

VILLAGE OF DOWNERS GROVE
REPORT FOR THE VILLAGE COUNCIL WORKSHOP
JUNE 26, 2007 AGENDA

SUBJECT:	TYPE:	SUBMITTED BY:
Special Use and Plat of Consolidation 1245-1249 Ogden Avenue Automobile Dealership	<ul style="list-style-type: none"> ✓ Resolution ✓ Ordinance Motion Discussion Only 	Tom Dabareiner, AICP Community Development Director

SYNOPSIS

A Special Use ordinance has been prepared for an automobile dealership at 1245-1249 Ogden Avenue. A Plat of Consolidation resolution has been prepared that will consolidate six separate lots into a single lot.

STRATEGIC PLAN ALIGNMENT

The Five Year Plan and Goals for 2006-2011 identified *Vibrant Major Commercial Corridors*. Supporting these goals are the objectives *More Attractive Commercial Developments* and *More Contribution to Local Economy*.

FISCAL IMPACT

N/A.

RECOMMENDATION

Approval on the July 3, 2007 active agenda.

BACKGROUND

In July 2006, the Village Council approved a Special Use for the same automobile dealership at this site. The previous Special Use included the removal of an existing building at 1249 Ogden Avenue and the reuse of an existing building at 1245 Ogden Avenue. The site was engineered to remove two of the three existing curb cuts onto Ogden Avenue and provide limited access to the rear alley.

Since that time, the petitioner has demolished the building at 1249 Ogden Avenue but has not undertaken any additional building or site development to complete the plan originally approved by the Village Council. The petitioner has determined that the existing building at 1245 Ogden Avenue is no longer suitable to meet the needs of the dealership, so they are proposing to construct a new two-story building on the site. The new proposed building constitutes a considerable change to the previously approved Special Use and must be considered by the Village Council again.

The existing building at 1245 Ogden Avenue will be demolished and a new two-story 7,166 square foot building will be constructed in its place at the southeast corner of the site. The building's exterior will be precast concrete panels with stone tile accents. The interior will consist of offices, a showroom, a detail area and four service bays. Overhead doors provide access to the service bays through the alley, while the showroom and detail area are accessible from both the site and alley. Although the alley provides access to the rear of the building, no parking, loading, unloading, or queuing of vehicles will be allowed within the alley.

The petitioner is proposing to improve the site in the manner that was approved in the previous Special Use. The number of curb cuts along Ogden Avenue will be reduced from three to one. An existing curb cut from Middaugh Avenue will be maintained and a sidewalk will be added. The existing gravel and asphalt parking lot will be replaced with a curbed asphalt parking lot. A curb shall be provided along the entire length of the alley except for those areas where a dumpster or overhead door access is provided.

The proposal meets all zoning requirements as shown in the table below:

Zoning Requirements	Required	Provided
Ogden Avenue Building Setback	75'	113'
Ogden Avenue Automobile Setback	50'	56'
Middaugh Avenue Building Setback	28.5'	66'
Middaugh Avenue Automobile Setback	8'	9'
Side Yard	N/A	1'
Rear Yard	N/A	1'
Building Height	60'	27'
Floor Area Ratio	0.75	0.32
Parking	12	12
Open Space (Total/Front Yard)	2235 sf / 1118 sf	2427 sf / 2168 sf

The proposed plan complies with the Ogden Avenue Master Plan as shown in the table below:

Ogden Avenue Master Plan	Proposal
Improve building facades	Proposal calls for the removal of an existing one-story brick and glass building that is in a general state of disrepair. A new two-story concrete panel building will be constructed in its place.
Improve building signage	Proposal will comply with Sign Ordinance
Relocate signs from parking lots to landscaped areas	Proposal will comply with Sign Ordinance
Improve the parkway with new trees, plantings, signage, and sidewalks	Proposal provides lawn, landscaping, signage and sidewalks along Ogden Avenue. Increased green space will improve stormwater management on the property.
Reduce curb cuts along Ogden Avenue	Proposal calls for the removal of two curb cuts that are shown as removed in the Ogden Avenue Master Plan.
Provide interconnected sidewalks along Ogden Avenue	Proposal maintains a sidewalk along Ogden Avenue and constructs a new sidewalk along Middaugh Avenue that does not currently exist.

The current property is located on six separate parcels. The petitioner completed a Plat of Subdivision in March 2006 that will be revised at the request of the Village to a Plat of Consolidation to create one parcel for the entire complex. The Plat of Consolidation meets all Village standards and requirements.

The Plan Commission considered the proposed project at their May 7, 2007 meeting and recommended approval of the Special Use and Plat of Consolidation with the conditions as noted in the staff report. Staff concurs with the Plan Commission recommendation.

ATTACHMENTS

Aerial Map

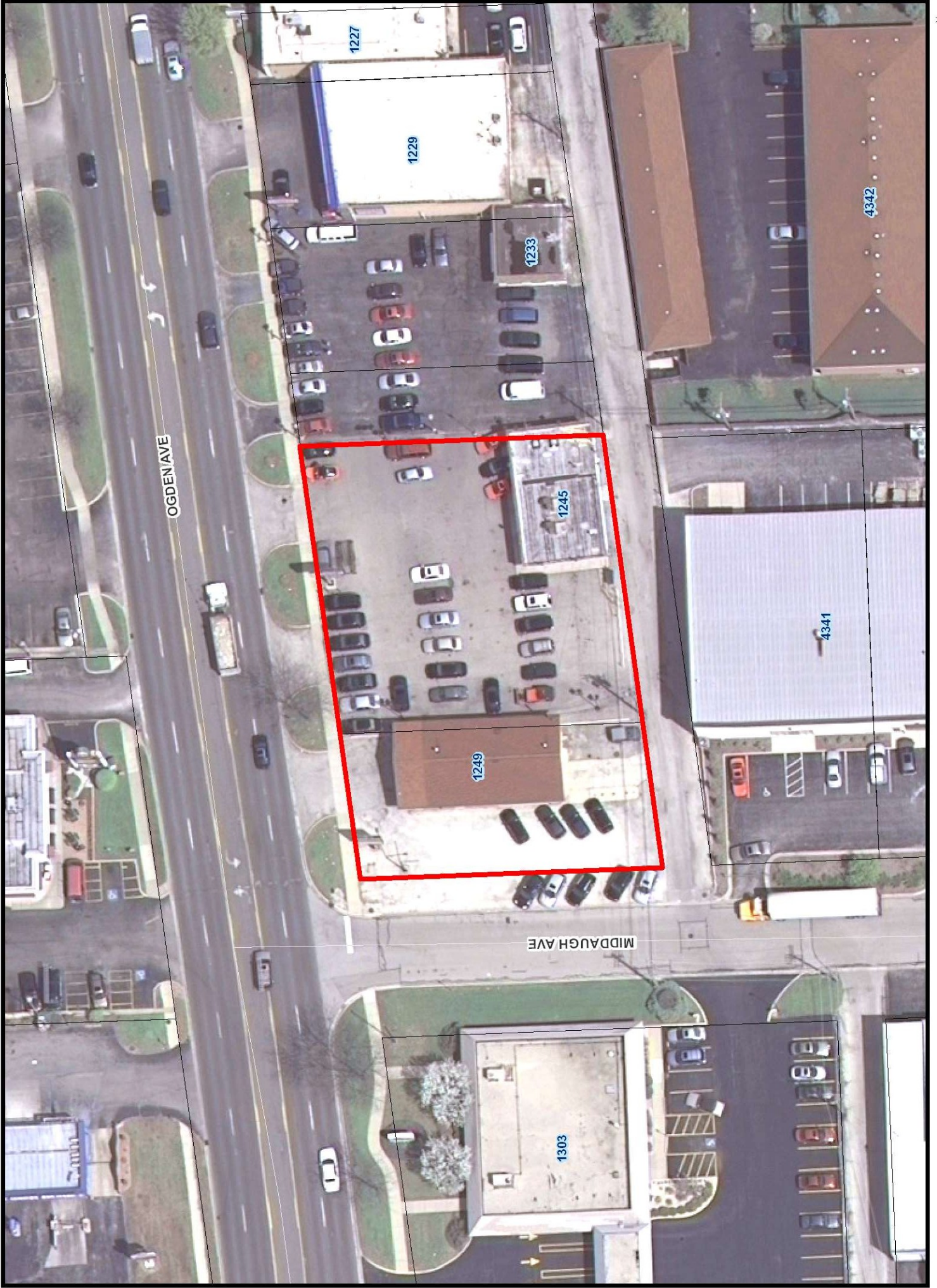
Ordinance

Resolution

Staff Report with attachments dated May 7, 2007

Minutes of the Plan Commission Hearing dated May 7, 2007

Exhibit A – Plat of Consolidation



World Class Motorcars Location Map



ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING A SPECIAL USE FOR
1245-1249 OGDEN AVENUE TO PERMIT AN AUTOMOBILE DEALERSHIP**

WHEREAS, the following described property, to wit:

Lots 7, 8, 9, 10, 11 and 12 in Block 2 in Poulin's Subdivision, being a subdivision of part of the Southeast Quarter of Section 6, Township 38 North, Range 11, East of the Third Principal Meridian, and a Resubdivision of Lots 2 and 3 in Block 31 in E. H. Prince and Company's Addition to Downers Grove, being a subdivision in Sections 5, 6, 7 and 8, Township 38 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded of said Poulin's Subdivision, recorded April 22, 1926 as Document 211948 in DuPage County, Illinois.

Commonly known as 1245-49 Ogden Avenue, Downers Grove, IL (PIN 09-06-407-001,-002)

(hereinafter referred to as the "Property") is presently zoned in the "*B-3, General Services & Highway Business District*" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a Special Use per Section 28-609(c) of the Zoning Ordinance be granted to allow an automobile dealership.

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove, and said Plan Commission has given the required public notice, has conducted a public hearing respecting said petition and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and,

WHEREAS, the Plan Commission has recommended approval of the requested Special Use, subject to certain conditions; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

1. The proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
2. The proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.
3. The proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located.
4. The proposed use is one of the special uses specifically listed for the district in which it is to be located and, if approved with restrictions as set forth in this ordinance, will comply with the provisions of the Downers Grove Zoning Ordinance regulating this Special Use.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage

County, Illinois, as follows:

SECTION 1. That a Special Use of the Property is hereby granted to permit an automobile dealership.

SECTION 2. This approval is subject to the following conditions:

1. The building shall be designed so that the pedestrian doors on the South façade swing out but do not encroach into the public alley. Additionally, no stoops, steps, cornices, or bollards shall encroach into the public alley.
2. Revised engineering plans shall be submitted to the Village for review during the permit review process. The revised plans shall substantially comply with the engineering plans dated March 17, 2006 and submitted as part of the previous Special Use petition that was authorized in Ordinance #4789. The engineering plans shall include:
 - a. Geometry plan
 - b. Removal plan
 - c. Utility\grading\sediment and erosion control plan
 - d. Landscape plan
 - e. Photometric plan
 - f. Details
3. A Plat of Consolidation shall be prepared to consolidate the six separate lots.
 - a. The plat shall have the required certifications noted.
 - b. The plat title shall include “Final Plat of Consolidation.”
 - c. The plat shall be prepared and submitted to the Village prior to the consideration of the Special Use by the Village Council.
 - d. The Plat of Consolidation shall be recorded with the DuPage County Recorder prior to the issuance of any construction permits, including but not limited to construction, demolition, or site development permit.
4. No outdoor speaker system shall be allowed on the site.
5. A sidewalk shall be provided along Middaugh Avenue in a manner acceptable to the Village Engineer prior to the issuance of an occupancy permit.
6. The dumpster shall be relocated outside of the required Middaugh Avenue front yard. The dumpster shall be relocated a minimum of 25 feet from the West property line.
7. A curb shall be provided along the entire length of the alley except for those areas where a dumpster or overhead door access is provided.
8. No parking or queuing of vehicles shall be allowed in the alley.
9. All vehicle loading and unloading shall occur on site. A loading and unloading plan that demonstrates compliance shall be provided to the Village.
10. All proposed signs shall comply with the Sign Ordinance.
11. All construction within the Ogden Avenue right-of-way will require approval and permits from the Illinois Department of Transportation (IDOT). Provide the Village with copies of all IDOT correspondence.

12. The new building shall have an automatic sprinkler system installed throughout. All areas of the new building shall be protected. Provide working drawings and cut sheets during permit review.
13. The new building shall have a manual and automatic detection system installed throughout. All areas of the new building shall be protected. Provide working drawings and cut sheets during permit review.

SECTION 3. The above conditions are hereby made part of the terms under which the Special Use is granted. Violation of any or all of such conditions shall be deemed a violation of the Village of Downers Grove Zoning Ordinance, the penalty for which may include, but is not limited to, a fine and or revocation of the Special Use granted herein.

SECTION 4. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law.

Mayor

Passed:

Published:

Attest: _____

Village Clerk

RESOLUTION _____

**A RESOLUTION APPROVING THE
FINAL PLAT OF CONSOLIDATION FOR WORLD CLASS MOTORCARS SUBDIVISION**

WHEREAS, application has been made pursuant to the provisions of Chapter 20 of the Downers Grove Municipal Code for final plat of consolidation for the World Class Motorcars Subdivision, located on the southeast corner of Ogden and Middaugh Avenues, Downers Grove, Illinois, legally described as follows:

Lots 7, 8, 9, 10, 11 and 12 in Block 2 in Poulin's Subdivision, being a subdivision of part of the Southeast Quarter of Section 6, Township 38 North, Range 11, East of the Third Principal Meridian, and a Resubdivision of Lots 2 and 3 in Block 31 in E. H. Prince and Company's Addition to Downers Grove, being a subdivision in Sections 5, 6, 7 and 8, Township 38 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded of said Poulin's Subdivision, recorded April 22, 1926 as Document 211948 in DuPage County, Illinois

Commonly known as 1245-49 Ogden Avenue, Downers Grove, IL (PIN 09-06-407-001,-002)

WHEREAS, notice has been given and hearing held on May 7, 2007 regarding this plat application pursuant to the requirements of the Downers Grove Municipal Code; and,

WHEREAS, the Plan Commission has recommended approval of the Final Plat of Consolidation for the World Class Motorcars Subdivision as requested, subject to certain conditions.

NOW, THEREFORE, BE IT RESOLVED by the Village Council of the Village of Downers Grove that the Final Plat of Consolidation for the World Class Motorcars Subdivision, be and is hereby approved subject to the following conditions:

1. The building shall be designed so that the pedestrian doors on the South façade swing out but do not encroach into the public alley. Additionally, no stoops, steps, cornices, or bollards shall encroach into the public alley.
2. Revised engineering plans shall be submitted to the Village for review during the permit review process. The revised plans shall substantially comply with the engineering plans dated March 17, 2006 and submitted as part of the previous Special Use petition that was authorized in Ordinance #4789. The engineering plans shall include:
 - a. Geometry plan
 - b. Removal plan
 - c. Utility\grading\sediment and erosion control plan
 - d. Landscape plan
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 - f. Details
3. A Plat of Consolidation shall be prepared to consolidate the six separate lots.
 - a. The plat shall have the required certifications noted.
 - b. The plat title shall include "Final Plat of Consolidation."
 - c. The plat shall be prepared and submitted to the Village prior to the consideration of the Special Use by the Village Council.
 - d. The Plat of Consolidation shall be recorded with the DuPage County Recorder prior to the issuance of any construction permits, including but not limited to construction, demolition, or site development permit.

4. No outdoor speaker system shall be allowed on the site.
5. A sidewalk shall be provided along Middaugh Avenue in a manner acceptable to the Village Engineer prior to the issuance of an occupancy permit.
6. The dumpster shall be relocated outside of the required Middaugh Avenue front yard. The dumpster shall be relocated a minimum of 25 feet from the West property line.
7. A curb shall be provided along the entire length of the alley except for those areas where a dumpster or overhead door access is provided.
8. No parking or queuing of vehicles shall be allowed in the alley.
9. All vehicle loading and unloading shall occur on site. A loading and unloading plan that demonstrates compliance shall be provided to the Village.
10. All proposed signs shall comply with the Sign Ordinance.
11. All construction within the Ogden Avenue right-of-way will require approval and permits from the Illinois Department of Transportation (IDOT). Provide the Village with copies of all IDOT correspondence.
12. The new building shall have an automatic sprinkler system installed throughout. All areas of the new building shall be protected. Provide working drawings and cut sheets during permit review.
13. The new building shall have a manual and automatic detection system installed throughout. All areas of the new building shall be protected. Provide working drawings and cut sheets during permit review.

BE IT FURTHER RESOLVED, that the Mayor and Village Clerk are authorized to sign the final plat of consolidation.

BE IT FURTHER RESOLVED, that this resolution shall be in full force and effect from and after its adoption in the manner provided by law.

Mayor

Passed:

Attest: _____
Village Clerk

Image In Design Architecture, Inc.

4906 Main Street, Suite 102 Lisle, Illinois 60532
(O) 630 968 2510 (F) 630 968 2620

March 30, 2007

Village of Downers Grove Department of Planning
Plan Commission
Village of Downers Grove
801 Burlington Avenue
Downers Grove, Illinois 60515

Re: World Class Motors
Ogden Ave. & Middaugh Ave.

Project Summary: The subject property was approved for a special use permit in 2006. That permit allowed for redeveloping the land and remodeling the remaining, approx. 1455 s.f. structure. Since that time the Owners have realized the impracticality of this course of action. The building is too small and unattractive to justify the corresponding remodeling costs. The Owners desire to improve the appearance of the site and increase their internal functionality by constructing a new, two-story building in place of the existing one.

Section 28.609 of the Downers Grove Municipal Code states, under the heading B-3 District - Special uses, that an Automobile Dealership is allowed. The submitted documents illustrate a new structure that would replace the existing building along the alley in the southeast corner of the lot. Preliminarily, the building exterior, as shown on the enclosed supporting documents, would employ a steel frame with painted precast concrete. Stone tiles would accent prominent architectural features of the building such as the entrance and extended conference room. The interior garage areas would incorporate cmu block walls while the showroom and office areas would be constructed using steel studs and drywall. The new fully sprinklered building would be approximately 7166 s.f. and would contain: a showroom, office space, a 4-bay repair garage and a detailing area.

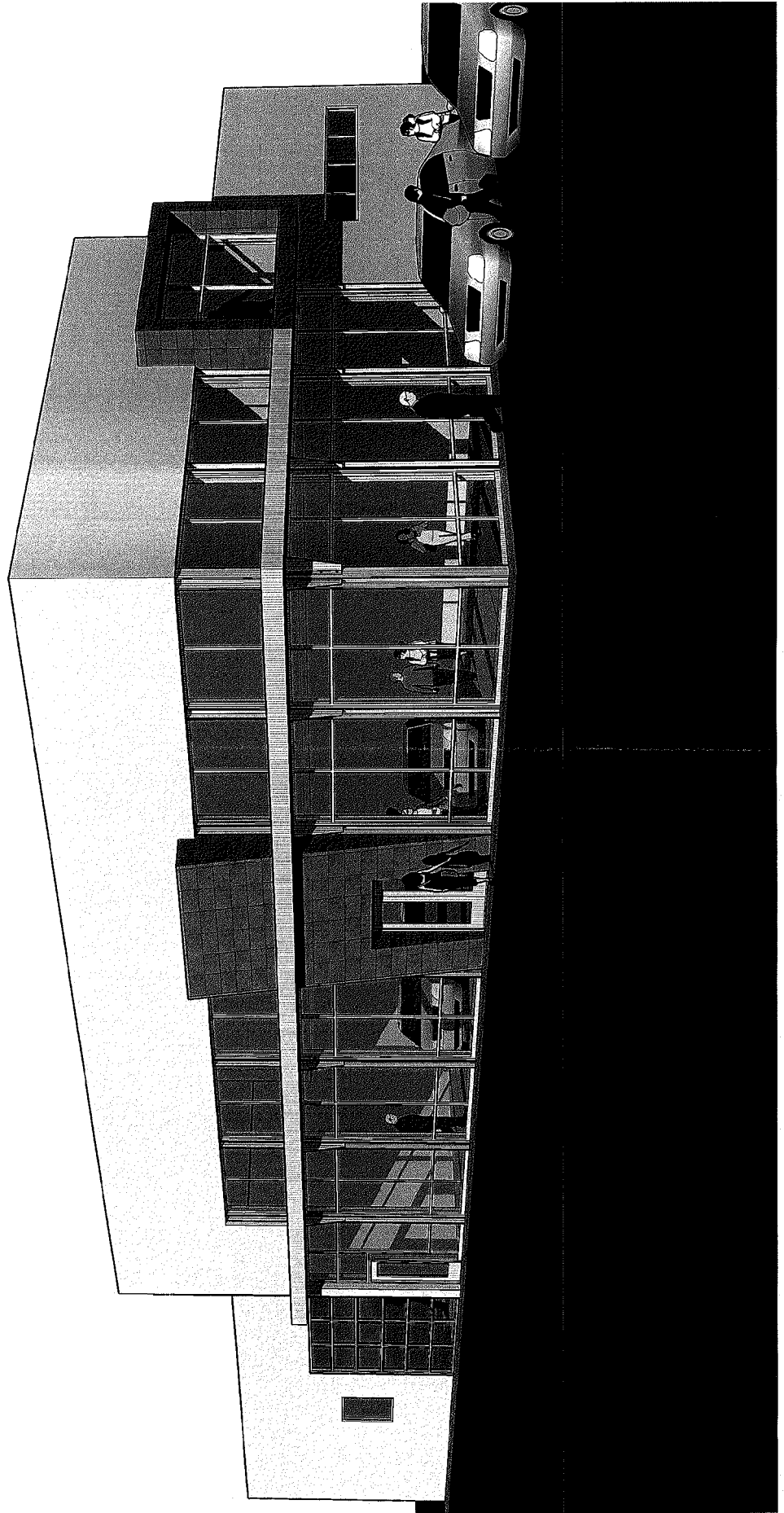
The new dealership, which specializes in selling used, luxury vehicles, would serve a segment of the population otherwise not represented among the many dealerships in the surrounding vicinity. The proposed building would improve the overall appeal of Ogden Avenue and increase customer activity in the area. Furthermore, the surrounding neighborhood would benefit from the addition of an exciting new building that exudes a character and aesthetic appeal that symbolizes the elegance and style of the vehicles it houses. The Owners have taken every measure to ensure that the proposed building will comply with the regulations specified in the Zoning Ordinance for a B-3 district and any authorized variations.

Thank you for taking the time to consider this matter.

Sincerely,



David C. Schmidt, AIA
Image In Design Architecture, Inc.



WORLD CLASS MOTORCARS

PLAN COMMISSION SUBMITTAL TO:

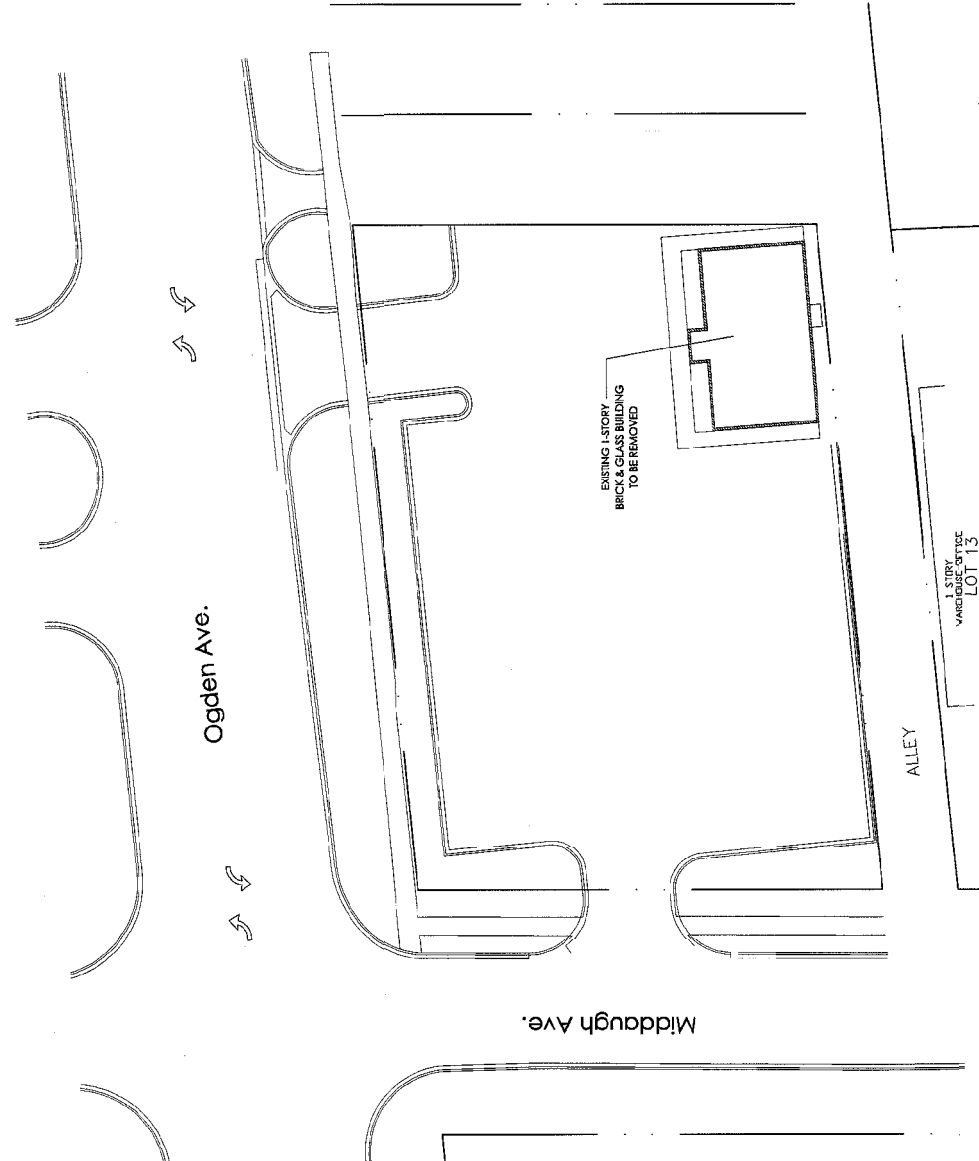
VILLAGE OF DOWNERS GROVE
801 Burlington Ave.
Downers Grove, Illinois 60515
630.434.5525

PREPARED FOR:
WORLD CLASS MOTORCARS
1313 Ogden Avenue
Downers Grove, Illinois 60515
630.493.1600 t
630.241.1125 f
attn: Mark Khankan

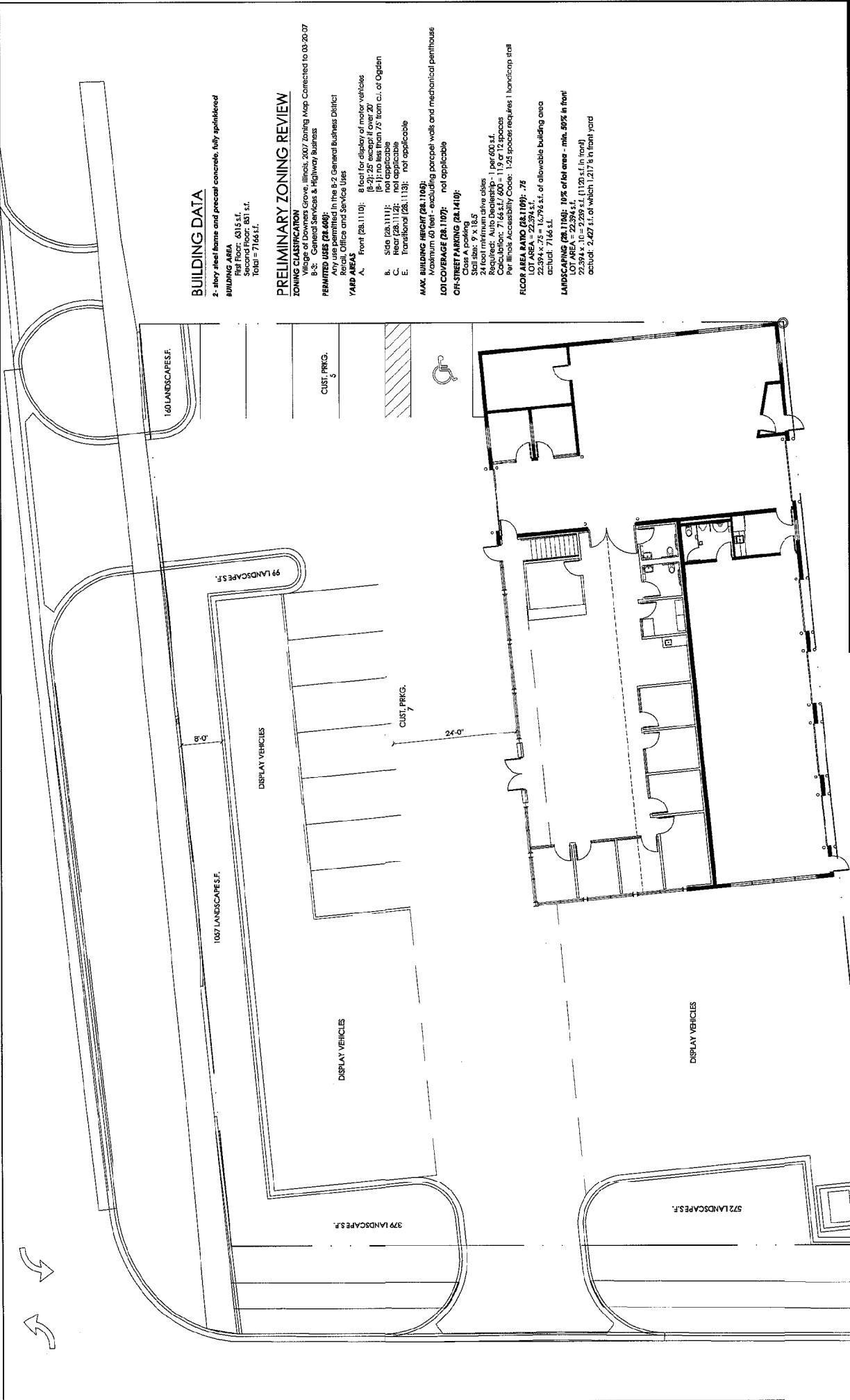
PREPARED BY:
IMAGE IN DESIGN ARCHITECTURE, INC.
4906 Main Street
Suite 102
Lisle, Illinois 60532
630.968.2510

DRAWING LIST:
COVER SHEET
ARCHITECTURAL SITE PLAN
PLANS & ELEVATIONS
COLOR PERSPECTIVE

MARCH 30, 2007



EXISTING SITE/ DEMO PLAN
SCALE: 1/16" = 1'-0"
7'-4" 8" 16" 32" 64"



BUILDING DATA
 2-story steel frame and precast concrete, fully sprinklered
 BUILDING AREA: 6315 s.f.
 Finished Floor: 851 s.f.
 Total = 7166 s.f.

PRELIMINARY ZONING REVIEW
ZONING CLASSIFICATION
 B-2, Office of Downers Grove, Illinois, 2007 Zoning Map. Corrected to 03-20-07
 B-2, Office of Downers Grove, Illinois, 2007 Zoning Map. Corrected to 03-20-07
 B-2, Office of Downers Grove, Illinois, 2007 Zoning Map. Corrected to 03-20-07
PERMITTED USES (28.1107):
 Any use permitted in the B-2 General Business District
 Retail, Office and Service Uses
YARD AREAS
 A. Front (28.1110): 8 feet for display of motor vehicles
 B. Side (28.1111): not applicable
 C. Rear (28.1112): not applicable
 E. Transitional (28.1113): not applicable

MAX. BUILDING HEIGHT (28.1108):
 Maximum 40 feet - excluding parapet walls and mechanical penthouse
LOT COVERAGE (28.1107): not applicable
OFF-STREET PARKING (28.1410):
 Class A parking
 Stall size: 9' x 18.5'
 24 foot minimum aisle width
 1 per 600 s.f.
 24 foot minimum aisle width
 1 per 600 s.f.
 Calculation: 7166 s.f. / 600 = 11.9 or 12 spaces
 Per Illinois Accessibility Code: 1:25 spaces requires 1 handicap stall

FLOOR AREA RATIO (28.1109): 75
 22,394 x .75 = 16,795 s.f. of allowable building area
 actual: 7166 s.f.

LANDSCAPING (28.1106): 10% of lot area - min. 80% in front
 LOT AREA = 22,394 s.f.
 22,394 x .10 = 2,239 s.f. of allowable landscaping
 actual: 2,427 s.f. of which 1,217 s.f. in front yard

Image In Design Architecture, Inc.
 Professional Design Firm / Architecture Corporation
 4004 Main Street, Suite 100, Downers Grove, IL 60130
 www.imageindesignarchitecture.com
 DRAWN BY: David C. Schmidt

ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"
 1" = 8' 18' 32'

WORLD CLASS MOTORCARS
 Ogden Ave. & Middaugh Ave.
 Downers Grove, IL
 CURRENT REV. DATE: March 30, 2007

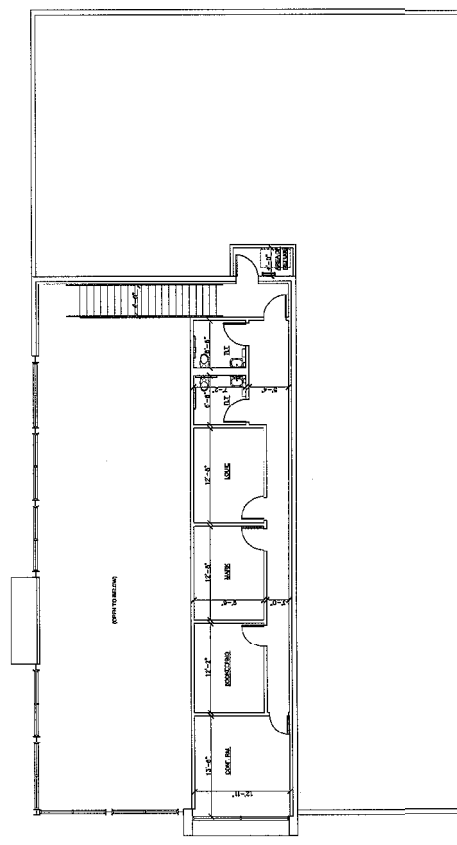
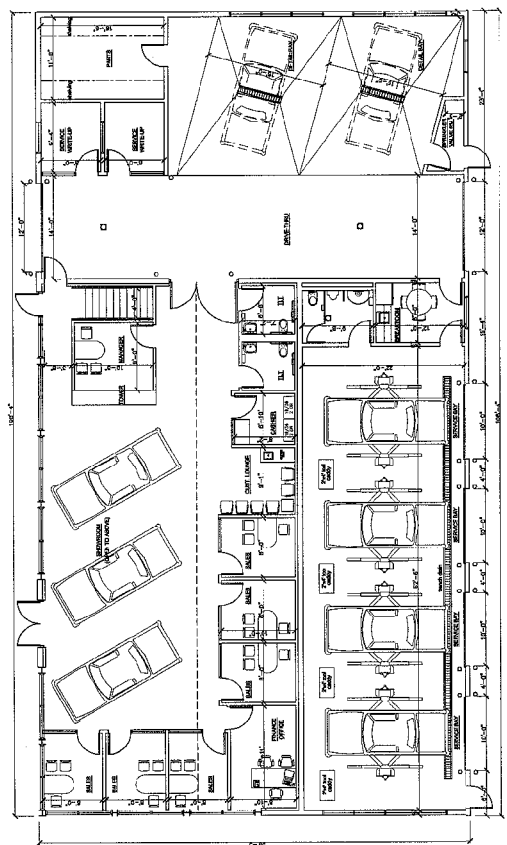
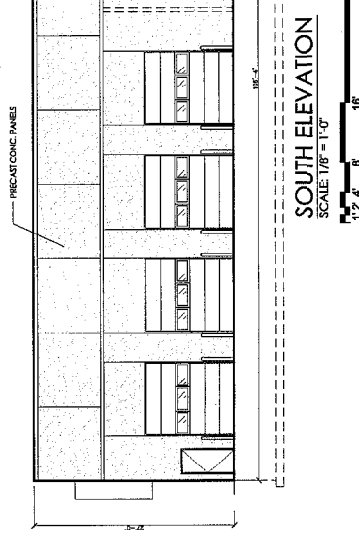
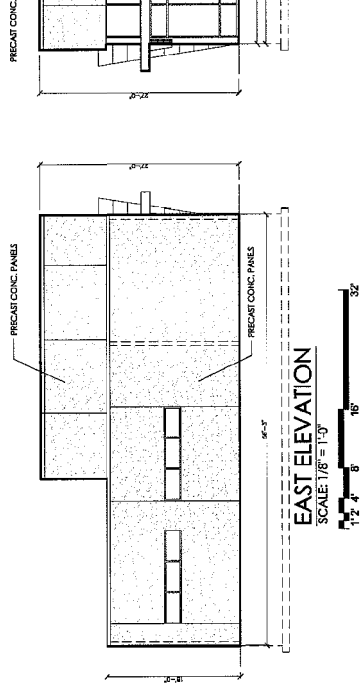
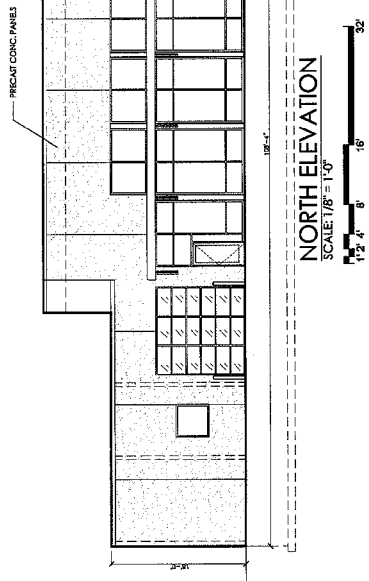


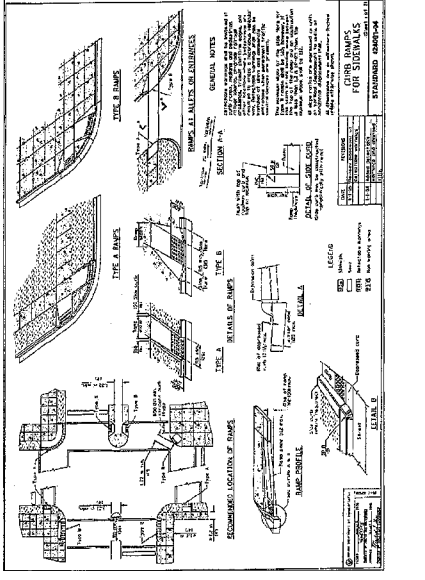
Image in Design Architecture, Inc.
Professional Design Firm / Architecture Corporation
400 Main Street, Suite 100, Waukegan, IL 60087
Phone: (815) 499-8600
www.imageindesignarchitecture.com
DRAWN BY: David C. Schmidt

WORLD CLASS MOTORCARS
Ogden Ave. & Midlough Ave.
Downers Grove, IL
CURRENT REV. DATE: March 30, 2007

Downers Grass Tree Protection Requirements

Downers Grass Trees shall be protected in accordance with the following requirements:

1. All Downers Grass Trees shall be protected with a minimum of 4" diameter steel pipe driven into the ground around the tree trunk.
2. The pipe shall be driven to a depth of 18" below the ground surface.
3. The pipe shall be spaced at a maximum of 12" from the tree trunk.
4. The pipe shall be spaced at a maximum of 12" from each other.
5. The pipe shall be spaced at a maximum of 12" from the curb.
6. The pipe shall be spaced at a maximum of 12" from the sidewalk.
7. The pipe shall be spaced at a maximum of 12" from the street.
8. The pipe shall be spaced at a maximum of 12" from the driveway.
9. The pipe shall be spaced at a maximum of 12" from the fence.
10. The pipe shall be spaced at a maximum of 12" from the building.
11. The pipe shall be spaced at a maximum of 12" from the utility lines.
12. The pipe shall be spaced at a maximum of 12" from the other trees.
13. The pipe shall be spaced at a maximum of 12" from the other plants.
14. The pipe shall be spaced at a maximum of 12" from the other structures.
15. The pipe shall be spaced at a maximum of 12" from the other objects.



VILLAGE OF DOWNERS GROVE
PLAN COMMISSION MEETING, MAY 7, 2007, 7:00 P.M.

FILE NO. PC-17-07 A petition seeking a Special Use for an automobile dealership for property located on the Southeast corner of Ogden and Middaugh Avenues, Downers Grove, IL, commonly known as 1245-49 Ogden Avenue Downers Grove, IL (PIN Nos. 09-06-407-001,-002); Mark Khankan, World Class Motorcars, Petitioner; World Class Motorcars, Mark Khankan & Louie Kanjo, Owners

Mr. Stan Popovich, Village Planner, stated this project was for a Special Use and Plat of Consolidation for an automobile dealership at 1245-1249 Ogden Avenue. He noted in May 2006 a similar petition was before the Plan Commission. In that petition, the petitioner proposed to demolish the building at 1249 Ogden Avenue and utilize the existing building at 1245 Ogden Avenue for the automobile dealership. Site improvements included the removal of two curb cuts onto Ogden Avenue. Since that time, the 1249 Ogden building has been demolished but no other work has been completed on site. Additionally, the owner has determined that the existing building at 1245 Ogden Avenue does not satisfy his building needs, and he wants to construct a new building. Mr. Popovich explained the new building is a significant change to the previous approval and as such requires Plan Commission review.

Mr. Popovich noted the petitioner is proposing a two-story pre-cast concrete panel and glass building. Totaling 6,300 square feet, the interior will include offices, a showroom, and detail and service bays according to Mr. Popovich.

Mr. Popovich summarized the site plan and noted the proposed building is in generally the same location as the existing building. As such, Mr. Popovich noted Village staff did not require new engineering plans to be submitted at this time, however, revised engineering plans will be required as part of the permit review. Mr. Popovich noted the engineering plans would have to substantially conform to previously submitted plans and include the removal of two Ogden Avenue curb cuts and the improvement of the property along Middaugh Avenue to include a defined curb cut and sidewalk. Mr. Popovich noted the petition meets open space and parking requirements.

Staff is requiring a curb along the length of the alley where garage bays are not located. Additionally, staff will require a plan that shows all loading and unloading of sale vehicles taking place entirely on site. Furthermore, Mr. Popovich noted that parking or queuing of cars within the alley would be prohibited.

A Plat of Consolidation is required to consolidate six separate parcels into a single parcel. Mr. Popovich explained this was submitted last year, but never recorded; therefore, staff is requiring it be completed at this time.

Mr. Popovich reviewed conversations staff had with two concerned citizens and went over how those concerns would be addressed. Mr. Popovich noted the project complies with the Future Land Use Map, Zoning Ordinance, Subdivision Ordinance, Public Safety Requirements, and the Ogden Avenue Master Plan. Staff recommended approval of this petition subject to the conditions listed in its staff report.

Mr. Waechtler inquired about the Plat of Subdivision that was provided to the Plan Commission. He noted that Middaugh Avenue was labeled twice. Mr. Popovich clarified that the road shown on the East side of the plat should have in fact been labeled as Linscott Avenue and will be corrected prior to Village Council consideration.

Mr. David Schmidt, 4906 Main St., Lisle, Illinois represented the owner of the property, Mr. Mark Khankan, who he introduced in the audience. Mr. Schmidt noted staff's presentation was in-line with what the petitioner was proposing. He stated World Class Motorcars has an image with the cars they sell, and the existing building would not meet that image; therefore, a new building is necessary. He noted there are numerous car dealerships on Ogden Avenue, but that World Class serves a different and unique clientele that is not represented on Ogden Avenue.

Mr. Matejczyk stated he liked the building's design and style.

Mr. Waechtler inquired about the size of the building. Mr. Popovich noted it was 6,300 square feet, and Mr. Schmidt stated it was approximately 60 feet by 110 feet.

Chairman Jirik opened the petition for public comment. There was none, and the Chairman closed the public comment portion of the meeting.

Mr. Matejczyk noted the petition had already been through the Plan Commission once and was approved. He was delighted staff had included conditions to prohibit parking and queuing in the alley and stated the Village needs to ensure policing of that condition.

Mr. Quirk inquired about condition number one in the staff report regarding doors swinging out into the alley. Mr. Popovich stated that no doors, stoops or patios are allowed to encroach into the public right-of-way; as such, the building will have to move one to two feet north to accommodate the door swings. Mr. Popovich did not believe this would be a significant change as there is adequate room north of the building.

WITH RESPECT TO FILE NO. PC-17-07, MR. COZZO MADE A MOTION THAT THE PLAN COMMISSION RECOMMEND APPROVAL OF THE SPECIAL USE TO CONSTRUCT AN AUTOMOBILE DEALERSHIP AT 1245-1249 OGDEN AVENUE AND THE PLAT OF CONSOLIDATION TO CONSOLIDATE SIX SEPARATE PARCELS INTO A SINGLE PARCEL, SUBJECT TO THE CONDITIONS LISTED BELOW:

- 1. THE BUILDING SHALL BE DESIGNED SO THAT THE PEDESTRIAN DOORS ON THE SOUTH FAÇADE SWING OUT BUT DO NOT ENCROACH INTO THE PUBLIC ALLEY. ADDITIONALLY, NO STOOPS, STEPS, CORNICES, OR BOLLARDS SHALL ENCROACH INTO THE PUBLIC ALLEY.**
- 2. REVISED ENGINEERING PLANS SHALL BE SUBMITTED TO THE VILLAGE FOR REVIEW DURING THE PERMIT REVIEW PROCESS. THE REVISED PLANS SHALL SUBSTANTIALLY COMPLY WITH THE ENGINEERING PLANS DATED MARCH 17, 2006 AND SUBMITTED AS PART OF THE PREVIOUS SPECIAL USE PETITION THAT WAS AUTHORIZED IN ORDINANCE #4789. THE ENGINEERING PLANS SHALL INCLUDE:
 - A. GEOMETRY PLAN**
 - B. REMOVAL PLAN****

- C. UTILITY\GRADING\SEDIMENT AND EROSION CONTROL PLAN
 - D. LANDSCAPE PLAN
 - E. PHOTOMETRIC PLAN
 - F. DETAILS
3. A PLAT OF CONSOLIDATION SHALL BE PREPARED TO CONSOLIDATE THE SIX SEPARATE LOTS.
 - A. THE PLAT SHALL HAVE THE REQUIRED CERTIFICATIONS NOTED.
 - B. THE PLAT TITLE SHALL INCLUDE "FINAL PLAT OF CONSOLIDATION."
 - C. THE PLAT SHALL BE PREPARED AND SUBMITTED TO THE VILLAGE PRIOR TO THE CONSIDERATION OF THE SPECIAL USE BY THE VILLAGE COUNCIL.
 - D. THE PLAT OF CONSOLIDATION SHALL BE RECORDED WITH THE DUPAGE COUNTY RECORDER PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, INCLUDING BUT NOT LIMITED TO CONSTRUCTION, DEMOLITION, OR SITE DEVELOPMENT PERMIT.
 4. NO OUTDOOR SPEAKER SYSTEM SHALL BE ALLOWED ON THE SITE.
 5. A SIDEWALK SHALL BE PROVIDED ALONG MIDDAUGH AVENUE IN A MANNER ACCEPTABLE TO THE VILLAGE ENGINEER PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
 6. THE DUMPSTER SHALL BE RELOCATED OUTSIDE OF THE REQUIRED MIDDAUGH AVENUE FRONT YARD. THE DUMPSTER SHALL BE RELOCATED A MINIMUM OF 25 FEET FROM THE WEST PROPERTY LINE.
 7. A CURB SHALL BE PROVIDED ALONG THE ENTIRE LENGTH OF THE ALLEY EXCEPT FOR THOSE AREAS WHERE A DUMPSTER OR OVERHEAD DOOR ACCESS IS PROVIDED.
 8. NO PARKING OR QUEUING OF VEHICLES SHALL BE ALLOWED IN THE ALLEY.
 9. ALL VEHICLE LOADING AND UNLOADING SHALL OCCUR ON SITE. A LOADING AND UNLOADING PLAN THAT DEMONSTRATES COMPLIANCE SHALL BE PROVIDED TO THE VILLAGE.
 10. ALL PROPOSED SIGNS SHALL COMPLY WITH THE SIGN ORDINANCE.
 11. ALL CONSTRUCTION WITHIN THE OGDEN AVENUE RIGHT-OF-WAY WILL REQUIRE APPROVAL AND PERMITS FROM THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT). PROVIDE THE VILLAGE WITH COPIES OF ALL IDOT CORRESPONDENCE.
 12. THE NEW BUILDING SHALL HAVE AN AUTOMATIC SPRINKLER SYSTEM INSTALLED THROUGHOUT. ALL AREAS OF THE NEW BUILDING SHALL BE PROTECTED. PROVIDE WORKING DRAWINGS AND CUT SHEETS DURING PERMIT REVIEW.
 13. THE NEW BUILDING SHALL HAVE A MANUAL AND AUTOMATIC DETECTION SYSTEM INSTALLED THROUGHOUT. ALL AREAS OF THE NEW BUILDING SHALL BE PROTECTED. PROVIDE WORKING DRAWINGS AND CUT SHEETS DURING PERMIT REVIEW.

SECONDED BY MR. WAECHTLER

ROLL CALL:

APPROVED 06/04/07

**AYE: MR. COZZO, MR. WAECHTLER, MR. BEGGS, MR. MATEJCZYK, MR. QUIRK,
MRS. RABATAH, MR. WEBSTER, CHAIRMAN JIRIK**

NAY: NONE

MOTION CARRIED. VOTE: 8-0

