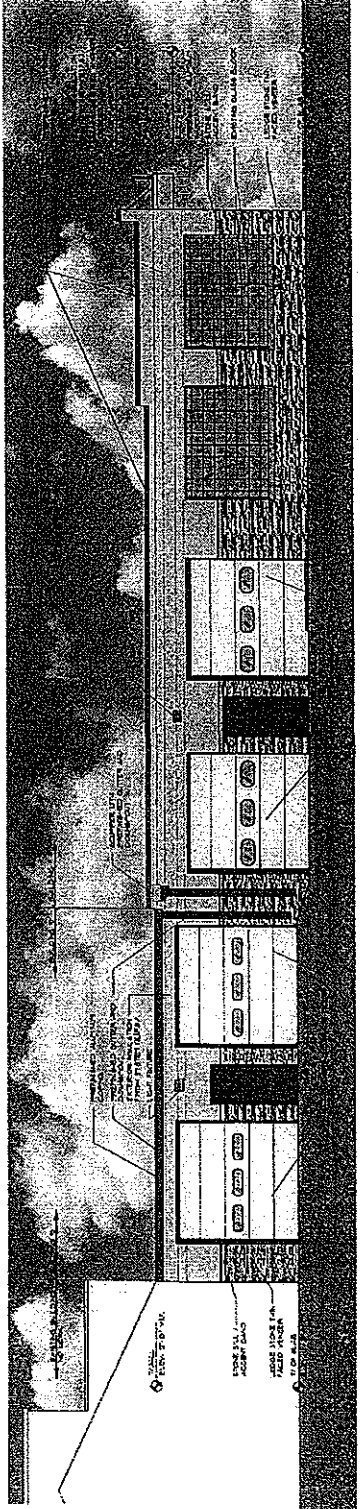
DATE: APRIL 27, 2011



NORTH ELEVATION



WEST ELEVATION



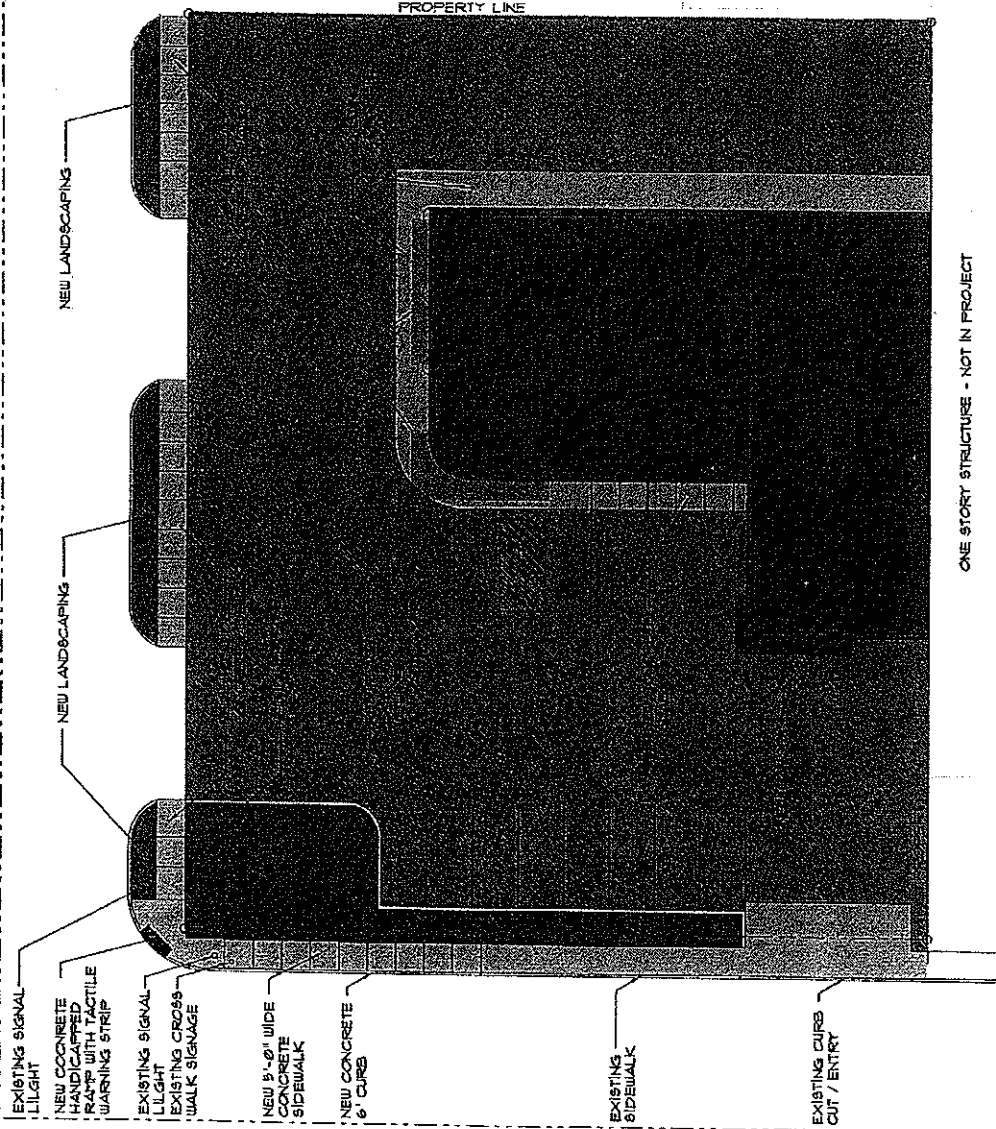
EAST ELEVATION

PROPOSED ELEVATION

DATE: APRIL 27, 2011

Schlenker ARCHITECTS
 6004 East Lake Drive
 Suite 117
 Little, IL 60532
 630-381-1074

OGDEN AVE.



PROPERTY LINE

NEW LANDSCAPING

NEW LANDSCAPING

EXISTING SIGNAL LIGHT

NEW CONCRETE HANDICAPPED RAMP WITH TACTILE WARNING STRIP

EXISTING SIGNAL LIGHT

EXISTING CROSSWALK SIGNAGE

NEW 5'-0" WIDE CONCRETE SIDEWALK

NEW CONCRETE 6" CURB

EXISTING SIDEWALK

EXISTING CURB CUT / ENTRY

FAIRVIEW AVE.

ONE STORY STRUCTURE - NOT IN PROJECT

PROPOSED SITE PLAN

DATE: APRIL 27, 2011

Schliensker ARCHITECTS

6004 East Lake Drive
Suite 110
Boulder, CO 80502
303-440-1072

SIGN SHOP EXPRESS

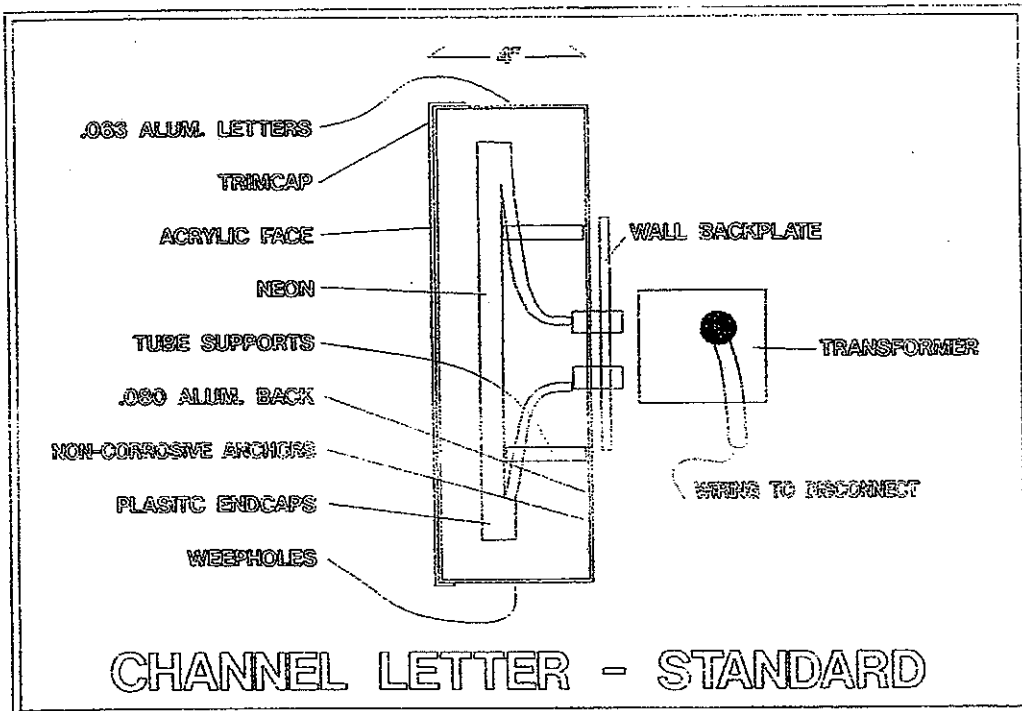
924 WARREN AVE. DOWNERS GROVE, IL. 60515

630/964-3500



**Mounting will be through
masonry facade with plywood backing.**

Wiring Diagram



Prepared for:
A-Len Auto Repair
333 Ogden Ave.
Downers Grove, IL 60515

Prepared by:
Sign Shop Express
924 Warren Ave.
Downers Grove, IL 60515

THIS ARTWORK IS PROPERTY OF SIGN SHOP EXPRESS. IT CANNOT BE DUPLICATED
WITHOUT EXPRESS WRITTEN PERMISSION OF SIGN SHOP EXPRESS

Series T200 Narrow Stile • Series T300 Medium Stile • T500 Wide Stile
1 3/4" Tie Rod Aluminum Swing Entrance Doors

CONFIGURATIONS

Narrow Stile (2 1/8") • Medium Stile (3 1/2") • Wide Stile (5")

EFCO tie rod entrances are designed for shopping centers and light traffic areas requiring security and egress capabilities. Tie rod doors are factory fabricated and shipped K.D. for field assembly. EFCO tie rod doors are an attractive product for a wide range of applications and is equipped to accommodate most hardware applications. Offered in narrow, medium, and wide stiles, EFCO Tie Rod entrances can accommodate a wide range of applications. Multiple glazing options provide flexibility to meet specific design requirements. EFCO's tie rod entrances provide the complete solution for your fenestration needs.

Features

Two standard sizes

Available KD from EFCO Service Centers, blank with no hardware or preinstalled hardware in clear, bronze, and black anodized finishes

Telescoping corner joints

Corner joints are heavy concealed rail adapters, zinc-coated steel tie-rods, and serrated lock nuts

Dual weather-stripped at adjustable astragal with Poly-Pile® at meeting stile (pair of doors)

Wide range of standard hardware available

Accommodates up to 1" glazing

Benefits

Standard sizes may be altered in width or height in the field for unusual size requirements

Flexibility to meet job requirements

Maintains cross rails in perfect alignment and positioning

Enhances appearance of fit whether prefabricated or field adjusted

Resists loosening and rusting

Easy on-site adjustment to ensure proper weather seal

Meets most job requirements

Flexibility in design requirements for glazing



Series T200 Narrow Stile • Series T300 Medium Stile • T500 Wide Stile
1 3/4" Tie Rod Aluminum Swing Entrance Doors

Frame Construction

Door rails and stiles have a depth of 1 3/4" and are constructed of 6063-T6 aluminum alloy. Door sections shall have .100" nominal wall thickness at top rails and .125" nominal wall thickness at door stiles and bottom rails. Corner construction utilizes a dovetail joint with fasteners consisting of heavy concealed rail adaptors and zinc-coated steel tie-rods with serrated lock units. See Illustration 1.

Hardware

EFCO Tie-Rod doors accommodate the following hardware: Offset pivots or butt hinges, Adams Rite 1850 M.S. dead lock, pre-engineered push/pull, and surface mounted or concealed overhead closers. Doors are available in prefabricated hardware packages with hardware preinstalled at EFCO to ensure fit and reliability, or doors can be ordered blank.

Size Limitations

Door sizes available for all door packages include:

- 3' 0" x 7' 0"
- 3' 6" x 7' 0"
- 4' 0" x 7' 0"
- 3' 0" x 8' 0"
- 3' 6" x 8' 0"
- 4' 0" x 8' 0"

Weather Stripping

Single doors are weather-stripped at the frame with ASTM E2203 compliant bulb gasket and extruded door stops which are available in integral, snap-in, and surface mounted varieties. See frame section. All pairs of doors are dual weather-stripped at the astragal with Poly-Pile®.

Glazing

Doors are glazed with extruded aluminum, pressure fitting glass stops. Glazing of 3/16" to 1 1/16" insulated units are available. See Glazing chart for exact size.

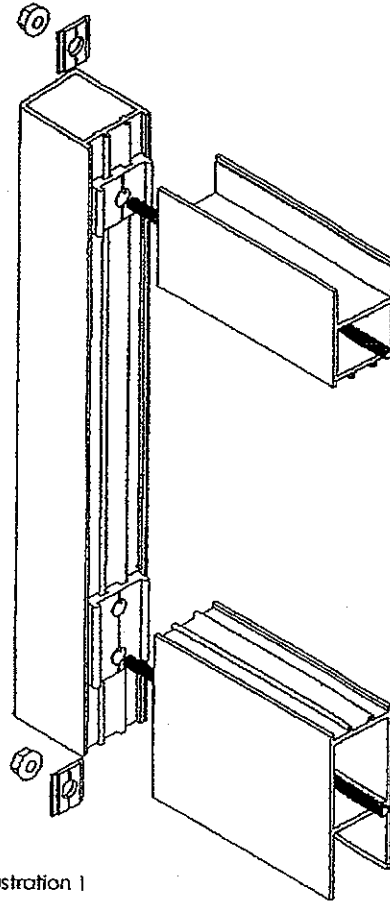
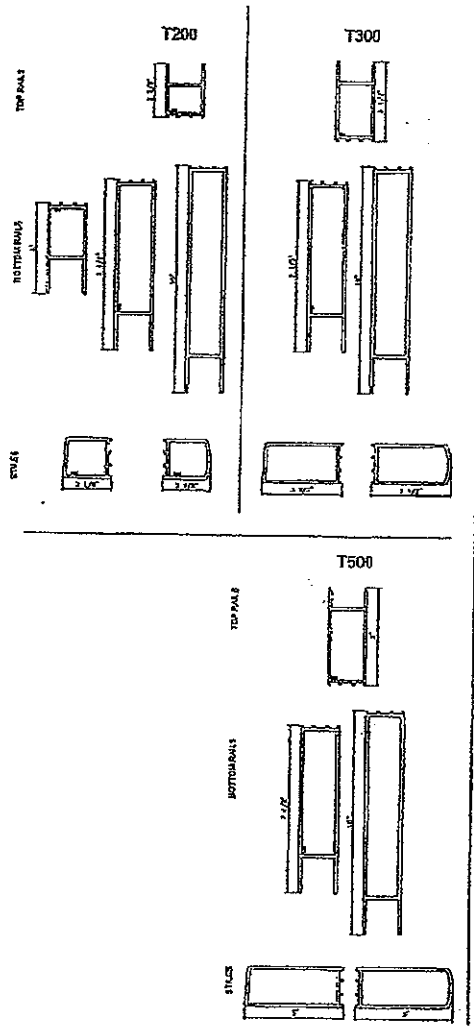
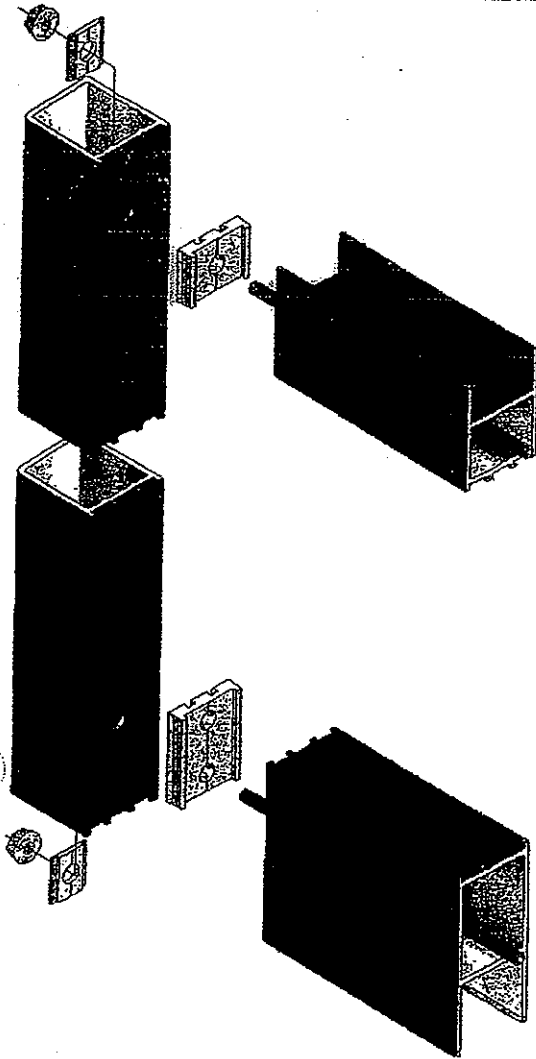


Illustration 1



Series T200 Narrow Stile • Series T300 Medium Stile • T500 Wide Stile
 1 3/4" Tie Rod Aluminum Swing Entrance Doors



PERFORMANCE DATA

T200 NARROW STILE (SINGLE DOOR LEAF)

AIR INFILTRATION30 CFM/SF @ 1.57 PSF

T300 MEDIUM STILE (SINGLE DOOR LEAF)

AIR INFILTRATION30 CFM/SF @ 1.56 PSF

T500 NARROW STILE (SINGLE DOOR LEAF)

AIR INFILTRATION30 CFM/SF @ 1.57 PSF

A = Estimated values and/or designation
 B = Non-standard size or configuration
 C = Dual glazed
 D = 1" Insulated - 1/4" clear, 1/2" air, 1/4" clear
 E = 1" Insulated - 1/4" clear (Low Emissivity), 1/2" air, 1/4" clear
 F = 1" Insulated - 1/4" clear (Low Emissivity), 1/2" argon, 1/4" clear
 G = 1" Insulated - 1/4" clear, 1/2" air, 1/4" clear (Low Emissivity)

T200 AND T300 GLAZING CHART	POLYCARBONATE			GLASS OR PANEL													
	3/16"	1/4"	5/16"	3/16"	1/4"	1/4"	5/16"	7/16"	1/2"	9/16"	5/8"	3/4"	7/8"	1 5/16"	1"	3-1/16"	
MULTIPLY GLASS	A	A	C	A	A	A	C	C	C	C	C						
INSULATED GLASS															A	A	C

*Opaque glass thickness
 **Laminated glass thickness
 A=available glazing option
 Internal blinds can be used with
 this type of dual glazing
 Blank - N/A



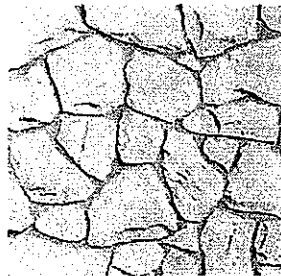


Ridged Field Stone

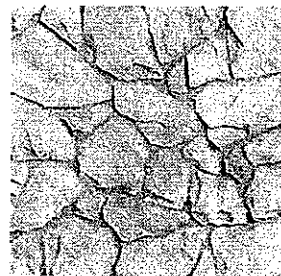
Reminiscent of soaring Grand
Canyons in rugged, natural tones.



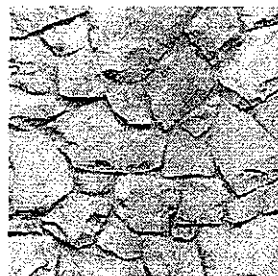
Printer Friendly



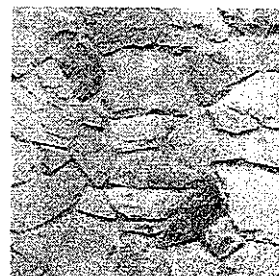
Oyster Pearl MS71*



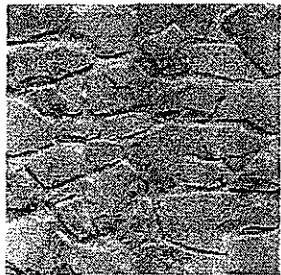
Moon Glow MS80*



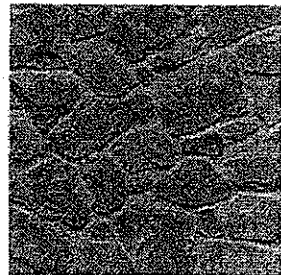
Desert Wind MS87*



Tide Water MS79*



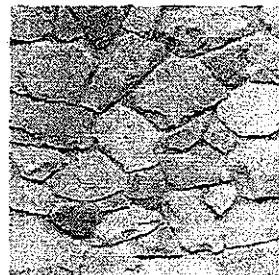
Golden Dawn MS84*



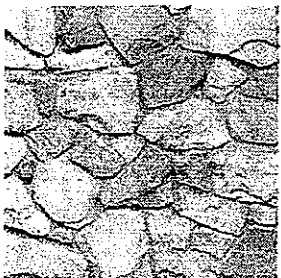
Spring Moss MS81*



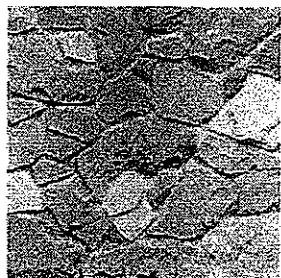
Peppercorn Blend MS77*



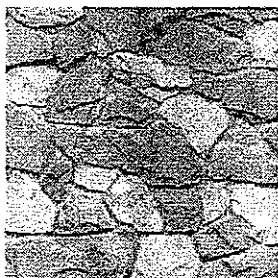
Canyon Fog MS74



Amber Sun MS76*



Torch Light MS85*

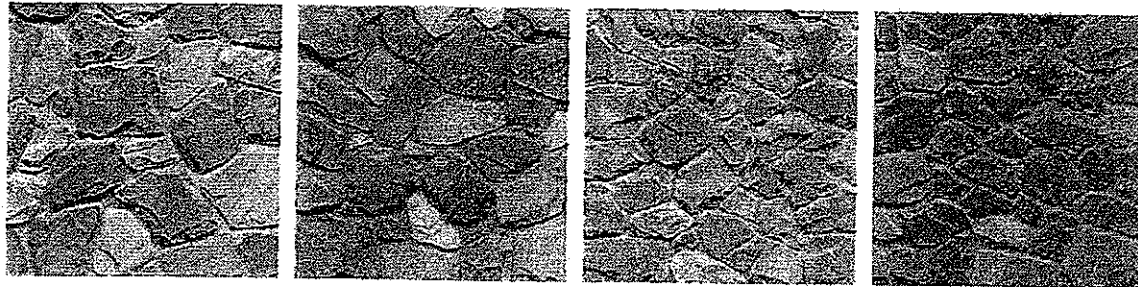


Autumn Bronze MS70



Sierra Sunrise MS86*





Dappled Shade MS72



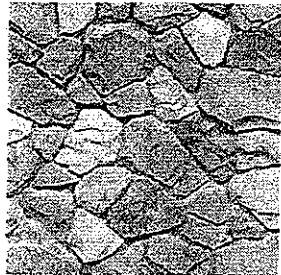
Indian Com MS83*



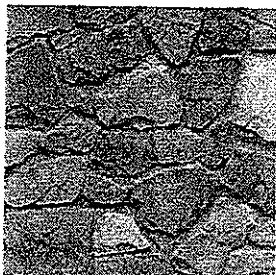
Harvest Blend MS75



Roasted Nutmeg MS78*



Copper Sunset MS73*



Mystic Silver MS82*



* Special Order only.

SIZES - Random 3" - 5" long by 1 1/2" - 1 3/4" High

APPLICATION

	Residential	Light Commercial	Commercial	Exteriors
Walls/Backsplashes	X	X	X	X

INSTALLATION

Average Thickness	Application Recommendation	Coverage	Aesthetic Considerations
1 1/2"	1/2" Grout used	15 sq. ft. per sq. ft. substrate	RANDOM SHADE VARIATION Extreme color variations in application permits piece and seam each piece for a random look. Look of installation will be unique. Review range of product for color and shade variations.

TECHNICAL DATA

Density of Structural Lightweight Concrete	Freeze Thaw Performance	Compressive Strength	Flexure Strength	Tensile Strength	Water Absorption	Slur Cast Strength
ASTM C-567	ASTM C-67	ASTM C-192 C-99	ASTM C-348	ASTM C-190	UBC 514 15-6 & 32-32	ASTM C-482
15 pcf minimum	Less than 3% moisture loss in 50 cycles/14 days	Minimum of 1500 psi in 28 days	No more than 10% decrease	No more than 10% decrease	22% average maximum	Minimum 50 psi

MAINTENANCE

Care should be taken to avoid smearing mortar on the surface of the veneers. Accidental smears should be removed using a dry bristle broom only after mortar has dried completely. Never use a wet brush or wire brush. Do not power-wash, sandblast, use acid or acid-based products. Dirt or other materials may be removed with a strong solution of granulated soap or detergent and water with a bristle brush. Do not use a wire brush as it will cause damage to the surface. Rinse immediately with fresh water. Regular maintenance requires rinsing the wall with water occasionally to remove dirt.

NOTES

- Suitable for interior and exterior vertical surfaces.
- Appropriate for use in exterior wall applications in both freezing and non-freezing climates when proper installation methods are followed.
- Not for exterior use below grade.
- Not for use in direct contact with pool chemicals or in wet areas such as showers.
- Your decision to mortar or dry-stack your Manufactured Stone project will impact the overall appearance of your final installation.

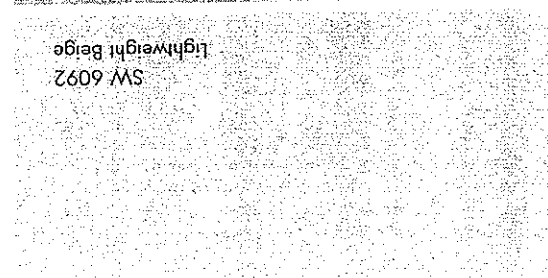
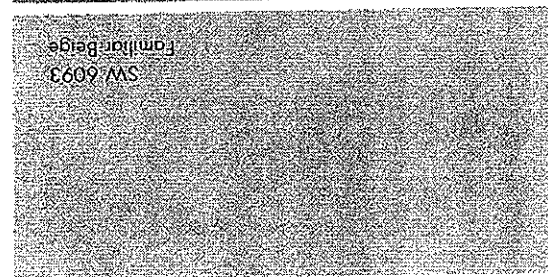
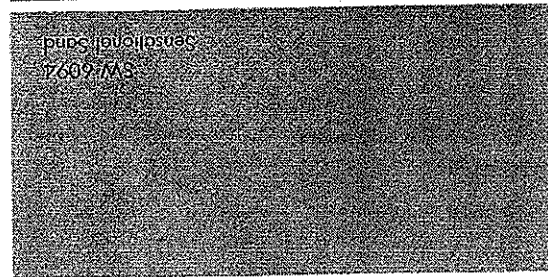
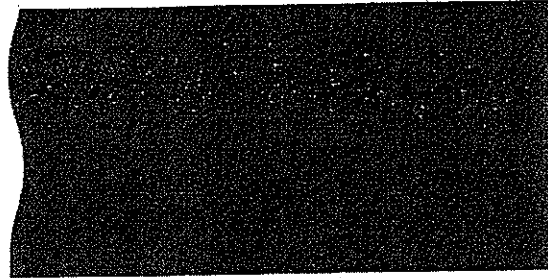
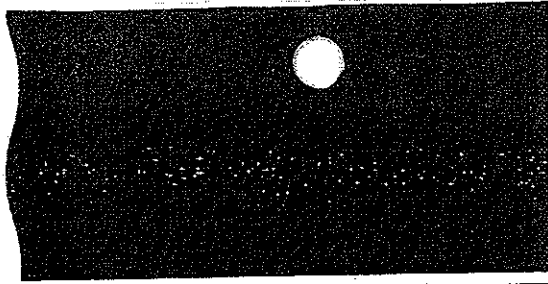


Exhibit B
Campaign Disclosure Certificate

The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity that is a party to a contract with the Village to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the contract.

By signing the contract, Applicant agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

Applicant has not contributed to any elected Village position within the last five (5) years.

Signature

Print Name

Applicant has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

Name of Contributor: _____
(company or individual)

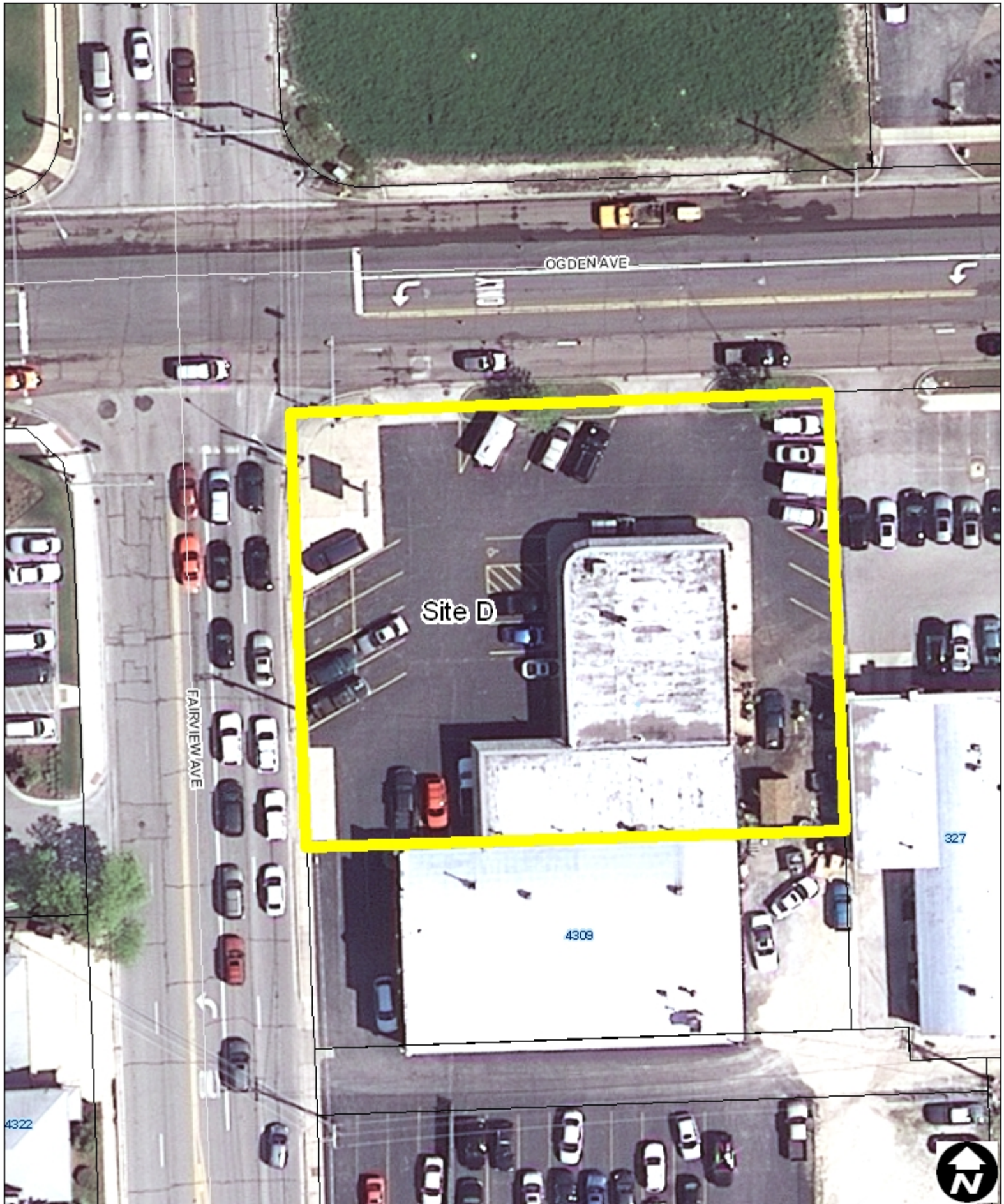
To whom contribution was made: _____

Year contribution made: _____ Amount: \$ _____

Signature

Print Name

OASIS Grant
Site D: A-Len Radiators - 333 Ogden Ave





June 15, 2011

Leonard & Cynthia Senicka
A-Len Radiator & Automotive, Inc.
333 Ogden Avenue
Downers Grove, IL 60515

Re: OASIS Grant for 333 Ogden Avenue & 4305 Fairview Avenue

**COMMUNITY RESPONSE
CENTER**

630.434.CALL (2255)

CIVIC CENTER

801 Burlington Avenue
Downers Grove
Illinois 60515-4782
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

FIRE DEPARTMENT

ADMINISTRATION
5420 Main Street
Downers Grove
Illinois 60515-4834
630.434.5980
FAX 630.434.5998

POLICE DEPARTMENT

825 Burlington Avenue
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

**PUBLIC WORKS
DEPARTMENT**

5101 Walnut Avenue
Downers Grove
Illinois 60515-4046
630.434.5460
FAX 630.434.5495

Dear Mr. & Mrs. Senicka:

Thank you for your interest in the Ogden Avenue Site Improvement Strategy (OASIS) Program. The OASIS Team met on May 10, 2011 to review your application for a matching grant for façade renovation, site, landscaping and sign improvements at the above-mentioned property.

The OASIS Team is pleased to inform you that the request is being recommended for funding. Although two grant applications were submitted, the project is eligible for one grant. The OASIS Team is recommending an extra 25% for the comprehensive nature of these improvements. As such, the recommended grant amount is \$93,750. Because the request is more than \$15,000, the recommendation of the OASIS Team will be forwarded to the Village Council.

The recommendation will be forwarded to the Village Council with the following conditions:

1. Plantings in the Ogden Avenue right-of-way will require approval from the Illinois Department of Transportation.

Village staff anticipates Village Council consideration of the OASIS Grant will take place on **July 19, 2011**. Please note, pursuant to the State of Illinois Labor Laws, the project must use prevailing wage labor.

Please contact me if you have any comments or questions. I can be reached at 630.434.5520 or jobrien@downers.us.

Sincerely,
The OASIS Team

Jeff O'Brien, AICP
Planning Manager
Village of Downers Grove

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING EXECUTION OF A GRANT
AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE
AND FORN PARTS/SPAROMOBILE**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois,
as follows:

1. That the form and substance of a certain Grant Agreement (the "Agreement"), between the Village of Downers Grove (the "Village") and Forn Parts/Sparomobile (the "Applicant"), for OASIS Program grant funding, in the amount of \$48,834.50, to make improvements to the property/business located at 501-503 Ogden Avenue, which is along the Ogden Avenue commercial corridor, as set forth in the form of the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provisions of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____
Village Clerk

OASIS GRANT AGREEMENT

THIS AGREEMENT is made this ____ day of _____, 2011 by and between the Village of Downers Grove, Illinois, an Illinois municipal corporation with offices at 801 Burlington Avenue, Downers Grove, Illinois 60515, (“the Village”) and Forn Parts/Sparomobile at 501-503 Ogden Avenue, Downers Grove, Illinois 60515 (“Applicant”).

WITNESSETH:

WHEREAS, the Village has established the Ogden Avenue Site Improvement Strategy Program (“OASIS Program”) for application to receive a grant from the Village to make improvements to properties/businesses along the Ogden Avenue commercial corridor; and,

WHEREAS, said Program is funded from TIF funds for the purpose of controlling and preventing blight and deterioration within the Ogden Avenue Tax Increment Finance District (“TIF District”), and to encourage the further redevelopment of properties in the TIF District in accordance with the general guidelines set forth in the Program as adopted in Ordinance 5150 on September 14, 2010; and,

WHEREAS, Applicant owns a property/business at 501-503 Ogden Avenue, Downers Grove, Illinois 09-05-415-031 which is located within the TIF District; and

WHEREAS, pursuant to the Program the Village has agreed to financially participate, subject to its sole discretion, the Program Guidelines, and the terms and conditions set forth in this Agreement; and,

WHEREAS, the Applicant desires to participate in the Program, subject to the Program Guidelines and the terms and conditions set forth in this Agreement;

NOW THEREFORE, in consideration of the mutual covenants and agreement herein set forth, and other good and valuable consideration, the Parties do hereby agree as follows:

A. General Provisions:

1. The above recitals are incorporated into and made part of this Agreement as though fully set forth herein.
2. This Agreement may not be transferred or assigned.
3. This Agreement may be terminated by either party by giving ten (10) days written notice to the other party. If the Applicant terminates this Agreement, the Village shall not be required to make any reimbursement payments to the Applicant.
4. In the event the Applicant fails to complete the project and submit the required proof of payment documents in the required timeframe, the Village may terminate this Agreement and award the funds to other eligible projects.
5. The parties shall have any and all remedies available at law in the event of a breach of this Agreement.
6. Applicant acknowledges that the Freedom of Information Act may apply to public records in possession of Applicant or a contractor. Applicant and its contractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. 5 ICLS 140/1 et. seq.
7. This Agreement will be governed by and construed in accordance with the laws of the State of Illinois. Venue is proper only in the County of DuPage.

8. This Agreement will not be subject to amendment unless made in writing and signed by all parties.
9. Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to designated representatives of both parties as follows:

Village Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

To the Applicant as stated below.

B. Applicant's Obligations:

1. Applicant shall complete the project in substantial compliance with the attached plans, incorporated as part of this Agreement as Exhibit A. Any changes to the plans shall require written approval from the Community Development Director, or his designee.
2. Applicant shall grant an easement to the Village for, or install, a public sidewalk along that portion of the subject property adjacent to Ogden Avenue where no public sidewalk currently exists.
3. Applicant, at its own expense, shall obtain all necessary permits prior to commencement of any work to complete the improvements.
4. Applicant shall submit the following required proof of payment documents:
 - a. Itemized paid-in-full invoices.
 - b. Canceled checks for the payment for the completed improvements.
 - c. Final lien waivers, if applicable.
 - d. Certified payroll records of contractors.
5. Applicant understands that it will not receive payment if there are any outstanding code violations on the property or if Applicant owes any money to the Village.
6. Applicant shall complete the project and submit the required proof of payment documents within one (1) year of the effective date of this Agreement. If the project is not completed or if the required proof of payment documents are not submitted within one (1) year, the Village shall have the right to declare this Agreement null and void and shall not be required to make any reimbursement payments to the Applicant.
7. Applicant shall complete the project in such a manner as to comply with all conditions of this Agreement, and in accordance with the Program Guidelines and all pertinent regulations, ordinances, or codes of the Village or other authority having jurisdiction over the property.
8. Applicant is hereby notified by the Village that work contemplated by this Agreement may be subject to the Prevailing Wage Act ("Act"), 820 ILCS 130/1 et seq. Applicant agrees to comply with all applicable provisions of the Act as administered by the Illinois Department of Labor ("IDOL"). Applicant further agrees to contact IDOL for a determination of applicability of the Act to the project contemplated by this Agreement. If required by IDOL, Applicant agrees to pay the prevailing wage rates and to require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work on the projects contemplated by this Agreement. For applicable rates, go to the State of Illinois – Department of Labor website and use the most current DuPage county rate. Applicant recognizes and agrees that it is solely responsible for compliance with the Act and agrees to fully indemnify, defend and hold harmless the Village with regard to any actions or proceeding instituted regarding such compliance.

9. Applicant shall be required to submit an executed Campaign Disclosure Certificate, attached hereto as Exhibit B.

C. Village's Obligations:

1. The Village shall reimburse the Applicant for one-half (1/2) of the actual incurred costs to complete all eligible aspects of the project. The amount of said reimbursement shall not exceed \$48,834.50.
2. The Village shall remit payment to the Applicant within sixty (60) days of completion of the project and receipt of the required proof of payment documents.
3. The Village shall diligently review permit submittals, issue permits and complete required inspections deemed necessary to complete the project.

IN WITNESS HEREOF, the parties set their hand and seal the day and date hereinabove written.

APPLICANT:

Forn Parts/Sparomobile
501-503 Ogden Avenue
Downers Grove, IL

VILLAGE OF DOWNERS GROVE:

By:

Signature

Village Manager

Print Name

Attest:

Title

Village Clerk

1121 Warren Avenue
Downers Grove, IL 60515
P. 630.968.2412
F. 630.968.8341

May 2, 2011

OASIS Team
Community Development Dept.
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515

Dear Sir or Madam:

re: 503 Ogden Ave.
Downers Grove

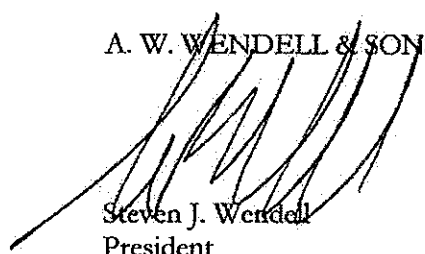
Enclosed please find documents for the OASIS Initiative program for the above-referenced property, as follows:

- Application
- Two cost estimates
- One architectural drawing set
- One rendering
- Proof of ownership

We project construction to be completed by October 31, 2011.

Sincerely,

A. W. WENDELL & SONS, INC.



Steven J. Wendell
President

SJW/mkb

Enclosures: As above

AWW ARCHITECTS
& BUILDERS

A.W. Wendell & Sons, inc.

Application

A printable version of the Ogden Avenue Site Improvement Reimbursement Grant Application is available on-line at www.downers.us or www.dgedc.com. A paper copy of the application is available on the next page. Three (3) copies of the complete application, including any support documentation are due by the application deadline(s).

Applicant is:	<input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Owner
Name of Business/Building:	FOEN PARTS / SPANOMOBILE
Address/Property ID # of Project Property:	501/503 OGDEN AVE.
Owner's Name AND TITLE:	Jim Dhuta
Owner's Mailing Address:	501/503 OGDEN AVE.
Owner's Business Phone:	630. 963-8410
Owner's Fax:	630. 963-4621
Owner's E-Mail:	Jim.DHUTA@HMAIL.COM
PLEASE ONLY COMPLETE THE REST OF THIS TABLE IF TENANT IS THE GRANT APPLICANT.	
Tenant Name AND TITLE:	
Tenant Mailing Address:	
Business Phone for Tenant:	
E-Mail for Tenant:	

Project Information

Project Description:

Existing Site Conditions:

Please provide a photo of current site conditions to illustrate where improvements are proposed. Photo should be provided in a paper or digital (e.g. JPEG) format. Electronic photos may be e-mailed to: jobrien@downers.us.

→ EMAIL TO BE SENT

Written Project Description:

Please describe your proposed project improvement. Attach pages as needed.

Required Documentation For Submittal:

3 copies of the complete application, including any support documentation are due by **December 1, 2010**. Additional copies may be requested by OASIS team after the application deadline.

1. If you are proposing an alteration to a building the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Façade elevations (as determined necessary at pre-application meeting*), including height, length and width measurements
- Color scheme of the proposed addition or alteration
- Building material samples (roof, siding, chimneys, etc.) if applicable
- Site plan with building outline and proposed changes
- Cut sheets for proposed doors and windows, if applicable

If you have questions about this, please contact the Community Development Department. Specific questions about submittal requirements will be answered during the pre-application meeting.

2. If you are proposing landscape/or other site improvements the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Site plan with building outline and proposed changes to site
- Landscape plan, if applicable (e.g. access, driveway consolidation, etc)

3. If you are proposing a new sign/awning/canopy the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page:

- Color drawing of the sign/awning including measurements of free-standing sign and site plan showing sign location on a site
- Façade elevation showing sign/awning placement, if plan applicable

Schedule Information:

Anticipated Project Start Date: 6/31/11

Anticipate Project Completion Date: 10/31/11

NOTE: Completion Date must be prior within one year of the year following application.

Architect / Designer for the Project (If Applicable):

Name: (STEVEN J. WENDEN) A.W. WENDEN & SONS INC.

Address: 1121 WASHINGTON AVE. SUITE 140

Phone: 630 965 2412 Fax: 630 969 8341

Contractor for the Project (If Known):

Name: TBD

Address: _____

Phone: _____ Fax: _____

Itemized Activity Estimated

	Total Site Improvement Costs	Grant Eligible Project Costs*	TO BE COMPLETED BY CITY	
			Grant Contribution	Bonus Award
ESTIMATE 1 Contractor Name:	128,650.00			
ESTIMATE 2 Contractor Name:	149,756.00			

Two detailed contractor estimates are required. Please provide additional sheets with supporting detail as necessary.

This application for a Site Improvement Reimbursement Grant is hereby believed to be complete and accurate.

Owner Signature:  Tenant Signature:

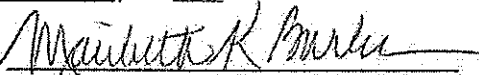
Print Owners Name:
JIM DUTIA

Print Tenant Name:

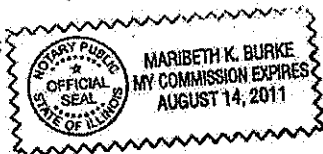
NOTE: Tenant Signature only necessary if
Tenant is applying for a Grant

STATE OF ILLINOIS
COUNTY OF DUPAGE
VILLAGE OF DOWNERS GROVE

The foregoing petition was acknowledged before me by on this 2ND day of
MAY, 20 11.

Notary Public: 

Notary Public:



3 Copies of the completed application should be submitted to the Village's Community Development Department.

Applications may be dropped off at the Village Hall from 8:00 am and 5:00 pm Monday – Friday, or mailed to:

Village of Downers Grove
ATTN: Community Development Department
801 Burlington Avenue
Downers Grove, IL 60515

Disclosure of Beneficiaries/Trust Disclosure:

The information requested below must be completed and attached to any grant application submitted to the Village of Downers Grove. This form is used to ensure that the applicant has a recognized, vested interest in the property. This form is required by persons applying for permits, licenses, approvals or benefits from the Village of Downers Grove
Village of Downers Grove

DISCLOSURE OF BENEFICIARIES

- 1. Grant Applicant: _____
- 2. Address: _____
- 3. Nature of Applicant (Please circle one):
 - a. Natural Person
 - b. Corporation
 - c. Land Trust/ Trustee
 - d. Trust/Trustee
 - e. Partnership
 - f. Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of applicant:

5. If in your answer to Section 3 you checked box b, c, d, e or f, identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of case of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

- a. _____
- b. _____
- c. _____
- d. _____

6. Name, address and capacity of person making this disclosure on behalf of the applicant:

IMPORTANT NOTE: In the event your answer to Section 5 identifies entities other than a natural person, additional disclosures are required for each entity.

VERIFICATION I, _____, being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Signature: _____

Subscribed and Sworn to before me this _____ day of _____, 20 ____.

Notary Public

Program Summary and Evaluation Criteria

The Ogden Avenue Site Improvement Strategy (OASIS) is a program that offers matching grants to business and property owners seeking to make improvements to their sites in the Ogden Avenue TIF Corridor. The goals of the OASIS program are:

- Provide more attractive sites
- Improve traffic circulation for vehicles and pedestrians (on private property as well as the street)
- Improve existing building appearance
- Improve signage and reduce visual clutter

These goals are based on the findings of the 1999 Ogden Avenue Commercial Corridor Master Plan and Village's Strategic Plan. Projects will be reviewed in the context of the recommendations contained within those documents. The categories described below will be used to judge applications.

Applications are judged on a qualitative basis. The OASIS Program is competitive and all applications will be judged against one another – regardless of the number of improvements proposed. The OASIS team will judge applications based on the number of features being improved by an application, the quality of those improvements and how those address the goals of the program. The best projects will be awarded a matching OASIS Grant. Each category contains examples of improvements that are identified as important components to fulfill the goals listed above. The successful project will include multiple elements of the categories below.

Category 1 – Site Improvements:

Examples of site improvements include consolidating driveway accesses to Ogden Avenue, removal of nonconforming parking spaces, installing stormwater management strategies, removing pavement and adding landscaping, providing cross-access between properties, installation of public sidewalks and installation of exterior site lighting.

Projects should seek to beautify the property and improve traffic/circulation on site and on Ogden Avenue. The OASIS Team will give special consideration to projects at major intersections (Main St, Saratoga Ave, Fairview Ave and Lee Ave).

Improvement proposed: Yes No

Comments:

Category 2 – Landscaping:

Examples of landscaping include screening of off-street parking areas with shrubs, ornamental grasses and shrubs, installing landscaping to improve water run-off quality, installation of foundation plantings, installing ornamental fences, construction of outdoor café spaces and installation of shade trees.

Projects should seek to beautify the property and improve green space. The OASIS Team will give special consideration to landscaping projects that combine elements to improve on-site stormwater management.

Improvement proposed: Yes No

Comments:

Category 3 – Building Façade:

Examples of improvements to building facades include major renovations that update a building's appearance (a "major renovation" affects more than 50% of existing exterior walls fronting Ogden Avenue or adjacent side streets), installation of a canopy or awning, adding transparent windows, adding pedestrian-friendly doors and shrubs, installing parapet walls and decorative cornices that hide mechanical equipment and installation of decorative lighting fixtures on the building.

Projects should seek to use high-quality materials and designs. Building façade improvements should enhance the commercial nature of the corridor and complement nearby high-quality buildings. Examples of high-quality buildings include: 42-76 Ogden Avenue, 217 Ogden Avenue, 225 Ogden Avenue, 400 Ogden Avenue, 401 Ogden Avenue, 639 Ogden Avenue, 807 Ogden Avenue, 1000 Ogden Avenue, 1148 Ogden Avenue, and 1601 Ogden Avenue.

Improvement proposed: Yes No

Comments:

Category 4 – Signs:

Examples of improvements to signage include removal of non-conforming signs and installation of code-compliant signs and removal of box-type wall signs and replacement with channel letter signage. Note: sign-only applications will not be funded until the third submission deadline. At that time, sign-only requests will only be funded after all other requests

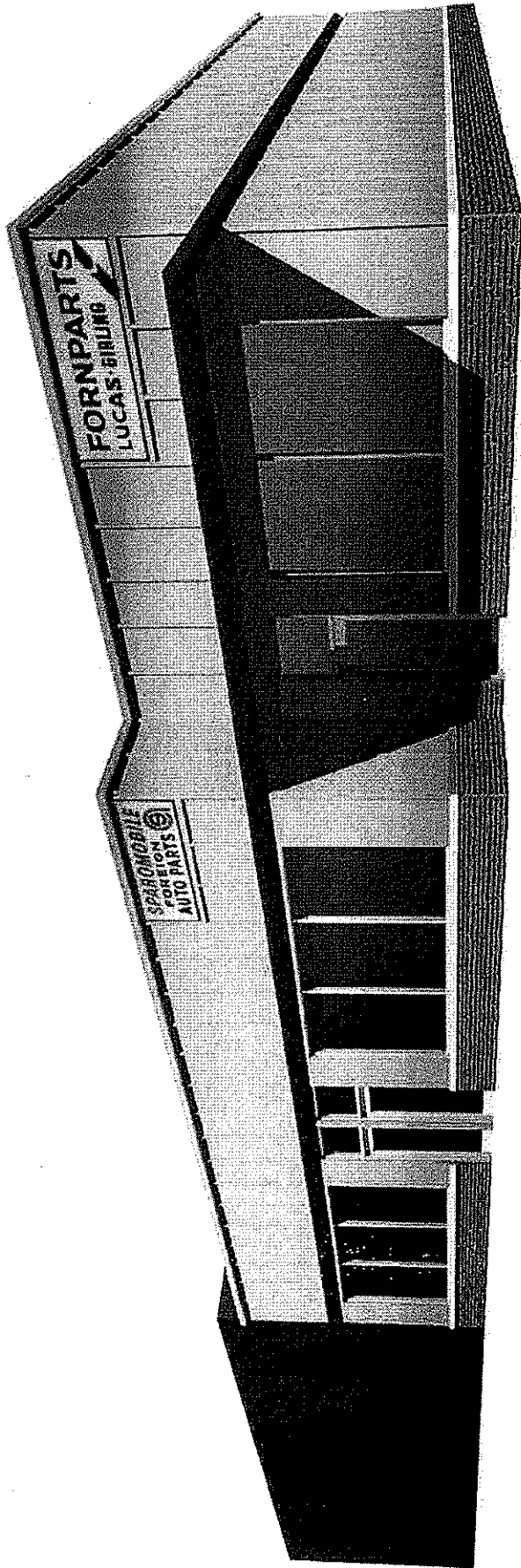
The successful project will bring the property into compliance with the Village's sign ordinance. Projects should seek to use high-quality materials and designs. The signage should be designed to enhance the business' visibility from Ogden Avenue while removing visual clutter from the corridor.

Improvement proposed: Yes No

Comments:

Overall Project Comments:

OASIS Team Recommendation:



A2.3

Remodel for
Form Parts (Jim Dhuta)
501 Odgen Ave,
Downers Grove, Illinois



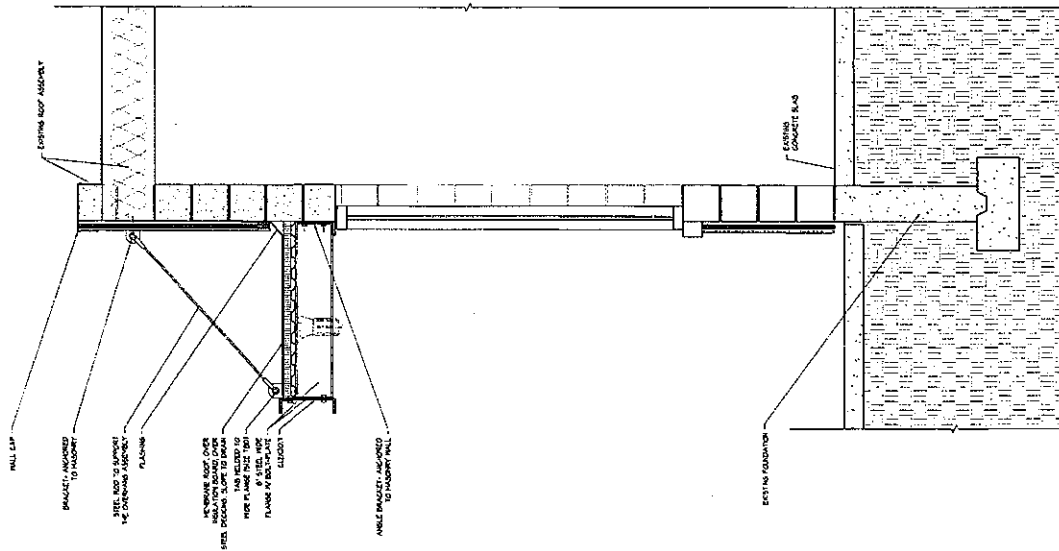
A.W. WENDELL & SONS, INC.
ARCHITECTS/BUILDERS

1111 WASHINGTON AVE. DOWNERS GROVE, ILLINOIS 60518
630.234.1111 FAX 630.234.1112

DETAIL SECTIONS	
DRAWN BY:	ERIC
FINAL:	
PREPARED BY:	04/28/2011
REVISIONS:	

ISSUED FOR BID

NOT FOR CONSTRUCTION



**1121 Warren Avenue
Downers Grove, IL 60515**
P. 630.968.2412
F. 630.968.8341

June 10, 2011

Jeff O'Brien
Planning Manager
Village of Downers Grove
Community Development
801 Burlington Ave.
Downers Grove, IL 60515-4775

Dear Jeff:

re: Fornparts

To follow-up our conversation, please be advised that the increase in the price of our estimate for the above-referenced project includes the following:

- 1 – Replacing the entire parking lot
- 2 – Adding lighted signage on building façade
- 3 – Upgrading street sign

I'm available at 630.968.2412 if you have additional questions.

Sincerely,

A. W. WENDELL & SONS, INC.



Eric J. Wendell

EJW/mkb



**ARCHITECTS
& BUILDERS**

A.W. Wendell & Sons, inc.

Proposal for: FORNPARTS, INC.
 503 Ogden Avenue
 Downers Grove, IL 60515

1121 Warren Avenue
 Downers Grove, IL 60515
 P. 630.968.2412
 F. 630.968.8341

4/29/2011

		Quotation	Allowance	
1	blueprinting	✓ \$ 200.00		
2	permit allowance: building, electric	✓ 1,500.00		
3	survey allowance: spot survey	✓ 700.00		
4	site clearance, structure	✓		
5	stripping, excavating, backfill and final grading	✓		
6	fill removal w/machine time allowance	✓		
7	driveway: 8" stone, asphalt	✓ 33,893.00		
8	general requirements: toilet, fencing	✓ 1,500.00		
9	electric & gas service connection allowance: temporary & permanent			
10	concrete work, curbs, sidewalk	✓ 10,784.00		
11	sanitary sewer, storm, water, downspout connections			
12	structural steel, plates, lintels	✓ 6,458.00		
13	truss joist, microlam beams, trusses			
14	lumber	7,995.00		
15	rough hardware allowance: nails, screws, bolts, joist hangers, connectors, caulk, protection, etc.	✓ 800.00		
16	windows	✓ 19,860.00		
17	sun room, special glass, mirrors			
18	carpenter labor: rough framing, etc.	✓ 11,930.00		
19	masonry: brick/m	✓ 10,600.00		
20	roofing: single ply	✓ 3,200.00		
21	garage doors & electric openers			
22	aluminum gutters & downspouts, soffit, siding			
23	sheetmetal flashing, gravel stop	✓		
24	heating, air conditioning, air cleaner, humidifier, fan ducts, prefab chimney			
25	plumbing, gas piping, fixture allowance	fixture allowance		
26	electric wiring (1,500 site)	✓ 4,900.00		
27	vacuum, security, smoke & fire, intercom, telephone, cable, audio/video			
28	insulation: walls, ceiling, floor, crawlspace, garage, plumbing lines			
29	drywall			
30	plaster, stucco, stair backs			
31	wood floor, plywood and/or oak: installation, sanding, finishing			
32	main stair, basement stair, step downs, railings			
33	tile, marble, resilient floors, tops, fireplace surrounds	/sq ft. mat'l		
34	millwork: doors, casing, crown, base, shoe, etc.			
35	cabinetry allowance: kitchen, bath vanities, special cabinetry, etc.			
36	countertop allowance: granite, formica, corian			
37	appliance allowance:			
38	prefab fireplace, sauna, steam unit			
39	shower door and tub enclosure allowance			
40	painting allowance: exterior	✓ 1,750.00		
41	finish hardware allowance: door hardware, closet accessories, medicine cabinets, etc.			
42	door weather stripping & threshold			
43	decorative electrical fixtures & chimes			
44	clean-up allowance: broom clean & haul-a-way, window washing	✓ 2,500.00		
45				
46	landscaping	✓ 7,192.00		
47	street sign	✓ 9,800.00		
48	wall sign	✓ 7,735.00		
49				
50				
		Subtotal Bids/Allowances	\$143,297.00	\$0.00
		Total Construction	\$143,297.00	
		Overhead & Profit @ 15%	\$21,495.00	
		TOTAL	\$164,792.00	

Temporary electric, gas - monthly bills paid for by owner. Only items checked are to be furnished.

A.W. WENDELL & SONS, INC.
 By: *[Signature]*
 Owner Acceptance: _____

Owner Acceptance



Simpsons Building Solutions, Inc.
(630) 675-5720

PRICING LIST

Page 1 of 1

Fornparts, Inc., Owners, desire to contract with Simpsons Building Solutions, Inc., Contractor, to perform the completion of the remodel of the building located at 503 Ogden Avenue, Downers Grove, IL, 60515.

Job Description:

<u>Description of Work</u>	<u>Amount</u>
General Requirements (permits, surveys, temp fence, etc.)	\$ 7,200.00
Asphalt Driveway	35,450.00
Concrete Work, Sidewalk, Curb Cut	15,564.00
Structural Steel, Plates, Lintels, Decorative Iron	6,560.00
Windows and Doors	20,250.00
Carpentry Labor and Lumber	30,363.00
Brick Masonry	11,250.00
Roofing	3,350.00
Electrical	6,300.00
Painting	2,125.00
Street Sign	10,300.00
Wall Sign	8,135.00
Landscaping	7,350.00
Supervision & Profit	21,346.00
TOTAL:	\$185,543.00

Simpsons Building Solutions, Inc.

Owner: _____ Dated: _____

Contractor: Anthony Simpson Dated: 5-26-11

Exhibit B
Campaign Disclosure Certificate

The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity that is a party to a contract with the Village to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the contract.

By signing the contract, Applicant agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

- Applicant has not contributed to any elected Village position within the last five (5) years.

Signature

Print Name

- Applicant has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

Name of Contributor: _____
(company or individual)

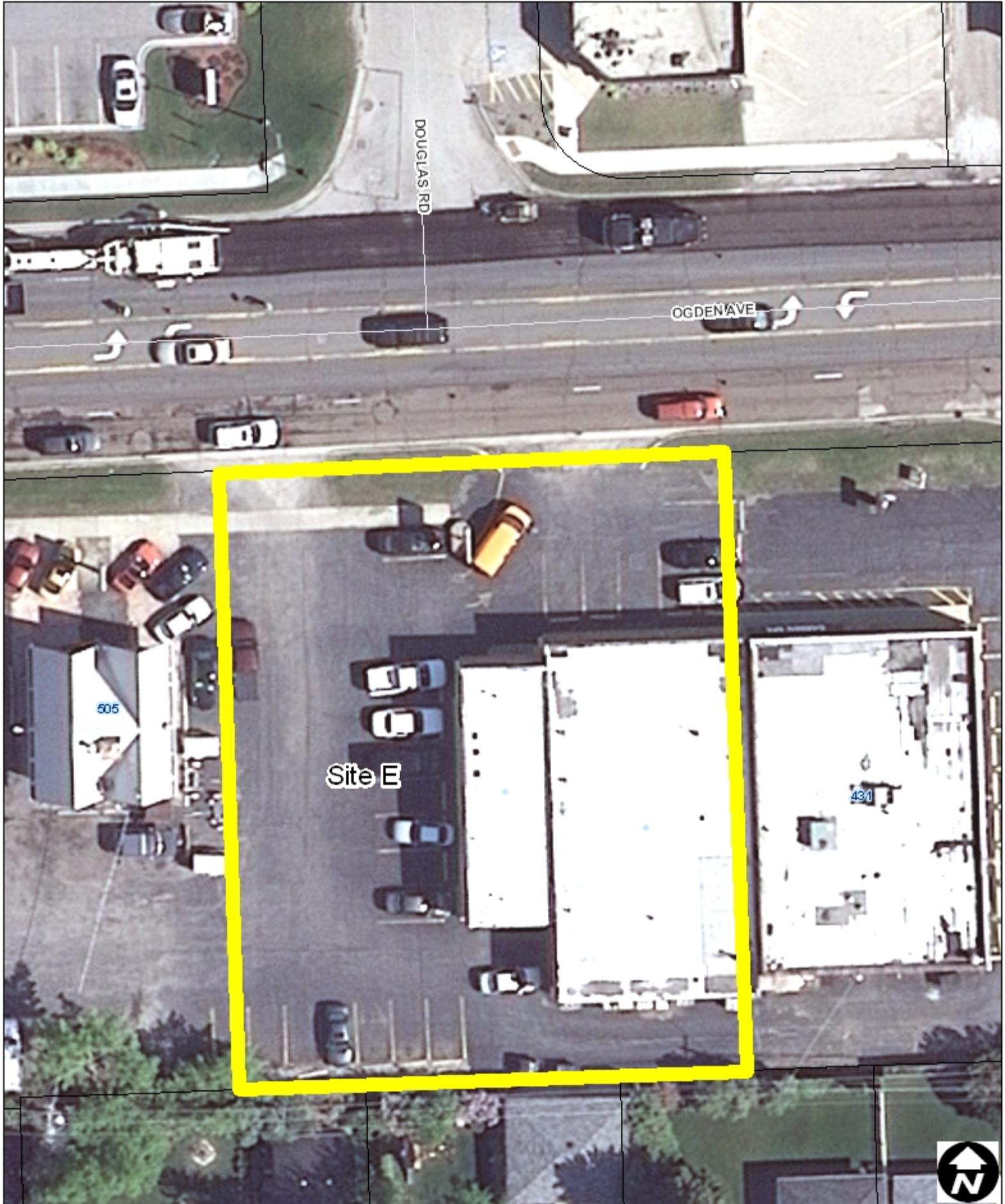
To whom contribution was made: _____

Year contribution made: _____ Amount: \$ _____

Signature

Print Name

OASIS Grant
Site E: Forn Parts - 501-503 Ogden Ave





www.downers.us

June 15, 2011

Jim Dhutia
Forn Parts/Sparomobile
501-503 Ogden Avenue
Downers Grove, IL 60515

Re: OASIS Grant for 501-503 Ogden Avenue

**COMMUNITY RESPONSE
CENTER**

630.434.CALL (2255)

CIVIC CENTER

801 Burlington Avenue
Downers Grove
Illinois 60515-4782
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

FIRE DEPARTMENT

ADMINISTRATION
5420 Main Street
Downers Grove
Illinois 60515-4834
630.434.5980
FAX 630.434.5998

POLICE DEPARTMENT

825 Burlington Avenue
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

**PUBLIC WORKS
DEPARTMENT**

5101 Walnut Avenue
Downers Grove
Illinois 60515-4046
630.434.5460
FAX 630.434.5495

Dear Mr. Dhutia:

Thank you for your interest in the Ogden Avenue Site Improvement Strategy (OASIS) Program. The OASIS Team met on May 10, 2011 to review your application for a matching grant for façade renovation, site, landscaping and sign improvements at the above-mentioned property.

The OASIS Team is pleased to inform you that the request is being recommended for funding. The OASIS Team is recommending a grant in the amount of \$43,834.50 based on the quotes provided. Because the request is more than \$15,000, the recommendation of the OASIS Team will be forwarded to the Village Council.

Village staff anticipates Village Council consideration of the OASIS Grant will take place on **July 19, 2011**. Please note, pursuant to the State of Illinois Labor Laws, the project must use prevailing wage labor.

Please contact me if you have any comments or questions. I can be reached at 630.434.5520 or jobrien@downers.us.

Sincerely,
The OASIS Team

Jeff O'Brien, AICP
Planning Manager
Village of Downers Grove

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING EXECUTION OF A GRANT
AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE
AND ANTHONY ZANGLER**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois,
as follows:

1. That the form and substance of a certain Grant Agreement (the "Agreement"), between the Village of Downers Grove (the "Village") and Anthony Zangler (the "Applicant"), for OASIS Program grant funding, in the amount of \$34,250.50, to make improvements to the property/business located at 946 Ogden Avenue, which is along the Ogden Avenue commercial corridor, as set forth in the form of the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provisions of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____

Village Clerk

OASIS GRANT AGREEMENT

THIS AGREEMENT is made this ____ day of _____, 2011 by and between the Village of Downers Grove, Illinois, an Illinois municipal corporation with offices at 801 Burlington Avenue, Downers Grove, Illinois 60515, (“the Village”) and Anthony Zangler at 946 Ogden Avenue, Downers Grove, Illinois 60515 (“Applicant”).

WITNESSETH:

WHEREAS, the Village has established the Ogden Avenue Site Improvement Strategy Program (“OASIS Program”) for application to receive a grant from the Village to make improvements to properties/businesses along the Ogden Avenue commercial corridor; and,

WHEREAS, said Program is funded from TIF funds for the purpose of controlling and preventing blight and deterioration within the Ogden Avenue Tax Increment Finance District (“TIF District”), and to encourage the further redevelopment of properties in the TIF District in accordance with the general guidelines set forth in the Program as adopted in Ordinance 5150 on September 14, 2010; and,

WHEREAS, Applicant owns a property/business at 946 Ogden Avenue, Downers Grove, Illinois 09-05-118-025 which is located within the TIF District; and

WHEREAS, pursuant to the Program the Village has agreed to financially participate, subject to its sole discretion, the Program Guidelines, and the terms and conditions set forth in this Agreement; and,

WHEREAS, the Applicant desires to participate in the Program, subject to the Program Guidelines and the terms and conditions set forth in this Agreement;

NOW THEREFORE, in consideration of the mutual covenants and agreement herein set forth, and other good and valuable consideration, the Parties do hereby agree as follows:

A. General Provisions:

1. The above recitals are incorporated into and made part of this Agreement as though fully set forth herein.
2. This Agreement may not be transferred or assigned.
3. This Agreement may be terminated by either party by giving ten (10) days written notice to the other party. If the Applicant terminates this Agreement, the Village shall not be required to make any reimbursement payments to the Applicant.
4. In the event the Applicant fails to complete the project and submit the required proof of payment documents in the required timeframe, the Village may terminate this Agreement and award the funds to other eligible projects.
5. The parties shall have any and all remedies available at law in the event of a breach of this Agreement.
6. Applicant acknowledges that the Freedom of Information Act may apply to public records in possession of Applicant or a contractor. Applicant and its contractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. 5 ICLS 140/1 et. seq.
7. This Agreement will be governed by and construed in accordance with the laws of the State of Illinois. Venue is proper only in the County of DuPage.

8. This Agreement will not be subject to amendment unless made in writing and signed by all parties.
9. Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to designated representatives of both parties as follows:

**Village Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515**

To the Applicant as stated below.

B. Applicant's Obligations:

1. Applicant shall complete the project in substantial compliance with the attached plans, incorporated as part of this Agreement as Exhibit A. Any changes to the plans shall require written approval from the Community Development Director, or his designee.
2. Applicant shall grant an easement to the Village for, or install, a public sidewalk along that portion of the subject property adjacent to Ogden Avenue where no public sidewalk currently exists.
3. Applicant, at its own expense, shall obtain all necessary permits prior to commencement of any work to complete the improvements.
4. Applicant shall submit the following required proof of payment documents:
 - a. Itemized paid-in-full invoices.
 - b. Canceled checks for the payment for the completed improvements.
 - c. Final lien waivers, if applicable.
 - d. Certified payroll records of contractors.
5. Applicant understands that it will not receive payment if there are any outstanding code violations on the property or if Applicant owes any money to the Village.
6. Applicant shall complete the project and submit the required proof of payment documents within one (1) year of the effective date of this Agreement. If the project is not completed or if the required proof of payment documents are not submitted within one (1) year, the Village shall have the right to declare this Agreement null and void and shall not be required to make any reimbursement payments to the Applicant.
7. Applicant shall complete the project in such a manner as to comply with all conditions of this Agreement, and in accordance with the Program Guidelines and all pertinent regulations, ordinances, or codes of the Village or other authority having jurisdiction over the property.
8. Applicant is hereby notified by the Village that work contemplated by this Agreement may be subject to the Prevailing Wage Act ("Act"), 820 ILCS 130/1 *et seq.* Applicant agrees to comply with all applicable provisions of the Act as administered by the Illinois Department of Labor ("IDOL"). Applicant further agrees to contact IDOL for a determination of applicability of the Act to the project contemplated by this Agreement. If required by IDOL, Applicant agrees to pay the prevailing wage rates and to require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work on the projects contemplated by this Agreement. For applicable rates, go to the State of Illinois – Department of Labor website and use the most current DuPage county rate. Applicant recognizes and agrees that it is solely responsible for compliance with the Act and agrees to fully indemnify, defend and hold harmless the Village with regard to any actions or proceeding instituted regarding such compliance.

9. Applicant shall be required to submit an executed Campaign Disclosure Certificate, attached hereto as Exhibit B.

C. Village's Obligations:

1. The Village shall reimburse the Applicant for one-half (1/2) of the actual incurred costs to complete all eligible aspects of the project. The amount of said reimbursement shall not exceed \$34,250.50.
2. The Village shall remit payment to the Applicant within sixty (60) days of completion of the project and receipt of the required proof of payment documents.
3. The Village shall diligently review permit submittals, issue permits and complete required inspections deemed necessary to complete the project.

IN WITNESS HEREOF, the parties set their hand and seal the day and date hereinabove written.

APPLICANT:
946 Ogden Office Building
946 Ogden Avenue
Downers Grove, IL

VILLAGE OF DOWNERS GROVE:

By:

Signature

Village Manager

Print Name

Attest:

Title

Village Clerk

Application

A printable version of the Ogden Avenue Site Improvement Reimbursement Grant Application is available on-line at www.downers.us or www.dgedc.com. A paper copy of the application is available on the next page. Three (3) copies of the complete application, including any support documentation are due by the application deadline(s).

Applicant is:	<input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Owner
Name of Business/Building:	946 OGDEN OFFICE BUILDING
Address/Property ID # of Project Property:	946 OGDEN
Owner's Name AND TITLE:	ANTHONY ZANGLER
Owner's Mailing Address:	946 OGDEN, #3 D.G. IL 60515
Owner's Business Phone:	630-769-0800
Owner's Fax:	630-852-5637
Owner's E-Mail:	tony@real+properties
PLEASE ONLY COMPLETE THE REST OF THIS TABLE IF TENANT IS THE GRANT APPLICANT.	
Tenant Name AND TITLE:	
Tenant Mailing Address:	
Business Phone for Tenant:	
E-Mail for Tenant:	

Project Information

Project Description:

Existing Site Conditions:

Please provide a photo of current site conditions to illustrate where improvements are proposed. Photo should be provided in a paper or digital (e.g. JPEG) format. Electronic photos may be e-mailed to: jobrien@downers.us.

Written Project Description:

Please describe your proposed project improvement. Attach pages as needed.

SEE ATTACHMENT

Required Documentation For Submittal:

3 copies of the complete application, including any support documentation are due by **December 1, 2010**. Additional copies may be requested by OASIS team after the application deadline.

1. If you are proposing an alteration to a building the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Façade elevations (as determined necessary at pre-application meeting*), including height, length and width measurements
- Color scheme of the proposed addition or alteration
- Building material samples (roof, siding, chimneys, etc.) if applicable
- Site plan with building outline and proposed changes
- Cut sheets for proposed doors and windows, if applicable

If you have questions about this, please contact the Community Development Department. Specific questions about submittal requirements will be answered during the pre-application meeting.

2. If you are proposing landscape/or other site improvements the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Site plan with building outline and proposed changes to site
- Landscape plan, if applicable (e.g. access, driveway consolidation, etc)

3. If you are proposing a new sign/awning/canopy the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page:

- Color drawing of the sign/awning including measurements of free-standing sign and site plan showing sign location on a site
- Façade elevation showing sign/awning placement, if plan applicable

Schedule Information:

Anticipated Project Start Date: 9/1/2011

Anticipate Project Completion Date: 12/31/2011

NOTE: Completion Date must be prior within one year of the year following application.

Architect / Designer for the Project (If Applicable):

Name: BRADFORD & KEV, INC
 Address: 807 OBSERV AVE, Downers Grove IL 60515
 Phone: (630) 969-8585 Fax: (630) 969-8621

Contractor for the Project (If Known):

Name: BRADFORD & KEV INC
 Address: 807 OBSERV AVE, Downers Grove IL 60515
 Phone: (630) 969-8585 Fax: 969 8621

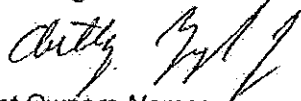
Itemized Activity Estimated

	Total Site Improvement Costs	Grant Eligible Project Costs*	TO BE COMPLETED BY CITY	
			Grant Contribution	Bonus Award
ESTIMATE 1 Contractor Name: <u>BRADFORD + KEV, INC.</u>	<u>\$ 149,127</u>	<u>\$ 33,789.50</u>		
ESTIMATE 2 Contractor Name:				

Two detailed contractor estimates are required. Please provide additional sheets with supporting detail as necessary.

This application for a Site Improvement Reimbursement Grant is hereby believed to be complete and accurate.

Owner Signature:



Print Owners Name:

Tenant Signature:

Print Tenant Name:

*NOTE: Tenant Signature only necessary if
Tenant is applying for a Grant*

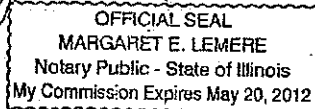
STATE OF ILLINOIS
COUNTY OF DUPAGE
VILLAGE OF DOWNERS GROVE

The foregoing petition was acknowledged before me by on this 27th day of April, 20 11.

Notary Public:



Notary Public



3 Copies of the completed application should be submitted to the Village's Community Development Department.

Applications may be dropped off at the Village Hall from 8:00 am and 5:00 pm Monday – Friday, or mailed to:

Village of Downers Grove
ATTN: Community Development Department
801 Burlington Avenue
Downers Grove, IL 60515

Disclosure of Beneficiaries/Trust Disclosure:

The information requested below must be completed and attached to any grant application submitted to the Village of Downers Grove. This form is used to ensure that the applicant has a recognized, vested interest in the property. This form is required by persons applying for permits, licenses, approvals or benefits from the Village of Downers Grove
Village of Downers Grove

DISCLOSURE OF BENEFICIARIES

1. Grant Applicant: Anthony Zarwell, Jr.
2. Address: 946 Ogden Ave, Downers Grove, IL 60575
3. Nature of Applicant (Please circle one):
 - a. Natural Person
 - b. Corporation
 - c. Land Trust/ Trustee
 - d. Trust/Trustee
 - e. Partnership
 - f. Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of applicant:

5. If in your answer to Section 3 you checked box b, c, d, e or f, identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of case of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

- a. _____
- b. _____
- c. _____
- d. _____

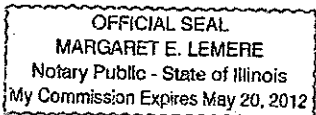
6. Name, address and capacity of person making this disclosure on behalf of the applicant:

IMPORTANT NOTE: In the event your answer to Section 5 identifies entities other than a natural person, additional disclosures are required for each entity.

VERIFICATION I, Anthony Zarwell, Jr., being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Signature: Anthony Zarwell, Jr.

Subscribed and Sworn to before me this 27th day of April, 20 11.
Margaret E. Lemere Notary Public



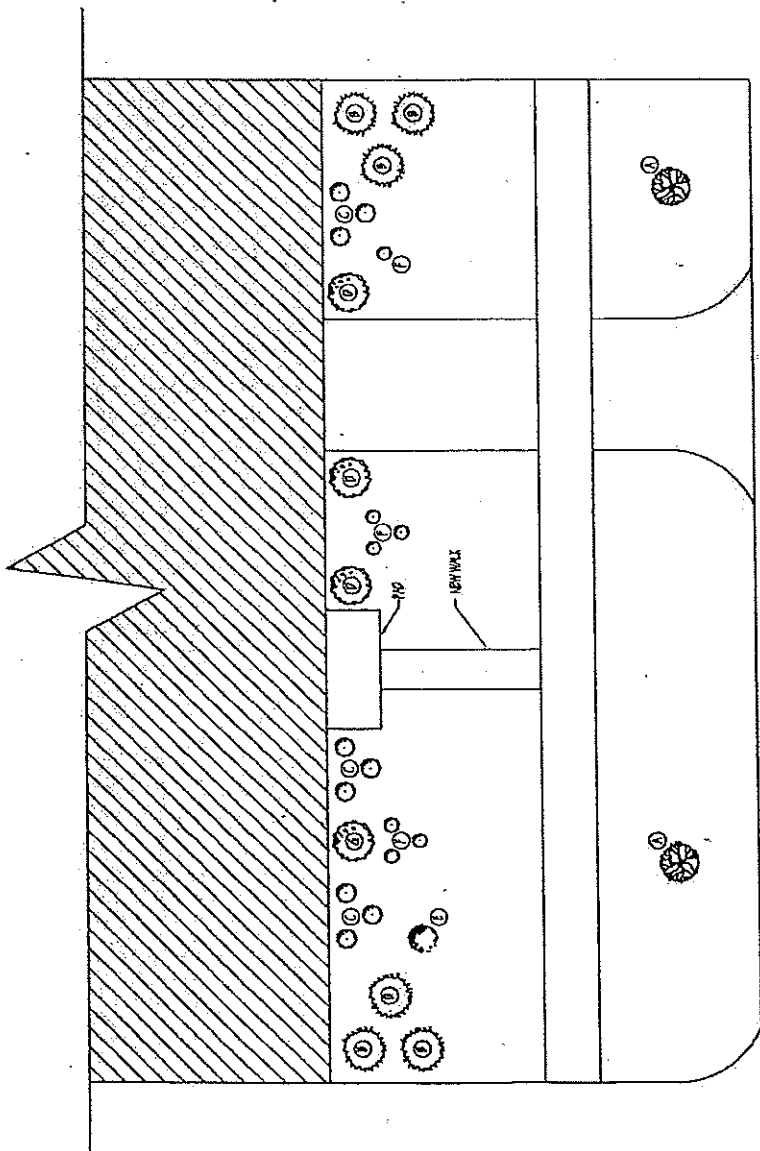
TAG	QTY.	DESCRIPTION
A	2	SCYLLA LOCUSTS 20.1 CALIBER
B	6	3/8" JUNPER CANAERTI
C	9	DENSI VENS 1 1/2" x 4" EVERGREEN (9) GALLONS
D	3	BURNING BUSHES 30" x 36" TALL
E	1	CRITINA FLAM BUSH (5) GALLONS
F	7	KNOCKOUT SHRUB ROSES RED (7) GALLONS
G	1	COMMON LILAC 30" x 36" TALL

BRADFORD AND KENT
 870 CEDAR AVE.
 DOWNERS GROVE, IL 60515

DATE: 4/29/11
 REVISED:
 SCALE: NTS

LAMANTIA
ENTERPRISES, INC
 5100 WILLIAMS ST.
 DOWNERS GROVE, IL 60515
 630.967.1140

PROPERTY PLAN
 PAGE: 2 OF 2



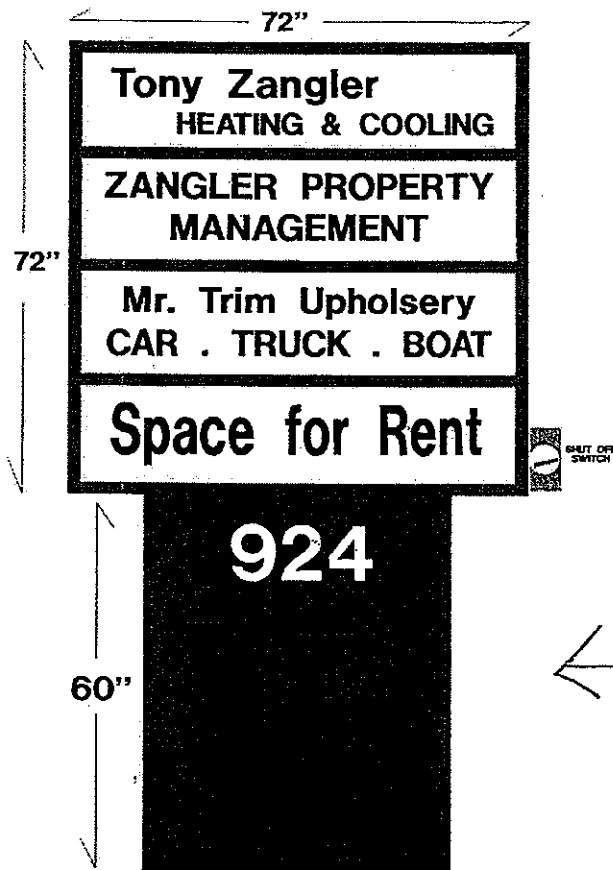
SIGN SHOP EXPRESS

924 WARREN AVE. DOWNERS GROVE, IL. 60515

630/964-3500



This is a double sided electric sign with changable panels.



PROJECT NAME/LOCATION

Prepared for: *BRADFORD & KENT*
Tony Zangler
946 Ogden Ave.
Downers Grove, IL 60515

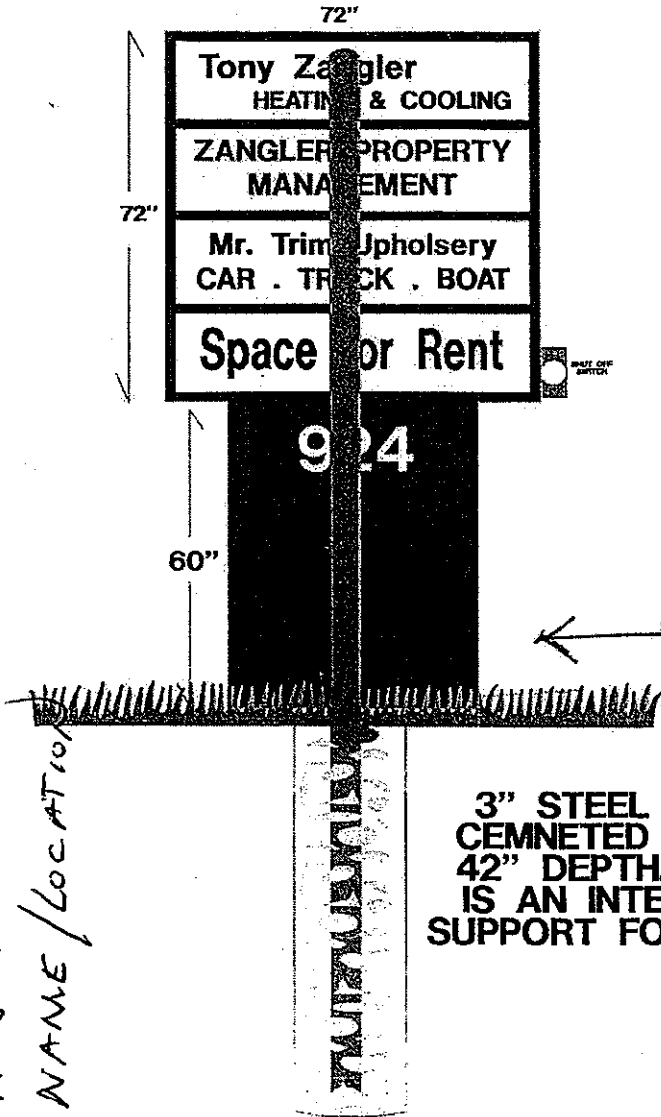
Prepared by:
Sign Shop Express
924 Warren Ave.
Downers Grove, IL 60515

THIS ARTWORK IS PROPERTY OF SIGN SHOP EXPRESS. IT CANNOT BE DUPLICATED
WITHOUT EXPRESS WRITTEN PERMISSION OF SIGN SHOP EXPRESS

SIGN SHOP EXPRESS

924 WARREN AVE. DOWNERS GROVE, IL 60515

630/964-3500



Foundation Drawing

Landsaping applied to entire building

← STUCCO PEDISTAL

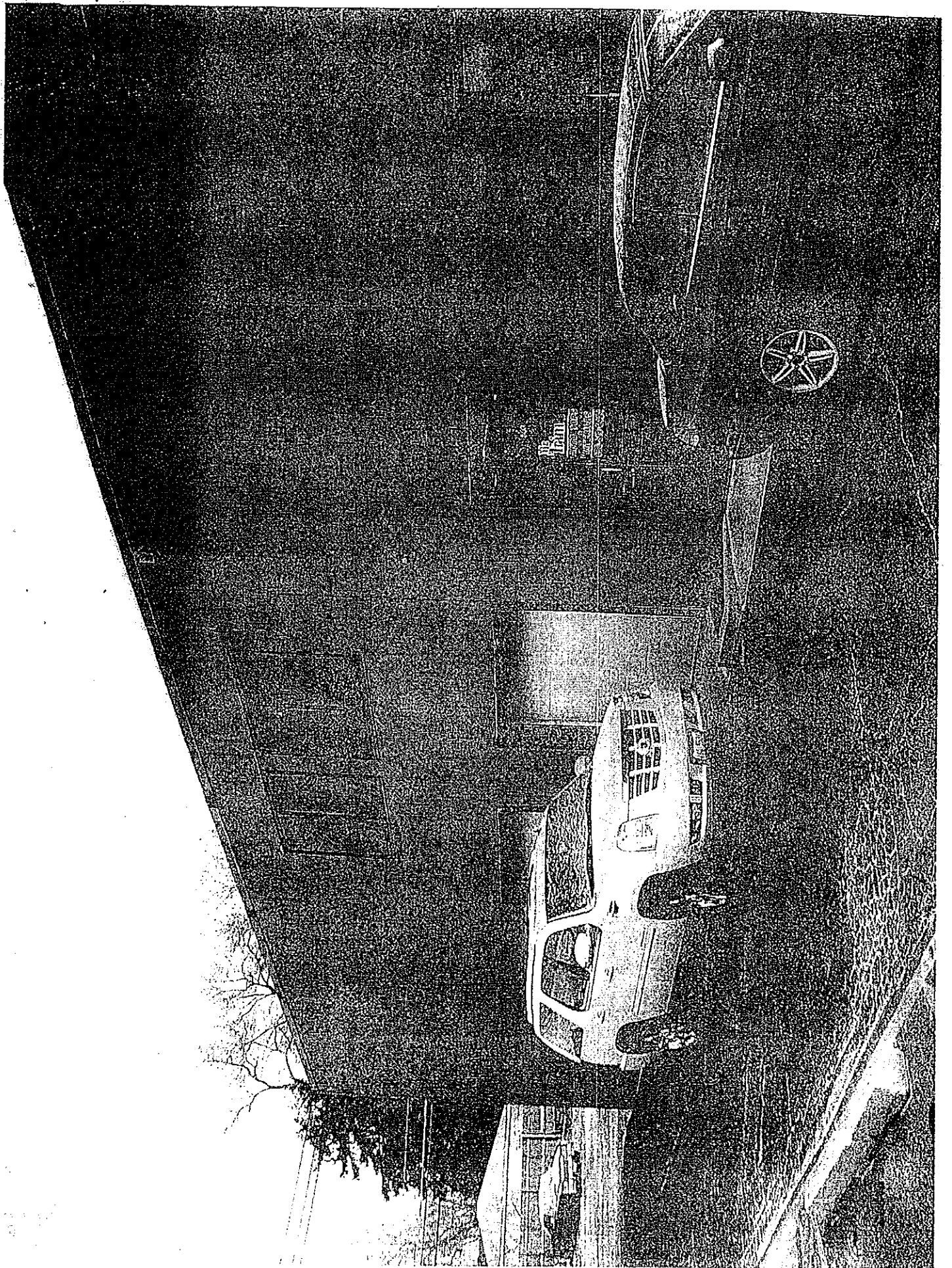
3" STEEL PIPE
CEMNETED IN AT
42" DEPTH. PIPE
IS AN INTERNAL
SUPPORT FOR SIGN

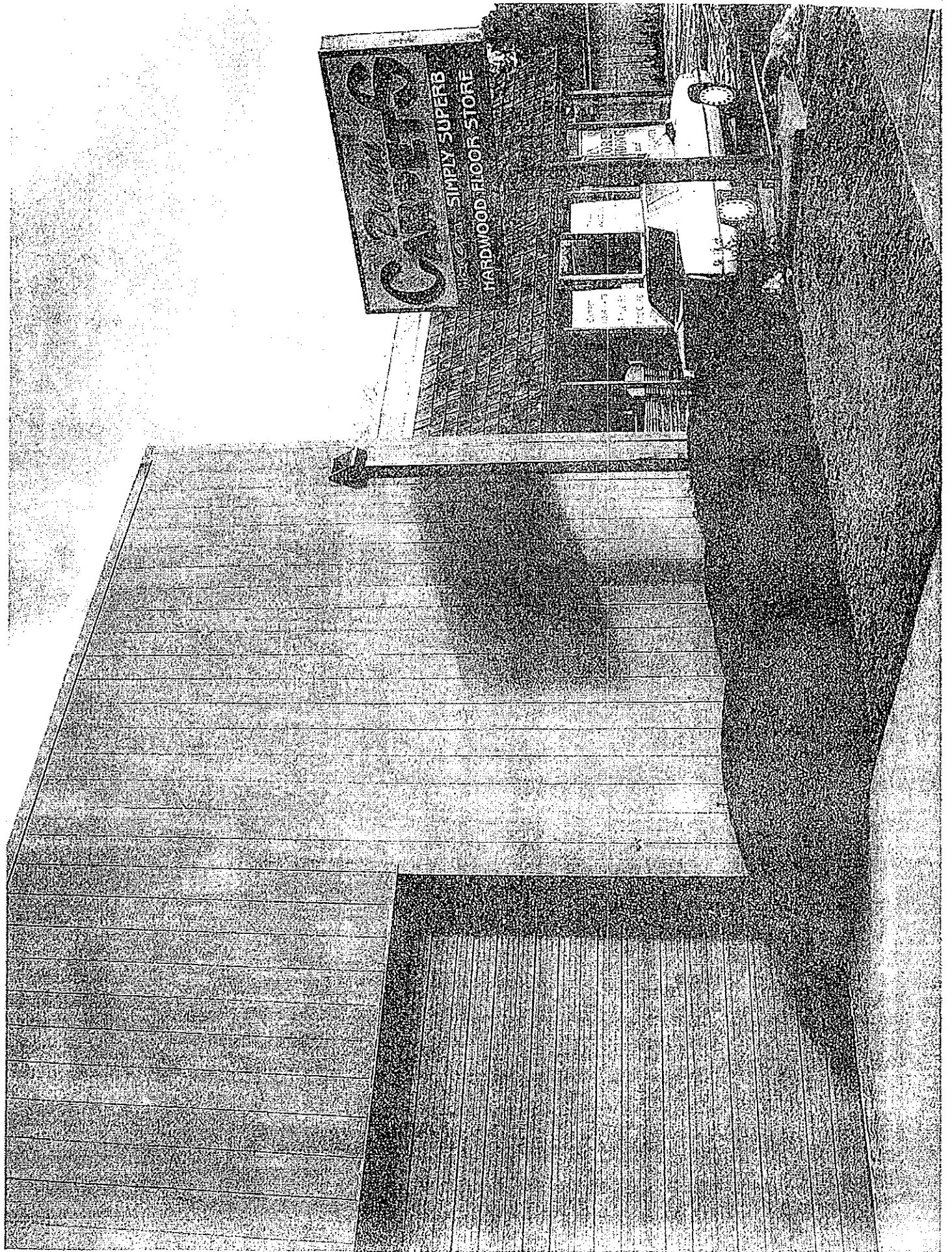
PROJECT
NAME / LOCATION

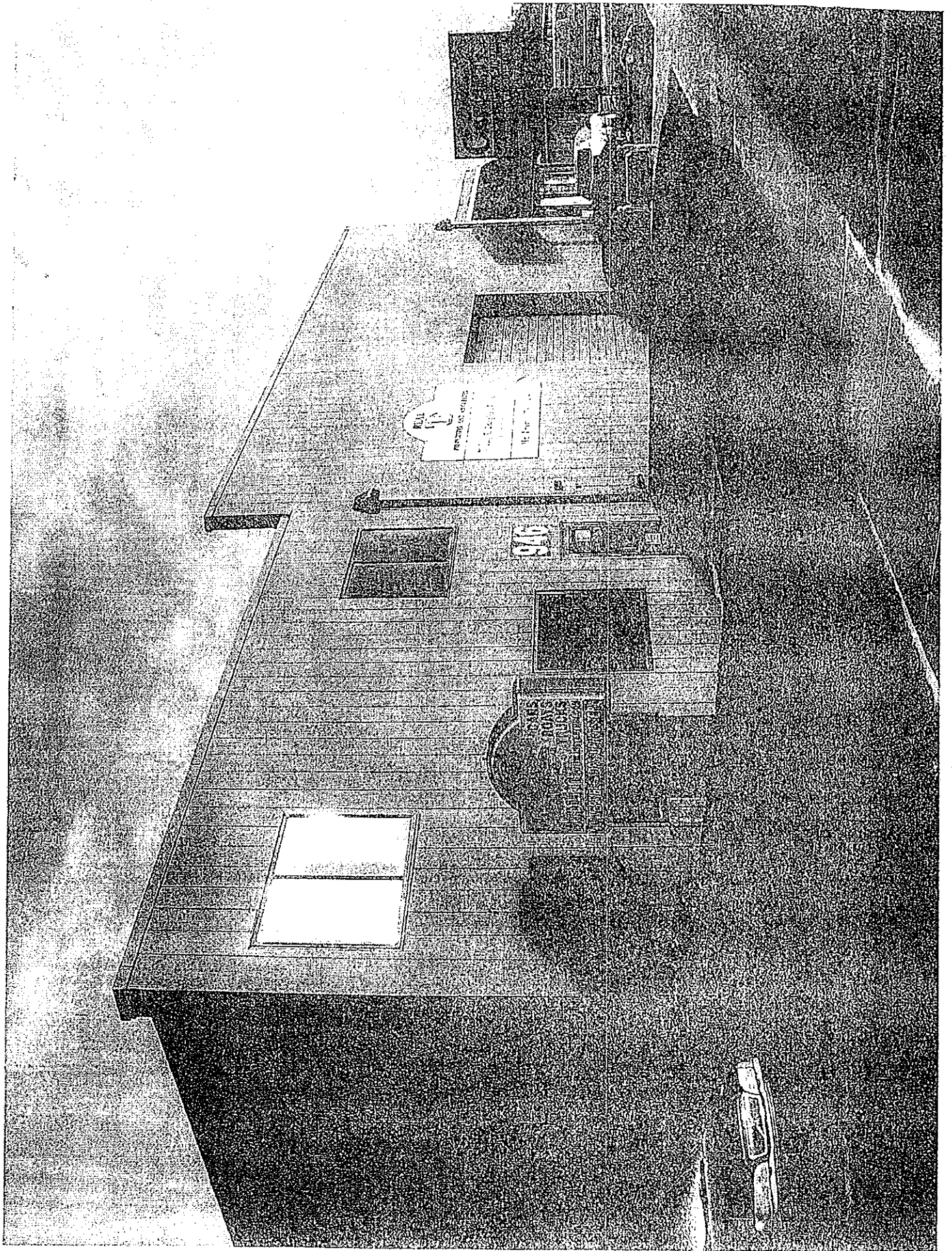
Prepared for: *BRADFORD & KENT*
Tony Zangler
946 Ogden Ave.
Downers Grove, IL 60515

Prepared by:
Sign Shop Express
924 Warren Ave.
Downers Grove, IL 60515

THIS ARTWORK IS PROPERTY OF SIGN SHOP EXPRESS. IT CANNOT BE DUPLICATED WITHOUT EXPRESS WRITTEN PERMISSION OF SIGN SHOP EXPRESS







-CONFIDENTIAL-

Bradford and Kent

*807 Ogden Ave
Downers Grove, Il 60515
630-969-8585*

Estimate for:
946 Ogden Ave
Office Building
Downers Grove, Illinois 60515

Bradford and Kent Representative

Buyer _____
Co Buyer _____

-CONFIDENTIAL-

3. - Landscape Improvements: \$7,377 (See attached drawing)

- Shrub removal and landscape front of building. Re-sod starting at the public walk to the building. Parkway to remain.
- Plant list to include (2) Skyline Locusts, (6) Juniper Canaerti, (9) Densi Yews, (3) Burning bushes, (1) Cistina Plum bush, (7) Knockout Shrub Roses Red, (1) Common Lilac
- Include removal of Evergreen and grind stumps. Prep planting area and add soil additives. Furnish and install the above plant list with peat moss and fertilizers. Furnish and install mulch with preem in beds. Final grade grass area and add 6 yards of pulverized dirt. Furnish and install all sod with fertilizers.

3. - Signage Improvements: \$8,268 (See attached drawing)

- New Sign and pedestal to measure 11' tall by 6' wide.
- Sign is a double-sided electric sign with changeable panels.
- 5' Pedestal to be finished in stucco to match building soffits.

Bradford and Kent Representative

Buyer _____
Co Buyer _____



Developers & Builders

From: Concorde Builders, LLC
Buyer: Real T Properties & Associates
Anthony Zangler Jr.
946 Ogden Ave.
Downers Grove, IL 60515

Remodeling project to include facade update, site-work, landscaping and signage. All work in accordance with plans prepared by S.G. Architects, Inc. dated 4/19/11, Landscape plan dated 4/29/11. All permits bonds licensing as required.

Scope of work as follows:

- | | | |
|----|---|--------------|
| A) | Fascade | \$112,640.00 |
| | - metal framed soffits | |
| | - stucco finish over face,sides of soffit | |
| | - metal roof at op of soffits | |
| | - aluminum store front windows and doors | |
| | - paint with Benjamin Moore or equal | |
| B) | Site Work | \$ 33,625.00 |
| | - concrete walk, approach, driveway, curbs | |
| | - asphalt work to include remove and replacement of west driveway | |
| | - outdoor lighting allowance of \$7500 | |
| C) | Landscape Work | \$ 8,200.00 |
| | - to include removal of existing resod per plan with plantings | |
| | - Plant List | |
| | - (2) Skyline Locusts | |
| | - (6) Juniper Canaerti | |
| | - (9) Densi Yews | |
| | - (3) Burning bushes | |
| | - (1) Cistina Plum bush | |
| | - (7) Knockout shurb roses red | |
| | - (1) Common lilac | |
| | - Landscape Front | |
| | - Parkway (2) Skyline Locusts | |



Developers & Builders

- Anchor corners – East/West Side
- (3) on each side Juniper Canaerti

- Under the grouping of windows
- (3) Densi Yews
- Corner of doorway/garage
- Burning bush

- D) Signage \$7500.00
- Replace existing sign with new 36sq ft. monument sign
 - Allowance of \$5000 for sign balance of cost for labor and electric

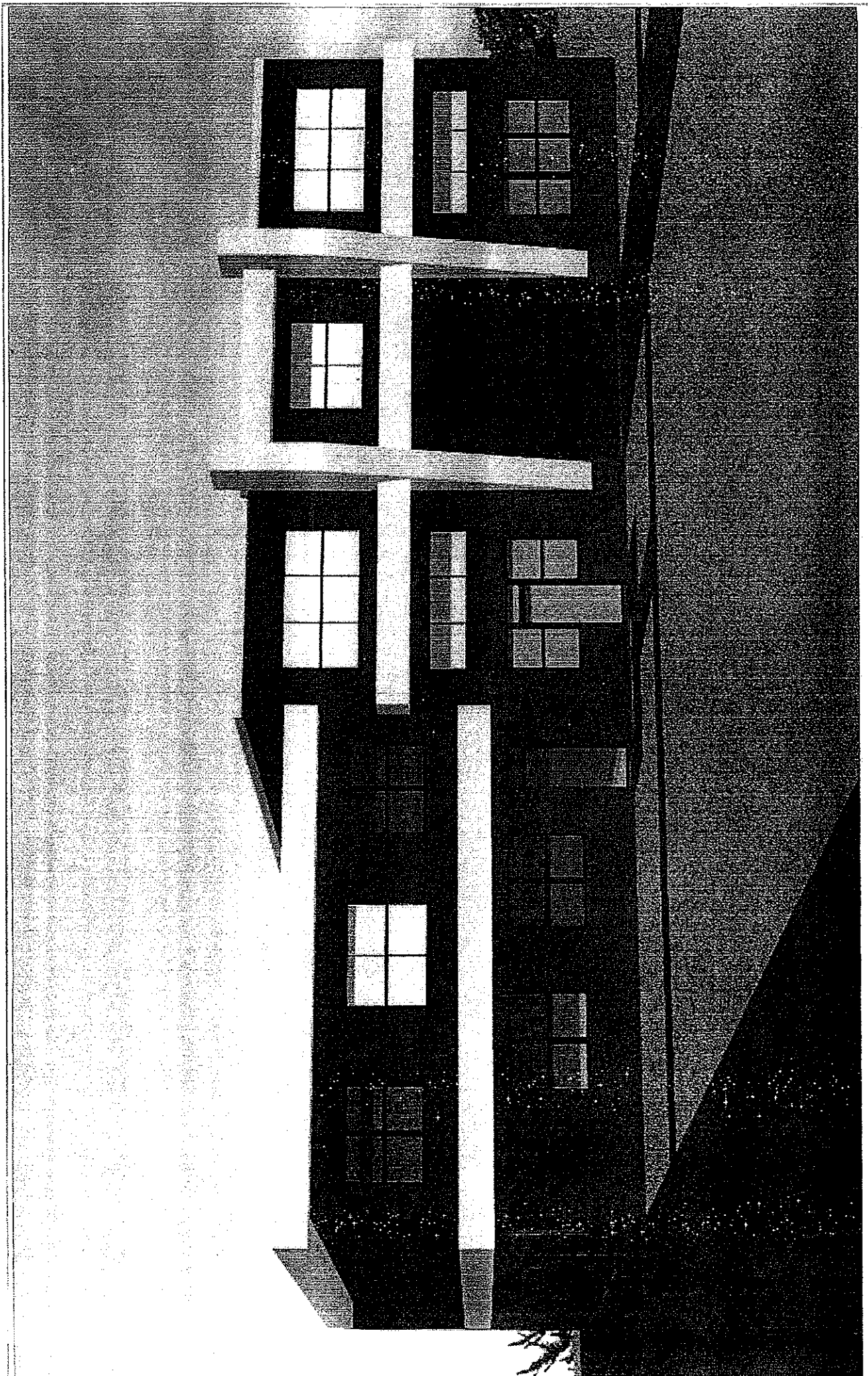


Exhibit B
Campaign Disclosure Certificate

The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity that is a party to a contract with the Village to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the contract.

By signing the contract, Applicant agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

- Applicant has not contributed to any elected Village position within the last five (5) years.

Signature

Print Name

- Applicant has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

Name of Contributor: _____

(company or individual)

To whom contribution was made: _____

Year contribution made: _____ Amount: \$ _____

Signature

Print Name

OASIS Grant
Site F: Mr. Trim - 946 Ogden Ave





www.downers.us

June 15, 2011

Anthony Zangler
946 Ogden Avenue #3
Downers Grove, IL 60515

Re: OASIS Grant for 946 Ogden Avenue

**COMMUNITY RESPONSE
CENTER**

630.434.CALL (2255)

CIVIC CENTER

801 Burlington Avenue
Downers Grove
Illinois 60515-4782
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

FIRE DEPARTMENT

ADMINISTRATION
5420 Main Street
Downers Grove
Illinois 60515-4834
630.434.5980
FAX 630.434.5998

POLICE DEPARTMENT

825 Burlington Avenue
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

**PUBLIC WORKS
DEPARTMENT**

5101 Walnut Avenue
Downers Grove
Illinois 60515-4046
630.434.5460
FAX 630.434.5495

Dear Mr. Zangler:

Thank you for your interest in the Ogden Avenue Site Improvement Strategy (OASIS) Program. The OASIS Team met on May 10, 2011 to review your application for a matching grant for façade renovation, site, landscaping and sign improvements at the above-mentioned property.

The OASIS Team is pleased to inform you that the request is being recommended for funding. The OASIS Team is recommending a grant in the amount of \$34,250.50 based on the quotes provided. Because the request is more than \$15,000, the recommendation of the OASIS Team will be forwarded to the Village Council.

The recommendation contains the following conditions:

1. A site plan shall be provided.
2. A photometric plan shall be provided if new light fixtures are being installed in the parking lot.
3. The proposed free-standing sign shall be modified to meet the Village's sign height requirements.
4. The landscaping plan shall include landscaping around the base of the sign pursuant to the Downers Grove sign ordinance.

Village staff anticipates Village Council consideration of the OASIS Grant will take place on **July 19, 2011**. Please note, pursuant to the State of Illinois Labor Laws, the project must use prevailing wage labor.

Please contact me if you have any comments or questions. I can be reached at 630.434.5520 or jobrien@downers.us.

Sincerely,
The OASIS Team

Jeff O'Brien, AICP
Planning Manager
Village of Downers Grove

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING EXECUTION OF A GRANT
AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE
AND ANTHONY ZANGLER**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois,
as follows:

1. That the form and substance of a certain Grant Agreement (the "Agreement"), between the Village of Downers Grove (the "Village") and Anthony Zangler (the "Applicant"), for OASIS Program grant funding, in the amount of \$10,000.00, to make improvements to the property/business located at 1614 Ogden Avenue, which is along the Ogden Avenue commercial corridor, as set forth in the form of the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provisions of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____

Village Clerk

OASIS GRANT AGREEMENT

THIS AGREEMENT is made this ____ day of _____, 2011 by and between the Village of Downers Grove, Illinois, an Illinois municipal corporation with offices at 801 Burlington Avenue, Downers Grove, Illinois 60515, (“the Village”) and Anthony Zangler at 1614 Ogden Avenue, Downers Grove, Illinois 60515 (“Applicant”).

WITNESSETH:

WHEREAS, the Village has established the Ogden Avenue Site Improvement Strategy Program (“OASIS Program”) for application to receive a grant from the Village to make improvements to properties/businesses along the Ogden Avenue commercial corridor; and,

WHEREAS, said Program is funded from TIF funds for the purpose of controlling and preventing blight and deterioration within the Ogden Avenue Tax Increment Finance District (“TIF District”), and to encourage the further redevelopment of properties in the TIF District in accordance with the general guidelines set forth in the Program as adopted in Ordinance 5150 on September 14, 2010; and,

WHEREAS, Applicant owns a property/business at 1614 Ogden Avenue, Downers Grove, Illinois 09-06-302-007 which is located within the TIF District; and

WHEREAS, pursuant to the Program the Village has agreed to financially participate, subject to its sole discretion, the Program Guidelines, and the terms and conditions set forth in this Agreement; and,

WHEREAS, the Applicant desires to participate in the Program, subject to the Program Guidelines and the terms and conditions set forth in this Agreement;

NOW THEREFORE, in consideration of the mutual covenants and agreement herein set forth, and other good and valuable consideration, the Parties do hereby agree as follows:

A. General Provisions:

1. The above recitals are incorporated into and made part of this Agreement as though fully set forth herein.
2. This Agreement may not be transferred or assigned.
3. This Agreement may be terminated by either party by giving ten (10) days written notice to the other party. If the Applicant terminates this Agreement, the Village shall not be required to make any reimbursement payments to the Applicant.
4. In the event the Applicant fails to complete the project and submit the required proof of payment documents in the required timeframe, the Village may terminate this Agreement and award the funds to other eligible projects.
5. The parties shall have any and all remedies available at law in the event of a breach of this Agreement.
6. Applicant acknowledges that the Freedom of Information Act may apply to public records in possession of Applicant or a contractor. Applicant and its contractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. 5 ICLS 140/1 et. seq.
7. This Agreement will be governed by and construed in accordance with the laws of the State of Illinois. Venue is proper only in the County of DuPage.

8. This Agreement will not be subject to amendment unless made in writing and signed by all parties.
9. Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to designated representatives of both parties as follows:

**Village Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515**

To the Applicant as stated below.

B. Applicant's Obligations:

1. Applicant shall complete the project in substantial compliance with the attached plans, incorporated as part of this Agreement as Exhibit A. Any changes to the plans shall require written approval from the Community Development Director, or his designee.
2. Applicant shall grant an easement to the Village for, or install, a public sidewalk along that portion of the subject property adjacent to Ogden Avenue where no public sidewalk currently exists.
3. Applicant, at its own expense, shall obtain all necessary permits prior to commencement of any work to complete the improvements.
4. Applicant shall submit the following required proof of payment documents:
 - a. Itemized paid-in-full invoices.
 - b. Canceled checks for the payment for the completed improvements.
 - c. Final lien waivers, if applicable.
 - d. Certified payroll records of contractors.
5. Applicant understands that it will not receive payment if there are any outstanding code violations on the property or if Applicant owes any money to the Village.
6. Applicant shall complete the project and submit the required proof of payment documents within one (1) year of the effective date of this Agreement. If the project is not completed or if the required proof of payment documents are not submitted within one (1) year, the Village shall have the right to declare this Agreement null and void and shall not be required to make any reimbursement payments to the Applicant.
7. Applicant shall complete the project in such a manner as to comply with all conditions of this Agreement, and in accordance with the Program Guidelines and all pertinent regulations, ordinances, or codes of the Village or other authority having jurisdiction over the property.
8. Applicant is hereby notified by the Village that work contemplated by this Agreement may be subject to the Prevailing Wage Act ("Act"), 820 ILCS 130/1 *et seq.* Applicant agrees to comply with all applicable provisions of the Act as administered by the Illinois Department of Labor ("IDOL"). Applicant further agrees to contact IDOL for a determination of applicability of the Act to the project contemplated by this Agreement. If required by IDOL, Applicant agrees to pay the prevailing wage rates and to require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work on the projects contemplated by this Agreement. For applicable rates, go to the State of Illinois – Department of Labor website and use the most current DuPage county rate. Applicant recognizes and agrees that it is solely responsible for compliance with the Act and agrees to fully indemnify, defend and hold harmless the Village with regard to any actions or proceeding instituted regarding such compliance.

9. Applicant shall be required to submit an executed Campaign Disclosure Certificate, attached hereto as Exhibit B.

C. Village's Obligations:

1. The Village shall reimburse the Applicant for one-half (1/2) of the actual incurred costs to complete all eligible aspects of the project. The amount of said reimbursement shall not exceed \$10,000.
2. The Village shall remit payment to the Applicant within sixty (60) days of completion of the project and receipt of the required proof of payment documents.
3. The Village shall diligently review permit submittals, issue permits and complete required inspections deemed necessary to complete the project.

IN WITNESS HEREOF, the parties set their hand and seal the day and date hereinabove written.

APPLICANT:

Anthony Zangler
946 Ogden Avenue #3
Downers Grove, IL

VILLAGE OF DOWNERS GROVE:

By:

Signature

Village Manager

Print Name

Attest:

Title

Village Clerk

Application

A printable version of the Ogden Avenue Site Improvement Reimbursement Grant Application is available on-line at www.downers.us or www.dgedc.com. A paper copy of the application is available on the next page. Three (3) copies of the complete application, including any support documentation are due by the application deadline(s).

Applicant is:	<input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Owner
Name of Business/Building:	1614 OGDEN APT. BUILDING
Address/Property ID # of Project Property:	1614 OGDEN
Owner's Name AND TITLE:	ANTHONY ZANGLER
Owner's Mailing Address:	946 OGDEN, #3, D.G., IL 60515
Owner's Business Phone:	630-769-0800
Owner's Fax:	630-852-5637
Owner's E-Mail:	tony@realtproperties

PLEASE ONLY COMPLETE THE REST OF THIS TABLE IF TENANT IS THE GRANT APPLICANT.

Tenant Name AND TITLE:	
Tenant Mailing Address:	
Business Phone for Tenant:	
E-Mail for Tenant:	

Project Information

Project Description:

Existing Site Conditions:

Please provide a photo of current site conditions to illustrate where improvements are proposed. Photo should be provided in a paper or digital (e.g. JPEG) format. Electronic photos may be e-mailed to: jobrien@downers.us.

Written Project Description:

Please describe your proposed project improvement. Attach pages as needed.

SEE ATTACHMENT

Required Documentation For Submittal:

3 copies of the complete application, including any support documentation are due by **December 1, 2010**. Additional copies may be requested by OASIS team after the application deadline.

1. If you are proposing an alteration to a building the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Façade elevations (as determined necessary at pre-application meeting*), including height, length and width measurements
- Color scheme of the proposed addition or alteration
- Building material samples (roof, siding, chimneys, etc.) if applicable
- Site plan with building outline and proposed changes
- Cut sheets for proposed doors and windows, if applicable

If you have questions about this, please contact the Community Development Department. Specific questions about submittal requirements will be answered during the pre-application meeting.

2. If you are proposing landscape/or other site improvements the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Site plan with building outline and proposed changes to site
- Landscape plan, if applicable (e.g. access, driveway consolidation, etc)

3. If you are proposing a new sign/awning/canopy the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page:

- Color drawing of the sign/awning including measurements of free-standing sign and site plan showing sign location on a site
- Façade elevation showing sign/awning placement, if plan applicable

Schedule Information:

Anticipated Project Start Date: 9/1/2011

Anticipate Project Completion Date: 12/11/2011

NOTE: Completion Date must be prior within one year of the year following application.

Architect / Designer for the Project (If Applicable):

Name: Bassford & Kent, Inc
 Address: 807 Ogden Ave, Downers Grove IL 60515
 Phone: (630) 969-8585 Fax: (630) 969-8621

Contractor for the Project (If Known):

Name: Bassford & Kent, Inc
 Address: 807 Ogden Ave, Downers Grove IL 60515
 Phone: (630) 969-8585 Fax: 969 8621

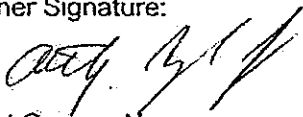
Itemized Activity Estimated

	Total Site Improvement Costs	Grant Eligible Project Costs*	TO BE COMPLETED BY CITY	
			Grant Contribution	Bonus Award
ESTIMATE 1 Contractor Name: <u>Bassford & Kent, Inc</u>	<u>44,376</u>	<u>10,000</u>		
ESTIMATE 2 Contractor Name:				

Two detailed contractor estimates are required. Please provide additional sheets with supporting detail as necessary.

This application for a Site Improvement Reimbursement Grant is hereby believed to be complete and accurate.

Owner Signature:



Print Owners Name:

Tenant Signature:

Print Tenant Name:

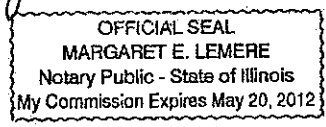
NOTE: Tenant Signature only necessary if Tenant is applying for a Grant

STATE OF ILLINOIS
COUNTY OF DUPAGE
VILLAGE OF DOWNERS GROVE

The foregoing petition was acknowledged before me by on this 27th day of April, 20 11.

Notary Public: Margaret E. Lemere

Notary Public



3 Copies of the completed application should be submitted to the Village's Community Development Department.

Applications may be dropped off at the Village Hall from 8:00 am and 5:00 pm Monday – Friday, or mailed to:

Village of Downers Grove
ATTN: Community Development Department
801 Burlington Avenue
Downers Grove, IL 60515

Disclosure of Beneficiaries/Trust Disclosure:

The information requested below must be completed and attached to any grant application submitted to the Village of Downers Grove. This form is used to ensure that the applicant has a recognized, vested interest in the property. This form is required by persons applying for permits, licenses, approvals or benefits from the Village of Downers Grove
Village of Downers Grove

DISCLOSURE OF BENEFICIARIES

1. Grant Applicant: Anthony Zaccaro, Jr
2. Address: 946 Osborn Hill, Downers Grove, IL 60515
3. Nature of Applicant (Please circle one):
 - a. Natural Person
 - b. Corporation
 - c. Land Trust/ Trustee
 - d. Trust/Trustee
 - e. Partnership
 - f. Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of applicant:

5. If in your answer to Section 3 you checked box b, c, d, e or f, identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of case of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

- a. _____
- b. _____
- c. _____
- d. _____

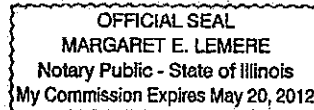
6. Name, address and capacity of person making this disclosure on behalf of the applicant:

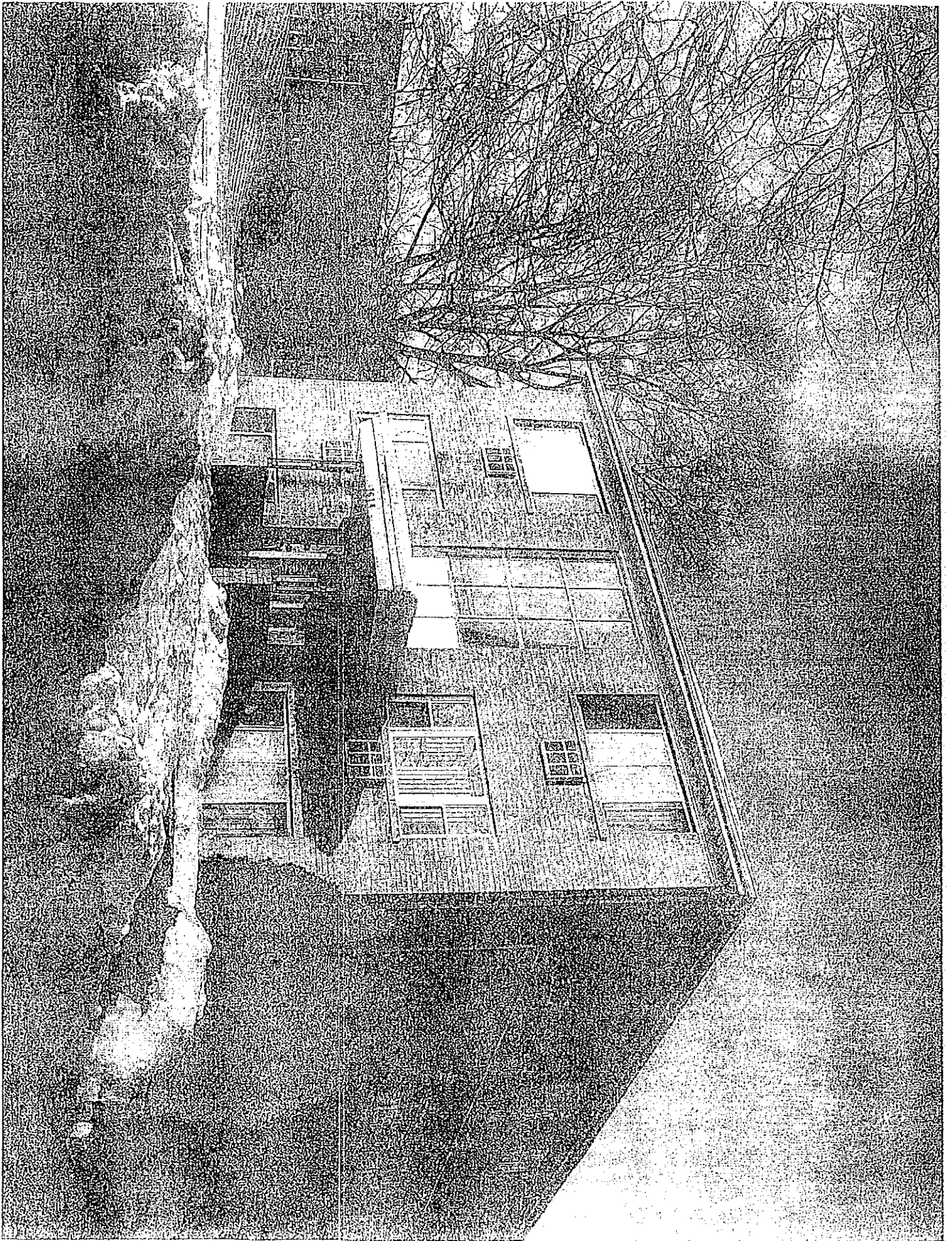
IMPORTANT NOTE: In the event your answer to Section 5 identifies entities other than a natural person, additional disclosures are required for each entity.

VERIFICATION I, Anthony Zaccaro, Jr, being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Signature: Anthony Zaccaro, Jr

Subscribed and Sworn to before me this 27th day of April, 2011.
Margaret E. Lemere Notary Public





-CONFIDENTIAL-

Bradford and Kent

*807 Ogden Ave
Downers Grove, Il 60515
630-969-8585*

Estimate for:
1614 Ogden Ave
Apt. Building
Downers Grove, Illinois 60515

Bradford and Kent Representative

Buyer _____
Co Buyer _____

-CONFIDENTIAL-

Bradford & Kent Builders, Inc. to perform the following work: facade renovation, site improvements,

1. – Façade Renovation: \$44,376 (See attached drawing)

- Remove existing window systems on all elevations and replace with Pella vinyl windows. Remove front door system and replace with new TBD door system.
- Demo exterior entry and rebuild arched entry supported by round 12" columns.
- Furnish and install new cultured stone façade over existing brick at bottom 6' of building extending the entire 32' length. Cap with limestone sill. Rebuild front column support walls and finish with cultured stone and limestone cap.

Bradford and Kent Representative

Buyer _____
Co Buyer _____

Mark B. Construction, Inc.

DOCUMENT TYPE:

332 Cheerywood Road, Buffalo Grove, IL: 60089
 Phone 847-302-0541 Fax 847-520-1312
 markbuzun@yahoo.com

DATE: 4/30/11

TO Name: Anthony Zanglar
 Address: 946 Ogden Ave
 Phone: 630.769.0800

JOB	PAYMENT TERMS	DUE DATE
1614 Ogden Page 1 of 2		

DESCRIPTION	UNIT PRICE	TOTAL
Fascade Construction		
A) Entry		
demo existing entry		
stone wing wall		
12" prefinished columns		
barrell roof		
Aluminum trim underside		
B) Stone		
add 6' x 32' stone face over existing brick with stone cap		
Allowance for stone material is \$15/SF		
CHECK #	TOTAL	See page 2
CASH	DEPOSIT	
DATE	BALANCE DUE	

Make all checks payable to Mark B. Construction, Inc.
 THANK YOU FOR YOUR BUSINESS!

Mark B. Construction, Inc.

DOCUMENT TYPE: /

332 Cheerywood Road, Buffalo Grove, IL: 60089
 Phone 847-302-0541 Fax 847-520-1312
 markbuzun@yahoo.com

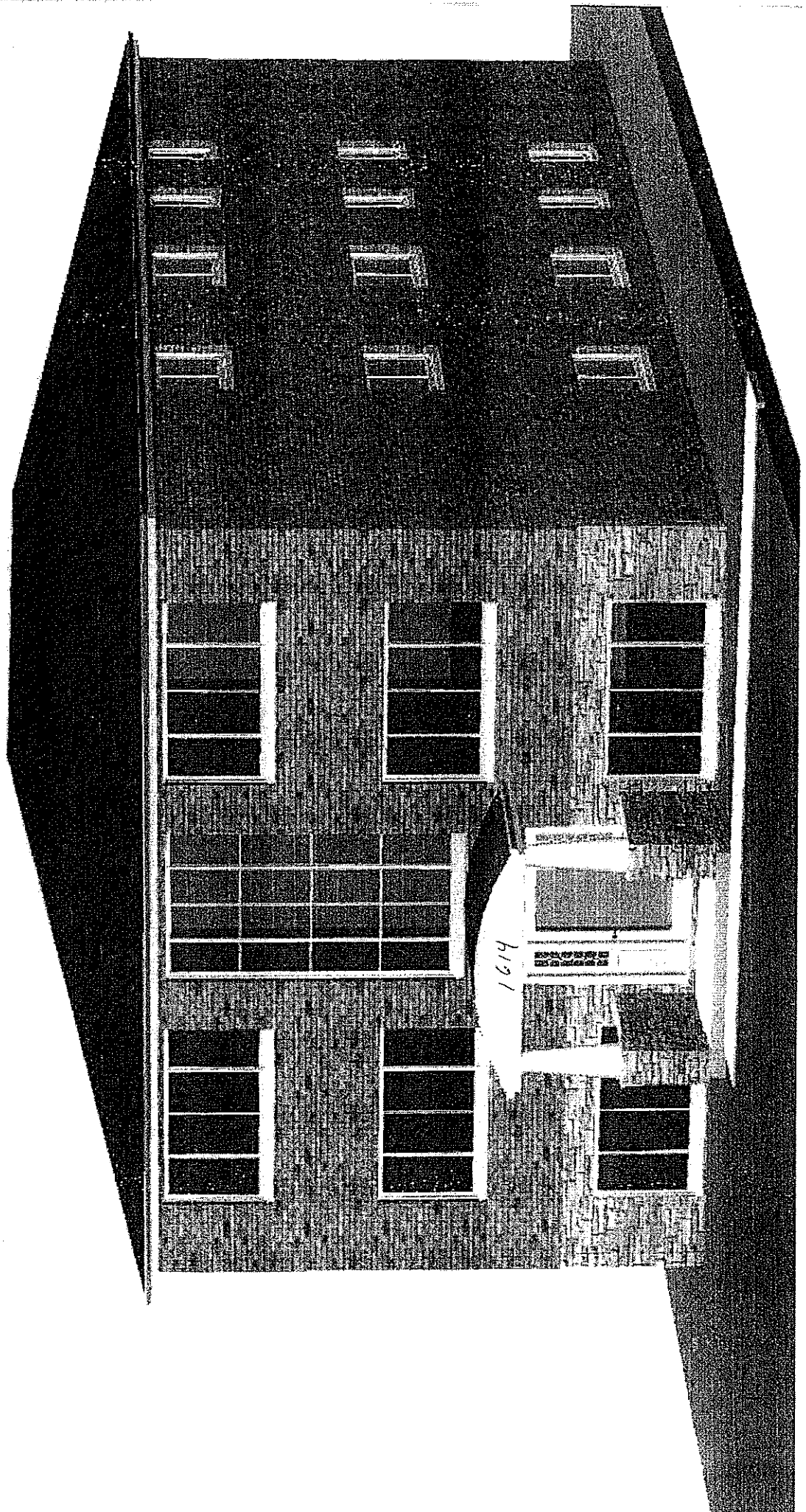
DATE: 4/30/11

TO Name: Anthony Zanglar
 Address: 846 Ogden Ave
 Phone: 630.769.0800

JOB	PAYMENT TERMS	DUE DATE
1614 Ogden Page 2		

DESCRIPTION	UNIT PRICE	TOTAL
C) Replacement of Windows		
Replace with Alside Swing and Clean Silding Windows		
D) Door		
Replacement of Front Entry Door		
\$2000 allowance for door		
All permits as required are included		
CHECK #	TOTAL	\$48,500
CASH	DEPOSIT	
DATE	BALANCE DUE	

Make all checks payable to Mark B. Construction, Inc.
 THANK YOU FOR YOUR BUSINESS!



1614

Exhibit B
Campaign Disclosure Certificate

The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity that is a party to a contract with the Village to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the contract.

By signing the contract, Applicant agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

- Applicant has not contributed to any elected Village position within the last five (5) years.

Signature

Print Name

- Applicant has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

Name of Contributor: _____
(company or individual)

To whom contribution was made: _____

Year contribution made: _____ Amount: \$ _____

Signature

Print Name

OASIS Grant
Site G: 1614 Ogden Ave (Apartment Building)





www.downers.us

June 15, 2011

Anthony Zangler
946 Ogden Avenue #3
Downers Grove, IL 60515

Re: OASIS Grant for 1614 Ogden Avenue

**COMMUNITY RESPONSE
CENTER**

630.434.CALL (2255)

CIVIC CENTER

801 Burlington Avenue
Downers Grove
Illinois 60515-4782
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

**FIRE DEPARTMENT
ADMINISTRATION**

5420 Main Street
Downers Grove
Illinois 60515-4834
630.434.5980
FAX 630.434.5998

POLICE DEPARTMENT

825 Burlington Avenue
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

**PUBLIC WORKS
DEPARTMENT**

5101 Walnut Avenue
Downers Grove
Illinois 60515-4046
630.434.5460
FAX 630.434.5495

Dear Mr. Zangler:

Thank you for your interest in the Ogden Avenue Site Improvement Strategy (OASIS) Program. The OASIS Team met on May 10, 2011 to review your application for a matching grant for façade renovation, site, landscaping and sign improvements at the above-mentioned property.

The OASIS Team is pleased to inform you that the request is being recommended for funding. The OASIS Team is recommending a grant in the amount of \$10,000 based on the quotes provided.

The recommendation contains the following conditions:

1. A site plan shall be provided.
2. Details and cut sheets for the proposed windows shall be provided.

Village staff anticipates Village Council consideration of the OASIS Grant will take place on **July 19, 2011**. Please note, pursuant to the State of Illinois Labor Laws, the project must use prevailing wage labor.

Please contact me if you have any comments or questions. I can be reached at 630.434.5520 or jobrien@downers.us.

Sincerely,
The OASIS Team

Jeff O'Brien, AICP
Planning Manager
Village of Downers Grove

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING EXECUTION OF A GRANT
AGREEMENT BETWEEN THE VILLAGE OF DOWNERS GROVE
AND ANTHONY ZANGLER**

BE IT RESOLVED by the Village Council of the Village of Downers Grove, DuPage County, Illinois,
as follows:

1. That the form and substance of a certain Grant Agreement (the "Agreement"), between the Village of Downers Grove (the "Village") and Anthony Zangler (the "Applicant"), for OASIS Program grant funding, in the amount of \$10,000.00, to make improvements to the property/business located at 1602 Ogden Avenue, which is along the Ogden Avenue commercial corridor, as set forth in the form of the Agreement submitted to this meeting with the recommendation of the Village Manager, is hereby approved.

2. That the Village Manager and Village Clerk are hereby respectively authorized and directed for and on behalf of the Village to execute, attest, seal and deliver the Agreement, substantially in the form approved in the foregoing paragraph of this Resolution, together with such changes as the Manager shall deem necessary.

3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Agreement.

4. That all resolutions or parts of resolutions in conflict with the provisions of this Resolution are hereby repealed.

5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

Mayor

Passed:

Attest: _____

Village Clerk

OASIS GRANT AGREEMENT

THIS AGREEMENT is made this ____ day of _____, 2011 by and between the Village of Downers Grove, Illinois, an Illinois municipal corporation with offices at 801 Burlington Avenue, Downers Grove, Illinois 60515, (“the Village”) and Anthony Zangler at 1602 Ogden Avenue, Downers Grove, Illinois 60515 (“Applicant”).

WITNESSETH:

WHEREAS, the Village has established the Ogden Avenue Site Improvement Strategy Program (“OASIS Program”) for application to receive a grant from the Village to make improvements to properties/businesses along the Ogden Avenue commercial corridor; and,

WHEREAS, said Program is funded from TIF funds for the purpose of controlling and preventing blight and deterioration within the Ogden Avenue Tax Increment Finance District (“TIF District”), and to encourage the further redevelopment of properties in the TIF District in accordance with the general guidelines set forth in the Program as adopted in Ordinance 5150 on September 14, 2010; and,

WHEREAS, Applicant owns a property/business at 1602 Ogden Avenue, Downers Grove, Illinois 09-06-302-009 which is located within the TIF District; and

WHEREAS, pursuant to the Program the Village has agreed to financially participate, subject to its sole discretion, the Program Guidelines, and the terms and conditions set forth in this Agreement; and,

WHEREAS, the Applicant desires to participate in the Program, subject to the Program Guidelines and the terms and conditions set forth in this Agreement;

NOW THEREFORE, in consideration of the mutual covenants and agreement herein set forth, and other good and valuable consideration, the Parties do hereby agree as follows:

A. General Provisions:

1. The above recitals are incorporated into and made part of this Agreement as though fully set forth herein.
2. This Agreement may not be transferred or assigned.
3. This Agreement may be terminated by either party by giving ten (10) days written notice to the other party. If the Applicant terminates this Agreement, the Village shall not be required to make any reimbursement payments to the Applicant.
4. In the event the Applicant fails to complete the project and submit the required proof of payment documents in the required timeframe, the Village may terminate this Agreement and award the funds to other eligible projects.
5. The parties shall have any and all remedies available at law in the event of a breach of this Agreement.
6. Applicant acknowledges that the Freedom of Information Act may apply to public records in possession of Applicant or a contractor. Applicant and its contractors shall cooperate with the Village in its efforts to comply with the Freedom of Information Act. 5 ICLS 140/1 et. seq.
7. This Agreement will be governed by and construed in accordance with the laws of the State of Illinois. Venue is proper only in the County of DuPage.

8. This Agreement will not be subject to amendment unless made in writing and signed by all parties.
9. Any notice will be in writing and will be deemed to be effectively served when deposited in the mail with sufficient first class postage affixed, and addressed to the party at the party's place of business. Notices shall be addressed to designated representatives of both parties as follows:

**Village Manager
Village of Downers Grove
801 Burlington Ave.
Downers Grove, IL 60515**

To the Applicant as stated below.

B. Applicant's Obligations:

1. Applicant shall complete the project in substantial compliance with the attached plans, incorporated as part of this Agreement as Exhibit A. Any changes to the plans shall require written approval from the Community Development Director, or his designee.
2. Applicant shall grant an easement to the Village for, or install, a public sidewalk along that portion of the subject property adjacent to Ogden Avenue where no public sidewalk currently exists.
3. Applicant, at its own expense, shall obtain all necessary permits prior to commencement of any work to complete the improvements.
4. Applicant shall submit the following required proof of payment documents:
 - a. Itemized paid-in-full invoices.
 - b. Canceled checks for the payment for the completed improvements.
 - c. Final lien waivers, if applicable.
 - d. Certified payroll records of contractors.
5. Applicant understands that it will not receive payment if there are any outstanding code violations on the property or if Applicant owes any money to the Village.
6. Applicant shall complete the project and submit the required proof of payment documents within one (1) year of the effective date of this Agreement. If the project is not completed or if the required proof of payment documents are not submitted within one (1) year, the Village shall have the right to declare this Agreement null and void and shall not be required to make any reimbursement payments to the Applicant.
7. Applicant shall complete the project in such a manner as to comply with all conditions of this Agreement, and in accordance with the Program Guidelines and all pertinent regulations, ordinances, or codes of the Village or other authority having jurisdiction over the property.
8. Applicant is hereby notified by the Village that work contemplated by this Agreement may be subject to the Prevailing Wage Act ("Act"), 820 ILCS 130/1 *et seq.* Applicant agrees to comply with all applicable provisions of the Act as administered by the Illinois Department of Labor ("IDOL"). Applicant further agrees to contact IDOL for a determination of applicability of the Act to the project contemplated by this Agreement. If required by IDOL, Applicant agrees to pay the prevailing wage rates and to require that all of its subcontractors pay prevailing wage to any laborers, workers or mechanics who perform work on the projects contemplated by this Agreement. For applicable rates, go to the State of Illinois – Department of Labor website and use the most current DuPage county rate. Applicant recognizes and agrees that it is solely responsible for compliance with the Act and agrees to fully indemnify, defend and hold harmless the Village with regard to any actions or proceeding instituted regarding such compliance.

9. Applicant shall be required to submit an executed Campaign Disclosure Certificate, attached hereto as Exhibit B.

C. Village's Obligations:

1. The Village shall reimburse the Applicant for one-half (1/2) of the actual incurred costs to complete all eligible aspects of the project. The amount of said reimbursement shall not exceed \$10,000.
2. The Village shall remit payment to the Applicant within sixty (60) days of completion of the project and receipt of the required proof of payment documents.
3. The Village shall diligently review permit submittals, issue permits and complete required inspections deemed necessary to complete the project.

IN WITNESS HEREOF, the parties set their hand and seal the day and date hereinabove written.

APPLICANT:

Anthony Zangler
946 Ogden Avenue #3
Downers Grove, IL

VILLAGE OF DOWNERS GROVE:

By:

Signature

Village Manager

Print Name

Attest:

Title

Village Clerk

Application

A printable version of the Ogden Avenue Site Improvement Reimbursement Grant Application is available on-line at www.downers.us or www.dgedc.com. A paper copy of the application is available on the next page. Three (3) copies of the complete application, including any support documentation are due by the application deadline(s).

Applicant is:	<input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Owner
Name of Business/Building:	1602 OGDEN APT. BUILDING
Address/Property ID # of Project Property:	1602 OGDEN
Owner's Name AND TITLE:	ANTHONY ZANGLER
Owner's Mailing Address:	946 OGDEN, #3, D.G., IL, 60515
Owner's Business Phone:	630-769-0800
Owner's Fax:	630-852-5637
Owner's E-Mail:	tony@realproperties
PLEASE ONLY COMPLETE THE REST OF THIS TABLE IF TENANT IS THE GRANT APPLICANT.	
Tenant Name AND TITLE:	
Tenant Mailing Address:	
Business Phone for Tenant:	
E-Mail for Tenant:	

Project Information

Project Description:

Existing Site Conditions:

Please provide a photo of current site conditions to illustrate where improvements are proposed. Photo should be provided in a paper or digital (e.g. JPEG) format. Electronic photos may be e-mailed to: jobrien@downers.us.

Written Project Description:

Please describe your proposed project improvement. Attach pages as needed.

SEE ATTACHMENT

Required Documentation For Submittal:

3 copies of the complete application, including any support documentation are due by **December 1, 2010**. Additional copies may be requested by OASIS team after the application deadline.

1. If you are proposing an alteration to a building the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Façade elevations (as determined necessary at pre-application meeting*), including height, length and width measurements
- Color scheme of the proposed addition or alteration
- Building material samples (roof, siding, chimneys, etc.) if applicable
- Site plan with building outline and proposed changes
- Cut sheets for proposed doors and windows, if applicable

If you have questions about this, please contact the Community Development Department. Specific questions about submittal requirements will be answered during the pre-application meeting.

2. If you are proposing landscape/or other site improvements the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page. Please submit legible documents, not to exceed 11" x 17" in size.

- Site plan with building outline and proposed changes to site
- Landscape plan, if applicable (e.g. access, driveway consolidation, etc)

3. If you are proposing a new sign/awning/canopy the following documents must be submitted (collated and stapled into packets) with the applicants name and address on the front page:

- Color drawing of the sign/awning including measurements of free-standing sign and site plan showing sign location on a site
- Façade elevation showing sign/awning placement, if plan applicable

Schedule Information:

Anticipated Project Start Date: 9/1/2011

Anticipate Project Completion Date: 12/11/2011

NOTE: Completion Date must be prior within one year of the year following application.

Architect / Designer for the Project (If Applicable):

Name: BRADFORD & KEV, INC

Address: 807 OGAEN AVE, Downers Grove IL 60515

Phone: (630) 969-8585 Fax: (630) 969-8621

Contractor for the Project (If Known):

Name: BRADFORD & KEV, INC

Address: 807 OGAEN AVE, Downers Grove IL 60515

Phone: (630) 969-8585 Fax: 969 8621

Itemized Activity Estimated

	Total Site Improvement Costs	Grant Eligible Project Costs*	TO BE COMPLETED BY CITY	
			Grant Contribution	Bonus Award
ESTIMATE 1 Contractor Name: <u>BRADFORD + KEV, INC</u>	\$ <u>30,995</u>	\$ <u>10,000</u>		
ESTIMATE 2 Contractor Name:				

Two detailed contractor estimates are required. Please provide additional sheets with supporting detail as necessary.

This application for a Site Improvement Reimbursement Grant is hereby believed to be complete and accurate.

Owner Signature:

Autly Payne

Print Owners Name:

Tenant Signature:

Print Tenant Name:

*NOTE: Tenant Signature only necessary if
Tenant is applying for a Grant*

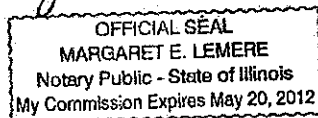
STATE OF ILLINOIS
COUNTY OF DUPAGE
VILLAGE OF DOWNERS GROVE

The foregoing petition was acknowledged before me by on this 27th day of April, 2011.

Notary Public:

Margaret E. Lemere

Notary Public



3 Copies of the completed application should be submitted to the Village's Community Development Department.

Applications may be dropped off at the Village Hall from 8:00 am and 5:00 pm Monday – Friday, or mailed to:

Village of Downers Grove
ATTN: Community Development Department
801 Burlington Avenue
Downers Grove, IL 60515

Disclosure of Beneficiaries/Trust Disclosure:

The information requested below must be completed and attached to any grant application submitted to the Village of Downers Grove. This form is used to ensure that the applicant has a recognized, vested interest in the property. This form is required by persons applying for permits, licenses, approvals or benefits from the Village of Downers Grove
Village of Downers Grove

DISCLOSURE OF BENEFICIARIES

1. Grant Applicant: Anthony Zarnoch, Jr
2. Address: 946 Ogden Ave, Downers Grove, IL 60111
3. Nature of Applicant (Please circle one):
 - a. Natural Person
 - b. Corporation
 - c. Land Trust/ Trustee
 - d. Trust/Trustee
 - e. Partnership
 - f. Joint Venture

4. If applicant is an entity other than described in Section 3, briefly state the nature and characteristics of applicant:

5. If in your answer to Section 3 you checked box b, c, d, e or f, identify by name and address each person or entity which is a 5% shareholder in the case of a corporation, a beneficiary in the case of a trust or land trust, a joint venture in the case of case of a joint venture, or who otherwise has a proprietary interest, interest in profits and losses or right to control such entity:

- a. _____
- b. _____
- c. _____
- d. _____

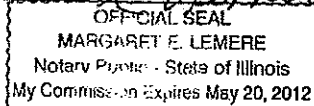
6. Name, address and capacity of person making this disclosure on behalf of the applicant:

IMPORTANT NOTE: In the event your answer to Section 5 identifies entities other than a natural person, additional disclosures are required for each entity.

VERIFICATION I, Anthony Zarnoch, Jr, being first duly sworn under oath, depose and state that I am the person making this disclosure on behalf of the applicant, that I am duly authorized to make this disclosure, that I have read the above and foregoing Disclosure of Beneficiaries, and that the statements contained therein are true in both substance and fact.

Signature: Anthony Zarnoch, Jr

Subscribed and Sworn to before me this 27th day of April, 20 11.
Margaret E. Lemere Notary Public



-CONFIDENTIAL-

Bradford and Kent
807 Ogden Ave
Downers Grove, Il 60515
630-969-8585

Estimate for:
1602 Ogden Ave
Apt. Building
Downers Grove, Illinois 60515

Bradford and Kent Representative

Buyer _____
Co Buyer _____

-CONFIDENTIAL-

Bradford & Kent Builders, Inc. to perform the following work: facade renovation, site improvements,

1. - Façade Renovation: \$30,995 (See attached drawing)

- Demo exterior entry and rebuild arched entry supported by round 12" columns.
- Furnish and install new cultured stone façade over existing brick at bottom 6' of building extending the entire 32' length. Cap with limestone sill. Rebuild front column support walls and finish with cultured stone and limestone cap.

Bradford and Kent Representative

Buyer _____
Co Buyer _____

Mark B. Construction, Inc.

DOCUMENT TYPE:

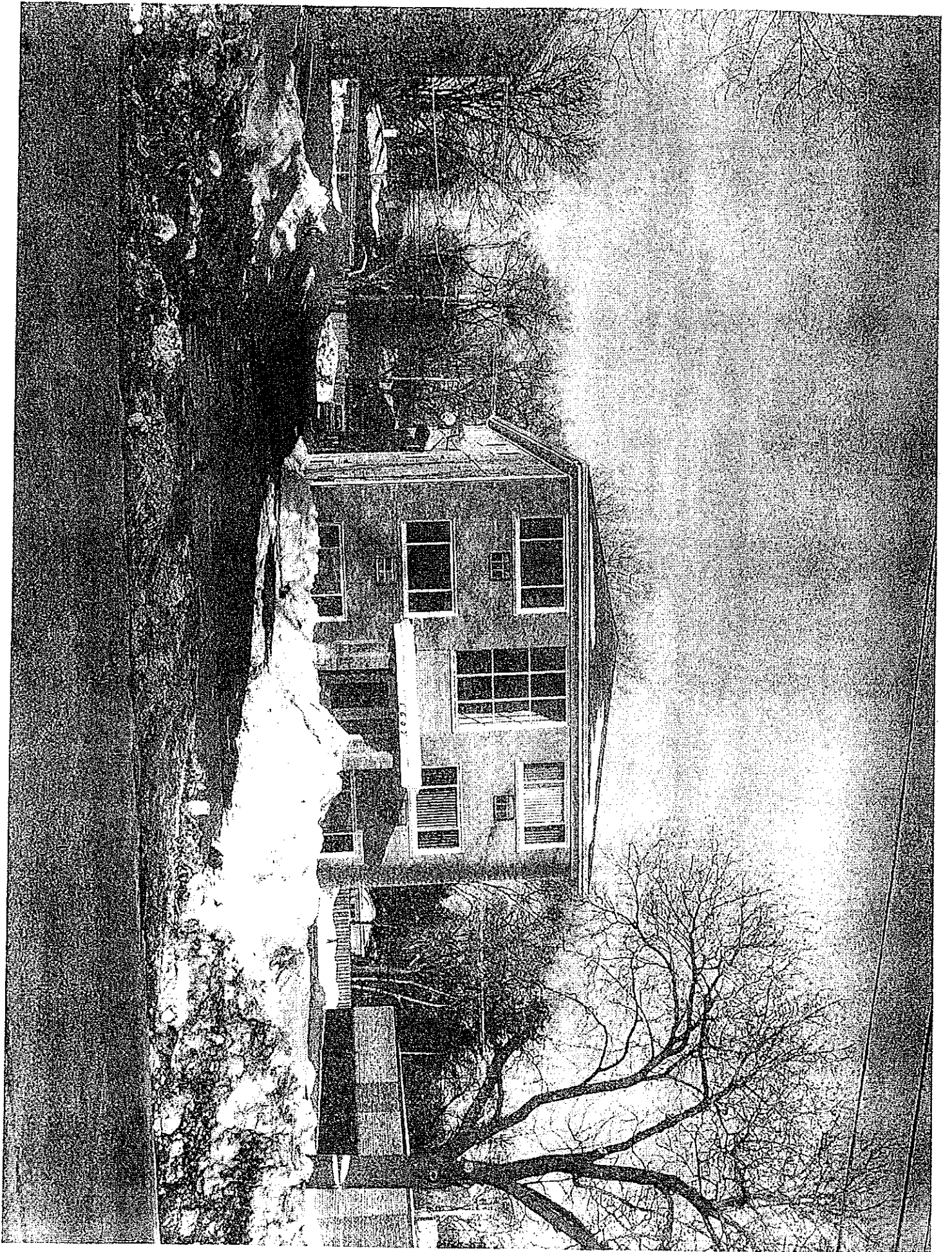
332 Chaerywood Road, Buffalo Grove, IL: 60089
 Phone 847-302-0541 Fax 847-520-1312
 markbuzun@yahoo.com

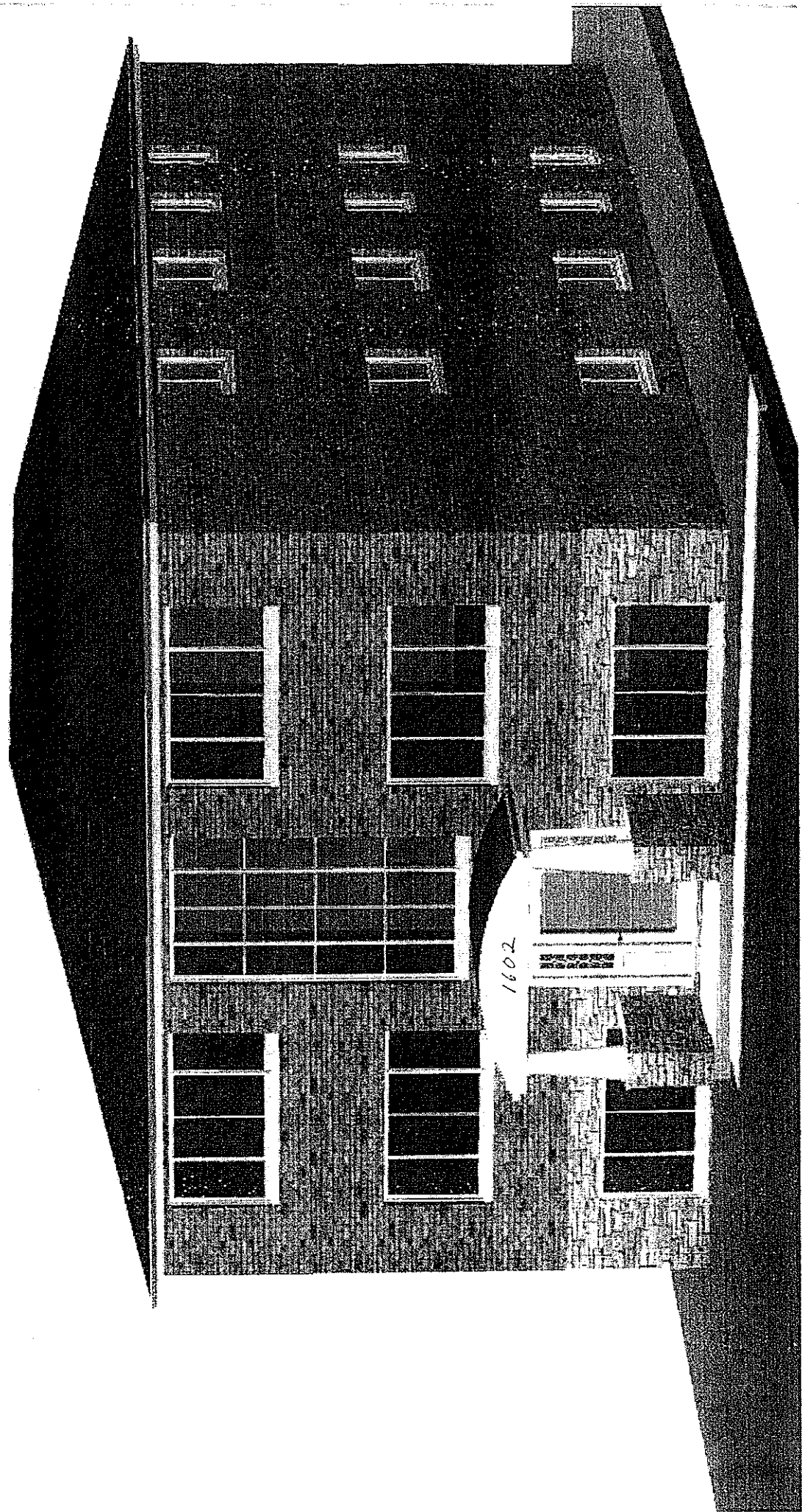
DATE.. 4/30/11

TO Name: Anthony Zengler
 Address: 945 Ogden Ave.
 Phone: 830.789.0900

JOB	PAYMENT TERMS	DUE DATE	
1602 Ogden			
DESCRIPTION		UNIT PRICE	TOTAL
Fascade Construction			
A) Entry			
demo existing entry			
stone wing wall			
12" prefinished columns			
barrell roof			
Aluminum trim underside			
B) Stone			
add 6' x 32' stone face over existing brick with stone cap			
Allowance for stone material is 15\$/SF			
All permits as required are included			
CHECK #		TOTAL	\$33,612
CASH		DEPOSIT	
DATE		BALANCE DUE	

Make all checks payable to Mark B. Construction, Inc.
 THANK YOU FOR YOUR BUSINESS!





1602

Exhibit B
Campaign Disclosure Certificate

The Campaign Disclosure Certificate is required pursuant to the Village of Downers Grove Council Policy on Ethical Standards and is applicable to those campaign contributions made to any member of the Village Council.

Said Campaign Disclosure Certificate requires any individual or entity that is a party to a contract with the Village to disclose campaign contributions, as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4), made to current members of the Village Council within the five (5) year period preceding the date of the contract.

By signing the contract, Applicant agrees to refrain from making any campaign contributions as defined in Section 9-1.4 of the Election Code (10 ILCS 5/9-1.4) to any Village Council member and any challengers seeking to serve as a member of the Downers Grove Village Council.

Under penalty of perjury, I declare:

- Applicant has not contributed to any elected Village position within the last five (5) years.

Signature

Print Name

- Applicant has contributed a campaign contribution to a current member of the Village Council within the last five (5) years.

Print the following information:

Name of Contributor: _____
(company or individual)

To whom contribution was made: _____

Year contribution made: _____ Amount: \$ _____

Signature

Print Name

OASIS Grant
Site H: 1602 Ogden Ave (Apartment Building)





www.downers.us

June 15, 2011

Anthony Zangler
946 Ogden Avenue #3
Downers Grove, IL 60515

Re: OASIS Grant for 1602 Ogden Avenue

**COMMUNITY RESPONSE
CENTER**

630.434.CALL (2255)

CIVIC CENTER

801 Burlington Avenue
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FAX 630.434.5690

**PUBLIC WORKS
DEPARTMENT**

5101 Walnut Avenue
Downers Grove
Illinois 60515-4046
630.434.5460
FAX 630.434.5495

Dear Mr. Zangler:

Thank you for your interest in the Ogden Avenue Site Improvement Strategy (OASIS) Program. The OASIS Team met on May 10, 2011 to review your application for a matching grant for façade renovation, site, landscaping and sign improvements at the above-mentioned property.

The OASIS Team is pleased to inform you that the request is being recommended for funding. The OASIS Team is recommending a grant in the amount of \$10,000 based on the quotes provided.

The recommendation contains the following conditions:

1. A site plan shall be provided.
2. Details and cut sheets for the proposed windows shall be provided.

Village staff anticipates Village Council consideration of the OASIS Grant will take place on **July 19, 2011**. Please note, pursuant to the State of Illinois Labor Laws, the project must use prevailing wage labor.

Please contact me if you have any comments or questions. I can be reached at 630.434.5520 or jobrien@downers.us.

Sincerely,
The OASIS Team

Jeff O'Brien, AICP
Planning Manager
Village of Downers Grove



Village of Downers Grove

Official Village Policy Approved by Village Council

Description: **Ogden Avenue Site Improvement Strategy Program**

Res. or Ord. #: **Ord. 5150**

Effective Date: **09/14/10**

Category: **Planning & Community Development**

New Council Policy

Amends Previous Policy Dated: _____

Description of Previous Policy (if different from above):

ORDINANCE NO. 5150

**AN ORDINANCE ADOPTING AN OGDEN AVENUE
SITE IMPROVEMENT STRATEGY PROGRAM**

WHEREAS, the Village has the authority, pursuant to the laws of the State of Illinois, to promote the health, safety, and welfare of the Village and its inhabitants, to prevent the spread of blight, to encourage private development in order to enhance the local tax base, to increase employment, and to enter into contractual agreements with third parties for the purpose of achieving these purposes.

WHEREAS, the Village is authorized under the provisions of the Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4-1, *et seq.*, as amended (the "TIF Act"), to finance redevelopment in accordance with the conditions and requirements set forth in the TIF Act.

WHEREAS, to stimulate and induce redevelopment pursuant to the TIF Act, the Village has, after giving all notices required by law and after conducting all public hearings required by law, adopted the following ordinances:

1. Ordinance No. 4247, adopted February 6, 2001, titled "*An Ordinance Approving the Ogden Avenue Corridor Redevelopment Plan and Project*" (the "Redevelopment Plan");
2. Ordinance No. 4248 adopted February 6, 2001, titled "*An Ordinance Designating the Ogden Avenue Corridor Redevelopment Project Area*";
3. Ordinance No. 4249, adopted February 6, 2001, titled "*An Ordinance Adopting Tax Increment Financing for the Village of Downers Grove*".

WHEREAS, in an effort to promote revitalization of the Ogden Avenue commercial corridor the Village wishes to establish the Ogden Avenue Site Improvement Strategy Program ("OASIS Program");

WHEREAS, the OASIS Program is made available to provide a significant impact on the exterior of properties, thus improving the economic vitality of the Ogden Avenue commercial corridor;

WHEREAS, the goals of the OASIS Program are to provide financial assistance to property and business owners in order to provide more attractive sites, improve traffic circulation for vehicles and pedestrians, improve existing building appearance, and improve signage, in accordance with the Ogden Avenue Commercial Corridor Master Plan and the Village's Strategic Plan;

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, DuPage County, Illinois, as follows:

ELIGIBLE PROJECTS:

A. SITE IMPROVEMENT

1. Lighting Fixtures, Fencing, utility burial

- This includes installation of exterior lighting fixtures which are associated with a building façade or within a parking area. Decorative fencing around parking areas, adjacent properties and refuse screening are also included in this category and sidewalks.
- The burying of overhead power lines, telephone lines or other above-grade utilities.

2. Access Consolidation, Cross Access, or Pedestrian Improvement

- This includes driveway consolidation on Ogden Avenue, cross access between businesses, and installation of pedestrian walkways and sidewalks.

3. Stormwater

- This includes the installation of detention area or best management practices.

B. LANDSCAPE IMPROVEMENT

1. Landscaping

- This includes the installation or replacement of new landscaping and green space to comply with current ordinance requirements.

2. Stormwater

- This includes the installation of detention area or best management practices.

C. FAÇADE IMPROVEMENT

1. Exterior Woodwork and Architectural Materials

- This includes improvement or repair, cleaning, refinishing, restoring, or replacement of exterior woodwork or architectural materials.

2. Masonry

- This includes masonry improvements, repairs, restoration or tuckpointing.

3. Windows and Doors

- This includes the replacement, installation or restoration of windows (including display, ornamental, upper-story and storm windows) and exterior doors.

4. Cornices, Parapets, Awnings, Canopies and Roofs

- This includes the installation or repair of cornices, parapets, awnings, canopies or roofs when part of the facade renovation; or independently, when it is a visible part of the façade from Ogden Avenue or required by Village ordinance to screen rooftop mechanical units and vent stacks.

D. SIGNAGE IMPROVEMENT

1. Signs

This includes the installation or replacement of signs to comply with current Village ordinances.

2. Financial Assistance: Property owners and business owners (“Owners”) located within the Ogden Avenue TIF District may be eligible for a grant award from the Village for up to fifty percent (50%) of the total cost of the work for certain improvements made to their buildings or property in accordance with the following guidelines:

a) Interior Parcels less than 1 acre

Type of Project	Eligible for a Grant Award up to 50% of the Cost of Work (up to the maximum noted herein) The total maximum award shall not exceed \$50,000
Signage Improvement - coordinated for retail center or monument sign	\$2,500 for parcels less than 100 ft. wide; \$5,000 for parcels between 100 ft. and 259 ft. wide; \$7,500 for parcels 260 ft. wide or greater
Wall Signage for Single Tenant (only for business that were in operation before May 2005)	\$3,000
Landscape improvement	\$20,000
Site improvement	\$20,000
Façade improvement	\$10,000

b) Corner Parcels or Parcels Greater than 1 Acre or individual Tenant Spaces in Excess of 5,000 sq. ft.

Type of Project	Eligible for a Grant Award up to 50% of Work (up to the maximum noted herein) The total maximum award shall not exceed \$75,000
Signage Improvement - coordinated for retail center or monument sign	\$7,500
Wall Signage for Single Tenant (only for business that were in operation before May 2005)	\$3,000
Landscape improvement	\$40,000
Site improvement	\$40,000
Façade improvement	\$15,000

c. Conditions:

1. Only exterior improvements to properties and buildings as described above will be eligible for a grant award. Internal elements will not be eligible. Generally, exterior maintenance (e.g.

painting, parking lot resurfacing, seal-coating, replacing dead landscaping, etc.) will not be considered; however, in some cases maintenance may be eligible if it is an essential component of a project and is a permanent improvement to the property (e.g. tuck-pointing, replacing windows and doors).

2. Improvements to buildings, parking lots and uses which do not meet current zoning requirements will not be eligible.
3. Improvements requiring zoning variations may be eligible for project funding; however, no part of the zoning variation process will be funded.
4. A bonus of 25% of the maximum grant award amount for particular project categories may be provided for projects combining multiple categories. For example, a 10,000 square foot tenant on a 1.5-acre lot proposing landscape improvements and façade improvements would be eligible for up to \$68,750 ($\$40,000 \times 1.25 + \$15,000 \times 1.25$) assuming a total project cost of \$137,500.
5. For single tenants in multi-tenant buildings, the maximum grant award for the tenant will be limited by the percentage of space the tenant occupies in the building. For example, if a tenant occupies 25% of a building on a parcel less than 1 acre in size, the maximum façade improvement grant award would be \$2,500.

3. **Sidewalk Easement or Construction Required as a Pre-Condition:**

In order to promote the Ogden Avenue Master Plan, and prior to receipt of any grant award, the applicant must either grant a sidewalk easement approved in a form acceptable to the Village and receive an additional \$1,000 of grant funds and/or install a sidewalk on the property along Ogden Avenue and receive an additional 50% of grant funds for the cost of the installation.

4. **Procedures:**

The OASIS Team will evaluate all submittals. The OASIS Team is comprised of Village staff, Economic Development Corporation representatives and Downers Grove Area Chamber of Commerce and Industry representatives. Only complete applications will be evaluated by the review team. Projects will be evaluated on a qualitative basis and will be evaluated against one another. The intent of the initiative is to encourage comprehensive development in the TIF district. One or more application deadlines will be established by the Village.

1. Pre-Application Meeting (OPTIONAL)

Prior to making a formal application, the prospective applicant is encouraged to meet with the OASIS Team. During this meeting, the prospective applicant is familiarized with the program and the application process. A general discussion of needs and ideas of all parties, design alternatives and general cost parameters will be discussed. An application packet may be obtained at this time, as well as, information about the *Ogden Avenue Master Plan*.

2. Complete and Submit Application

The first round of applications should be completed and submitted to the Community Development Department by an established due date included in the application packet. The OASIS Team will review the application for completeness within 10 working days of application deadline.

3. Approval of Project by the Village

Within 30 days of the application deadline, the OASIS Team will meet to review and rank the complete grant applications against each other in order to establish an order of merit. By ranking projects the OASIS Team will recommend funding of the highest ranked projects first. The OASIS Team will utilize the review criteria included in the application packet to rank applications. Recommendations from the OASIS Team will be forwarded to the Village Manager for consideration. Grant awards recommended by the OASIS Team less than \$15,000 may be authorized by Village Manager; however, grant awards in excess of \$15,000 must be authorized by the Village Council.

4. Execution of the Site Improvement Reimbursement Grant Agreement

In conjunction with the award of the grant, the applicant will be required to enter into a Site Improvement Reimbursement Grant Agreement with the Village specifying the responsibility of the grant recipient. This agreement must be completed prior to the commencement of funded improvements. A typical agreement will reimburse the applicant, up to the agreed upon maximum, with the submittal of cancelled checks and final inspection.

5. Begin Work

After the Site Improvement Reimbursement Grant Agreement has been executed, a "Letter of Approval and Notice to Proceed" will be sent to the applicant from the Community Development Department, including an estimate of the total grant amount the applicant is eligible to receive once work is completed and cancelled checks for said eligible work have been received.

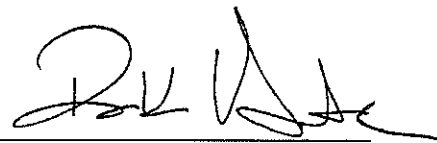
The applicant may begin work once all necessary permits have been issued. Prior to, or during construction, any on-the-job changes to the approved design must be reviewed and approved by the OASIS team and the Community Development Department. If changes involve permit related work, the Community Development department must also review and approve the change.

6. Complete of the Project

Upon completion of the project, the work is to be approved by an inspector(s) in the appropriate departments for compliance with the original design drawings, including any approved on-the-job changes and Village ordinances. In the event the Village finds the finished work product does not meet ordinance requirements or is not consistent with the approved grant application and any approved on-the-job changes, the Village will not be obligated to provide reimbursement for any of the work completed.

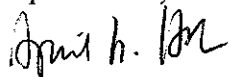
7. Payment of the Grant

Once the grant recipient receives final approval, he/she shall provide a request for reimbursement and all receipts (including copies of cancelled checks) for grant eligible work to the Community Development Department. The Village of Downers Grove will provide reimbursement up to the agreed upon maximum after eligible grant work has been inspected and certified as to its completion and compliance with the approved grant application.



Ronald L. Sandack, Mayor

Passed: September 14, 2010

Attest: 
April K. Holden, Village Clerk