

COUNCIL WORKSHOP ITEM

ITEM: PLAN COMMISSION FILE NO. 2008 – Discount Tire (Retail Store): Request for Subdivision and Special Use Approval
DATE: February 10, 2004
PREPARED BY: Joseph Skach, AIA, AICP, NCARB
Director, Planning and Community Development
PURPOSE: Consideration of the Plan Commission's recommendation to approve the subject petition

DISCUSSION:

Plan Commission

The petitioner (Discount Tire Inc.) is seeking: 1) Final Plat Approval for the creation of one additional lot in the existing Home Depot Subdivision (Res. 96-7, 1996 and 97-4, 1997); and 2) Approval of a Special Use to allow tire-servicing incidental to new tire sales in the proposed new Discount Tire store. At their December 2, 2003 meeting, the Plan Commission considered the Petitioner's request and the Plan Commission concurred to recommend approval of the petitioner's request subject to certain conditions noted in the Staff Report (Attachment 3) and discussions as noted in the minutes (Attachment 4).

Post Plan Commission Work

Per Plan Commission discussions regarding overall parking and traffic in the Center, Staff has done additional work with Home Depot, the largest and controlling property owner in the center, to further refine traffic circulation in the Center overall. In addition, the need to address related traffic and parking operations were also discussed (Attachments 5 and 6).

Subsequent to discussions at the Plan Commission hearing, the Home Depot is proposing to enhance the originally proposed shopping center site plan to better address access and circulation including overall site ingress/egress, adjustment and clearer delineation of the drive aisles, installation of directional signage for westbound traffic on the east-west portion of the perimeter road, and the removal of the existing barrier median from the left and right turn lanes exiting the Center on to Butterfield Road. Also, the petitioner has provided updated summary/improvement traffic evaluations confirming proposed improvements to be completed concurrently with the petition (Discount Tire) construction, confirmation of maximum usage of parking in the center overall at approximately 60%, and that the majority of Home Depot deliveries occur after the store closes at 10 p.m. thus reducing potential traffic conflict with truck deliveries (Attachments 7 and 8). The Village's Traffic Engineer is in concurrence with the traffic consultant's conclusions and the proposed enhanced site plan modifications to the Center (Attachment 9).

The issue of potential future temporary outdoor uses was also further discussed. Based on current parking availability in the Center for each parcel, should the Discount Tire petition be approved, each parcel would retain a surplus of parking required by Code. However, as part of comprehensive parking/traffic, and land use planning, the issue of temporary uses such as a possible temporary expanded outdoor garden center was discussed. The Home Depot advised that a seasonal outdoor garden center may be proposed in the future and provided an estimate that as many as 50 parking spaces would be needed to accommodate this temporary use. The resulting Home Depot parcel, as part of this petition is expected to result in a surplus of 11 spaces, a temporary loss of up to 50 spaces could result in a temporary 39-space deficit.

The Center does have a current perpetual reciprocal access easement/agreement in place between all current owners. The Home Depot has provided a "First Amendment" to the Agreement to accommodate the proposed Discount Tire lot (Staff Report Attachment) and also to allow the overall number of spaces to be effectively used as a single resource for all businesses in the Center. It should be noted the

Agreement does not contradict Code as it does not allow satisfying parking requirements for any one parcel by counting parking from other parcels. A petitioner can however petition the Village to request such relief through a request for variation. These issues are acknowledged and confirmed by Home Depot (Attachments 10, 11, and 12). Attachment 13 represents the finalized proposed shopping center plan indicating enhanced traffic and parking improvements overall per the Plan Commission's direction to further explore this issue.

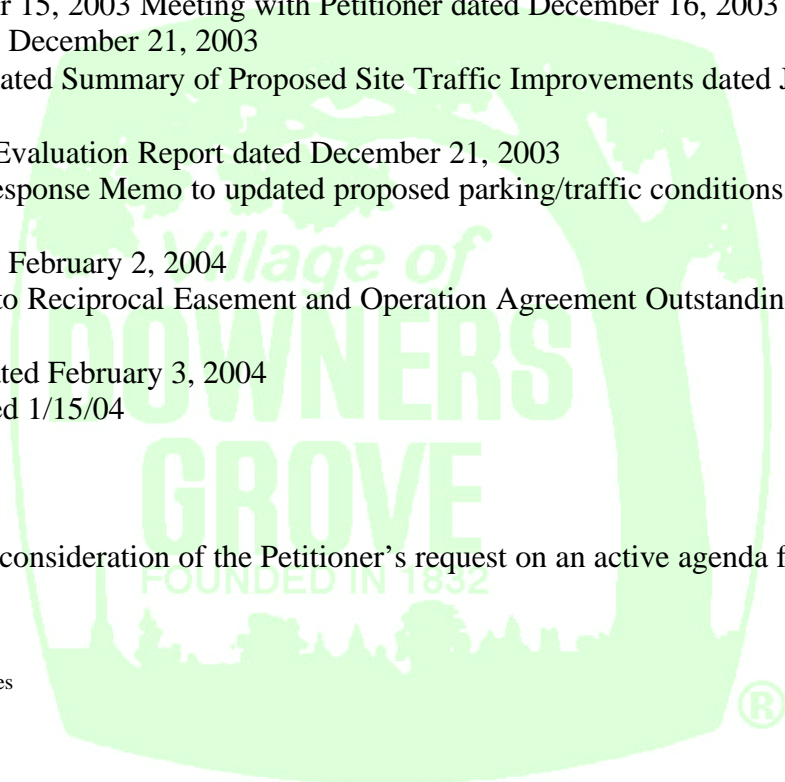
ATTACHMENTS:

1. Draft Final Plat of Subdivision Resolution
2. Draft Special Use Ordinance
3. Staff Report dated November 18, 2003
4. Minutes of Plan Commission Public Hearing, dated December 2, 2003
5. Staff Response to December 15, 2003 Meeting with Petitioner dated December 16, 2003
6. Staff Response Letter dated December 21, 2003
7. Petitioner/Home Depot updated Summary of Proposed Site Traffic Improvements dated January 26, 2004
8. Updated Summary Traffic Evaluation Report dated December 21, 2003
9. Village Traffic Engineer Response Memo to updated proposed parking/traffic conditions dated February 4, 2004
10. Staff Response Letter dated February 2, 2004
11. Petitioner Email Response to Reciprocal Easement and Operation Agreement Outstanding Issues dated February 2, 2004
12. Final Staff Confirmation dated February 3, 2004
13. Final Updated Plan Set dated 1/15/04

RECOMMENDATION:

That the Village Council place consideration of the Petitioner's request on an active agenda for February 17, 2004.

C: Riccardo Ginex, Village Manager
Donald Rosenthal, Director Code Services



ATTACHMENT 1

RESOLUTION _____

A RESOLUTION APPROVING THE FINAL PLAT OF RESUBDIVISION FOR THE THE HOME DEPOT SUBDIVISION

WHEREAS, application has been made pursuant to the provisions of Chapter 20 of the Downers Grove Municipal Code for final plat approval for the Resubdivision for the Home Depot Subdivision, located at the north side of Butterfield Road immediately west of the Interstate 355 (North-South Tollway); and,

WHEREAS, notice has been given and a hearing held regarding this plat application pursuant to the requirement of the Downers Grove Municipal Code; and,

WHEREAS, the Plan Commission has recommended approval of the Resubdivision of the Home Depot Subdivision with no exceptions.

NOW, THEREFORE, BE IT RESOLVED by the Village Council of the Village of Downers Grove that the final plat of resubdivision of the Home Depot Subdivision, be and is hereby approved subject to the following conditions:

1. The subdivision shall be in accordance with the Plat entitled "Resubdivision No. 1 of Home Depot Subdivision", reduced copy attached as Exhibit 1.
2. Except as provided herein, the Home Depot Subdivision shall be subject to the conditions as set forth in the minutes of the meeting of the Plan Commission on December 2, 2003; (Copy attached as Exhibit 2) and as set forth in the Staff Report (Copy Attached as Exhibit 3).
3. Compliance with all applicable Federal, State, and Village laws, ordinances, regulations and policies.
4. The Mayor and Village Clerk are authorized to sign the final plat.
5. This resolution shall be in full force and effect from and after its adoption in the manner provided by law.

Mayor

Passed:

Attest: _____

Village Clerk

ATTACHMENT 2

Special Use- Discount Tire -2008

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING SPECIAL
USE AT DISCOUNT TIRE, 1201 BUTTERFIELD ROAD,
TO PERMIT AN AUTOMOBILE REPAIR FACILITY
IN CONJUNCTION WITH RETAIL TIRE SALES**

WHEREAS, the following described property, to wit:

Part of Lot 1 in Home Depot Subdivision, being a subdivision of part of the Southwest Quarter of Section 30, Township 39 North, Range 11 East of the Third Principal Meridian, according to the plat thereof recorded January 30, 1997, as Document Number R97-14912, in DuPage County, Illinois, said part being described as follows:

Commencing at the southeastern corner of said Lot 1; thence south 80 degrees 24 minutes 48 seconds west (plat bearing) along the southern line of said Lot 1, a distance of 50.44 feet to a point lying 50 feet westerly of and perpendicular to the eastern line of said Lot 1, said point also being the Point of Beginning of this description; thence North 02 degrees 02 minutes 31 seconds West parallel with and 50 feet westerly of the eastern line of said Lot 1, a distance of 285.00 feet; thence South 90 degrees 00 minutes 00 seconds West 116.00 feet; thence South 00 degrees 00 minutes 00 seconds West 46.00 feet; thence South 90 degrees 00 minutes 00 seconds West 65.00 feet; thence South 00 degrees 00 minutes 00 seconds West 225.47 feet to a point lying 45 feet northerly of and perpendicular to the southern line of said Lot 1; thence North 80 degrees 24 minutes 48 seconds East parallel with and 45 feet northerly of the southern line of said Lot 1, a distance of 98.00 feet; thence South 00 degrees 00 minutes 00 seconds West 45.64 feet to the southern line of said Lot 1; thence North 80 degrees 24 minutes 48 seconds East along the southern line of said Lot 1, a distance of 95.86 feet to the Point of Beginning, containing 1.118 acres, more or less, commonly known as 1201 Butterfield Road, Downers Grove, Illinois (PIN 06-30-300-013).

(hereinafter referred to as the "Property") is presently zoned in the "B-3, General Services & Highway Business District" under the Comprehensive Zoning Ordinance of the Village of Downers Grove; and

WHEREAS, the owner of the Property has filed with the Plan Commission, a written petition conforming to the requirements of the Zoning Ordinance, requesting that a special use be granted for the Property to allow an automobile repair and service shop; and,

WHEREAS, such petition was referred to the Plan Commission of the Village of Downers Grove, and said Plan Commission has given the required public notice, has conducted a public hearing respecting said petition and has made its findings and recommendations, all in accordance with the statutes of the State of Illinois and the ordinances of the Village of Downers Grove; and

WHEREAS, the Plan Commission has recommended approval of the special use; and,

WHEREAS, the Village Council finds that the evidence presented in support of said petition, as stated in the aforesaid findings and recommendations of the Plan Commission, is such as to establish the following:

1. The proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.
2. The proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.
3. The proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located.
4. The proposed use is one of the special uses specifically listed for the district in which it is to be located and, if approved with restrictions as set forth in this ordinance, will comply with the provisions of the Downers Grove Zoning Ordinance regulating this Special Use.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Village of Downers Grove, in DuPage County, Illinois, as follows:

SECTION 1. That a Special Use of the Property is hereby granted to permit an automobile repair and service shop.

SECTION 2. This approval is granted subject to the following conditions:

1. Compliance with the conditions and approval of the final plat of resubdivision entitled "Resubdivision No. 1 of Home Depot Subdivision", dated September 15, 2003, reduced copy attached and incorporated herein by reference as Exhibit A.
2. Substantial compliance with the site plans under Special Use/Plan Commission File #2008 dated January 15, 2004, reduced copy attached and incorporated herein by reference as Exhibit B.
2. The conditions and recommendations as outlined by Plan Commission in their December 2, 2003 meeting minutes, a copy of which is attached hereto and incorporated herein by reference as Exhibit C.
3. Substantial compliance with the Staff report dated November 18, 2003, a copy of which is attached hereto and incorporated herein by reference as Exhibit D.
4. Compliance with the recommended conditions of the Public Works/Engineering requirements as set forth in their memorandum dated November 19, 2003, including all

conditions of approval from the Traffic Division and recommendations, attached hereto and incorporated herein by reference as Exhibit E.

5. Substantial compliance with the applicant's (revised) consultant analysis dated January 21, 2004, attached hereto and incorporated herein by reference as Exhibit F.
6. Executed perpetual and reciprocal easement/access agreements between all property owners in the subdivision to be recorded with the Plat of Subdivision.
7. Compliance with all applicable Federal, State and Village laws, ordinances, regulations and policies.

SECTION 3. The above conditions are hereby made part of the terms under which the Special Use is granted. Violation of any or all of such conditions shall be deemed a violation of the Village of Downers Grove Zoning Ordinance, the penalty for which may include, but is not limited to, a fine and or revocation of the Special Use granted herein.

SECTION 4. That all ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. That this ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as provided by law

Mayor

Passed:

Published:

Attest: _____

Village Clerk

PLANNING & COMMUNITY DEVELOPMENT / STAFF DEVELOPMENT TEAM REPORT

To: Plan Commission
Prepared By: Keith R. Sbiral, Current Development Planner
Meeting Date: December 2, 2003
Date Prepared: November 18, 2003

FILE COPY

Project Title: Discount Tire Company; New Retail Facility
Petitioner: Discount Tire Company (Greenberg Farrow Architects, Petitioner's Representative)
Petitioner Address: 3455 Salt Creek Lane, Ste. 200, Arlington Heights, IL 60004

BACKGROUND INFORMATION

Property Address: 1201 Butterfield Road, Downers Grove, IL
Existing Zoning: B-3, General Services and Highway Business
Application/Notice: The application has been filed in conformance with applicable procedural and public notice requirements.

Requested Action

1. Approval of a proposed Final Plat of Subdivision per Chapter 20, Section 20-504, *Final Plat - Petition*.
2. Approval of a proposed Special Use to authorize an Automobile Repair and Service Shop for the installation of tires and wheels operated in conjunction with retail sales facility per Chapter 28, Article XIX, *Special Uses*.

BACKGROUND

The site of the proposed development is an existing retail center, the Home Depot Subdivision, located at the northwest corner of Butterfield Road and Interstate 355. The Home Depot Subdivision was originally approved January 1997 (PC 987, Res. No. 96-7 and PC 992, Res. No. 97-4). The original approval of the retail center included four (4) lots. The Home Depot home improvement center is the primary retail outlet and occupies Lot 1, Lot 2 was occupied by a PetsMart store but is currently vacant, and Lots 3 and 4 currently contain a Golfsmith store. The proposed development of the Discount Tire Company is at the southeast corner of the retail center opposite the Golfsmith store.

ANALYSIS**Requested Action***Final Plat of Subdivision Approval*

The proposed subdivision proposes to create one additional lot at the southeast corner of the retail center out of Lot 1. The petitioner is requesting final plat approval per Section 20-504 of the Subdivision Ordinance in order to create the additional out lot. The petitioner is proposing to create a new 48,684 square foot lot (1.12 acre; Lot 5).

The proposed subdivision would allow the proposed lot 5 to be created in technical conformance with Code and still allow Lot 1 to remain in technical conformance with Code; however, certain concerns regarding the proposed lot configuration and its potential resulting impact on site circulation locally and overall have been discussed with the petitioner and will be discussed further below.

Also, based on the indicated proposed lot lines, the addition of new elements such as parking landscape islands are indicated either completely or partially on adjoining property. Adjustments should be made to ensure that clear distinction is made in terms of ownership and maintenance of the petitioner's property versus that of adjacent properties as discussions during the original subdivision made note of ensuring that the center is consistently maintained. This will be an issue that should continue to be monitored by the Center as a consistency of landscaping, lighting quality and quantity, parking, and safe traffic access and circulation, as well as provisions to screen adjacent residential uses are important concerns. Center property owners should continue to recognize that, although separate ownership of parcels, the entire Center must operate as a unified whole.

Lot Characteristics with Proposed Subdivision
(Existing Lots 2, 3, and 4 are unaffected)

	Required	Home Depot (Lot 1)	Discount Tire (Lot 5)	Difference (%): Home Depot; Discount Tire
Lot Area (s.f.)	10,500	515,750	48,684	+4811; +363
Lot Width (ft.)	75	444	96	+492; +28
Lot Depth (ft.)	140	800	285	+471; +103
Lot Frontage (ft.)	50	444	95.86	+788; +92

Special Use Approval

The retail sales use is permitted by right in the B-3 zoning district; however, the petitioner is requesting approval of a Special Use for the Automobile Repair and Service Shop component of a new 8,480 square foot retail sales facility that includes a showroom, new and used tire storage, and eight (8) service bays. The petitioner has stated that the proposed business will consist primarily and substantially of the retail sales of tires and wheels and incidental work required to mount, service, repair and maintain these and related items. The petitioner has also indicated that no heavy mechanical work such as brake repair, engine or transmission work, etc. will be performed at this location. The hours of operation will be Monday through Friday, 8:30 A.M. to 6:00 P.M., and Saturday, 8:30 A.M. to 5:00 P.M. The business will be closed on Sunday.

Chapter 28, Section 28-1902 outlines the Standards for Approval of a Special Use. The petitioner has responded to the standards in the attached document entitled, "Statement of Support for a Special Use Permit for Discount Tire Company," and will address these issues to the Plan Commission as well as an overview of the project and proposed operations at the Plan Commission hearing for consideration.

Zoning and Future Land Use Plan

Zoning

The subject property is zoned B-3 *General Services and Highway Business District*. The proposed retail sales use is allowed by-right and the automobile repair component is specifically listed in the B-3 district as a Special Use.

Future Land Use Plan

The current Future Land Use Plan classifies the subject property as *Office Research and Manufacturing* (ORM; Purple). In this area, as well as others, the Village has employed B-3 zoning in conjunction with the ORM land use designation. The subject property has been firmly established as a commercial retail center and is consistent with the Future Land Use Plan. Also, discussions of this area as part of the Strategic Land Use Planning Workshops acknowledged that traditional commercial retail use of the property is appropriate and should be encouraged and continued with a subsequent recommendation for staff to pursue redesignation of this area to the Commercial (red) land use designation (see attached minutes excerpt) as part of Future Land Use Plan administration.

	Existing Zoning	Existing Use	Future Land Use Plan
North	B-3	Commercial Uses	Office Research and Manufacturing (Purple)
South	O-R-M	Office/Hotel Commercial	Office Research (Light Blue)
East	B-3	Commercial Uses	Commercial (Red)
West	B-3	Commercial Uses	Commercial (Red)

Site

Site Characteristics

The overall shopping center site is approximately 18.16 acres and remains in the configuration in which it was approved in 1997 with its primary access from a single access off of Butterfield Road. A privately and separately owned parcel to the north of the Center provides storm water detention for the Center by agreement, which will continue. The shopping

center site also contains a perimeter road that provides for utilitarian access to all areas of the site and stores. The newly proposed lot will incorporate a portion of this perimeter site access road. The petitioner is proposing to amend existing access agreements between the property owners to ensure continued access to the perimeter road by all users of the retail center.

The introduction of the new use warrants some Staff concern with respect to the additional trip generation and increased numbers of vehicles traversing the site entry and its intersection with the perimeter road and increased potential for vehicular conflict as the entry throat distance is relatively short during higher volume peak periods, for example, during Saturday a.m. periods. As part of the original subdivision approval pursued by Home Depot, the spirit and intent was established that even if separate owners own the different lots, the center must operate in a safe, efficient, and consistent manner as a whole. Traffic circulation and impacts may need to be monitored should the petition be approved, and future refinements or modifications to site circulation and traffic patterns may be needed. These issues are further elaborated upon in the discussion on site engineering issues.

Bulk Characteristics

The proposed structure meets bulk requirements. The maximum Floor Area Ratio (FAR) in the B-3 District is 0.75, which would yield a maximum building floor area of 36,513 square feet. The proposed FAR for this subject property is approximately 0.18, or 76 percent below the maximum permitted. The building is proposed to be a maximum of 26 feet tall as measured to the top of the façade, which is 57 percent below the maximum allowable height of 60 feet.

It should be noted that, if the proposed subdivision is approved, the existing/remaining Home Depot lot (Lot 1) will maintain conformity with Code.

Bulk Characteristics with Proposed Subdivision				
	Required	Home Depot (Lot 1)	Discount Tire (Lot 5)	Difference (%): Home Depot; Discount Tire
Floor Area Ratio (GSF/Lot Area)	0.75	0.26	0.18	-65; -76
Height (Ft.)	60	40	26	-33; -57

Yards and Setbacks

The proposed Lot 5 is surrounded by B-3 zoning and, therefore, does not require side or rear yards. Also, as the proposed lot is not adjacent to residential uses, it does not require transitional yards. The existing front, rear, and side yard setback requirements will remain unchanged for the Home Depot lot (Lot 1). The front yard and setback requirements are met for the proposed Lot 5 as follows (please note that petitioner calculations on the site plan are not accurate and will be adjusted prior to approval):

	Discount Tire Setbacks (Lot 5)		
	Required	Proposed	Difference (%)
Front Setback (Building)	28	47	+68
Front Setback (Parking)	25	36	+44

Green space

The petitioner is proposing to exceed the minimum green space requirements per Code. Parcels in the B-3 District require 10% of the lot area, in this case 4,868 square feet, with 50% of that requirement (2,334 square feet) to be located in front of the principal structure. The total proposed green space percentage is 18.3% or 8,909 square feet, 83% above the minimum requirement. Of the total green space, 3,651 square feet is proposed to be located in front of the principal structure along Butterfield Road.

The petitioner has provided green space areas predominantly along the east perimeter of the subject property as well as

along the Butterfield Road frontage. The petitioner is also proposing to construct two new landscape islands on the north end of the new lot to include the addition of four American Purple Ash trees; however, these are indicated on the Home Depot property (Lot1). Ownership and responsibility for the newly proposed islands and plantings should be defined and the property owners should work to ensure a consistency of visual quality and maintenance as the center is perceived and works as a whole.

Required Greenspace with Proposed Subdivision

	Proposed		Difference (%): Home Depot; Discount Tire
	Required (Home Depot; Discount Tire)	Home Depot (Lot 1) Discount Tire (Lot 5)	
Total Green space (s.f.)	51,575; 4,868	79,941 8,909	+55; +83
Front Yard Green space (s.f.)	25,788; 2,434	35,587 3,651	+38; +50

Parking

Per Code, required parking for commercial uses is calculated at one parking space for every 300 square feet of gross floor area. The proposed building of 8,480 gross square feet requires 29 spaces. The plan proposes a total of 43 parking spaces. The remaining Home Depot Parcel is required to have 438 spaces and following the proposed subdivision of Lot 5 would still provide 485 spaces. The petitioner has also submitted a Traffic Impact Analysis as part of the petition, which has been reviewed by the Village's Traffic Engineer and is further discussed below.

Required Parking with Proposed Subdivision

	Required		Proposed Difference (%)
	Required	Proposed	
Home Depot (Lot 1)	438	485	+11
Discount Tire (Lot 5)	29	43	+48

Loading

A dedicated loading/unloading area for structures under 10,000 square feet is not required; however, all loading and unloading operations should occur on-site. Loading and unloading operations should also be conducted so as not to negatively impact safe and efficient operation of the site overall.

Site Lighting

The proposed parcel is not adjacent to residentially zoned property; and it is not expected site lighting will add any impact to the residential properties to the east of the Center as the purposed new parcel is approximately 670 feet to the east of these areas. Nevertheless, the lighting of the new lot should be consistent and compatible with the existing overall lighting of the commercial Center. Owners of the individual parcels of the center should coordinate to ensure a consistent and safe level of site lighting quality and quantity throughout the Center that does not negatively impact residential areas to the east per the original subdivision approval.

Buildings and Design

The petitioner is proposing a building design consisting primarily of split faced brick masonry with aluminum and glass storefront walls for the retail/showroom area. Architecturally compatible rooftop screening of large mechanical equipment should be provided. Color renderings of the proposed facility, as well as dimensioned elevations, are attached. Overall the building employs classical architectural elements. The design and materials are consistent with retail centers and buildings in the area and should pose an overall positive visual/aesthetic addition to the center.

Public Works / Engineering

Engineering and Stormwater Management

Public Works Staff and the Village's engineering consultant have reviewed the proposed plans and detail their conclusions in the attached memorandum dated November 19, 2003. No wetlands are impacted by the development and no Special Flood Hazard Areas or Localized Poor Drainage Areas exist on the proposed site. The site will be connected to the existing stormwater management facilities located on a lot north of the subdivision with an easement specifically dedicated for this use. Remaining issues entail satisfaction of procedural requirements that can be satisfied prior to issuance of stormwater permits.

Traffic

The access to the property is via the existing 25-foot wide main access road owned by and shared with Home Depot. Other uses in the center also use this primary access point. No additional curb cuts are proposed or required along Butterfield road at this site.

The Traffic Division has reviewed the petitioner's Traffic Impact Analysis from the petitioner's traffic consultant and generally concurs with its conclusion that the proposed development may not adversely impact area intersections and roadways.

The Traffic Division does, however, recommend certain conditions be addressed prior to Council consideration including adjusting drive aisle alignment in front of the new facility and more clearly defined vehicular circulation to the north of the new facility. The northbound lane along the new building terminates in a landscape island. Striping and physical separation should be provided to clarify traffic lanes as well as loading and refuse pickup areas.

Certain other conditions should be addressed prior to certificate of occupancy; these conditions include installation of a stop sign for westbound traffic on the east-west drive in conjunction with "Do Not Block Intersection" signage to control congestion and lane blockage. Also, the barrier median should be removed from between the outbound left turn and right turn lanes consistent with the petitioner's traffic consultant recommendation.

Staff maintains some site circulation concerns that may negatively impact existing areas of concern primarily associated with the main, high-volume entry-exit point and its intersection with the perimeter road. In addition the overall site circulation pattern may need to be revisited in the future to help ensure its safe and efficient operation for all users of the center.

Landscape Plan


The proposed landscape plan has been reviewed by the Village Forester who has indicated that the proposed species and design is acceptable; however, serious consideration should be given to additional plantings to help screen the utilitarian back (east and north) sides of the facility as well as to enhance the site and Center overall. These should be indicated on the rendered site plan. A comprehensive site/Center landscape plan should be considered by Center owners in the future.

RECOMMENDATION:

The Staff Development Team has reviewed the petitioner's request and concurs to recommend that the Plan Commission consider forwarding a positive recommendation to the Village Council in response to the petitioner's request subject to the following conditions:

1. All plans should be coordinated and be consistent with respect to the proposed design prior to Village Council consideration.
2. Compliance with all Public Works/Engineering requirements/conditions outlined in their memorandum dated November 19, 2003, including all conditions of approval from the Traffic Division and recommendations in the petitioner's traffic consultant analysis dated November 11, 2003, prior to issuance of Certificate of Occupancy.
3. Executed, perpetual and reciprocal easement/access agreements between all property owners in the Center must be obtained and recorded with the Plat of Subdivision.
4. Loading/unloading operations, including refuse, shall occur on site and not obstruct or hinder safe parking and site circulation for the center for vehicles and pedestrians.

5. All storage of tires, refuse, or other materials shall occur in the facility in appropriate enclosures at all times.
6. Substantial compliance with the approved plans for this petition and compliance with all applicable conditions and recommendations as part of the originally approved preliminary and final subdivision per PC 987, Res. No. 96-71 and PC 992, Res. No. 97-4.
7. Compliance with all applicable Federal, State, and Village laws, ordinances, regulations and policies.

 Joseph Skach, AIA, AICP, NCARB
Director, Planning and Community Development

- c: Rick Ginex, Village Manager
David Van Vooren, Deputy Village Manager (Acting Director, Public Works)
Don Rosenthal, Director, Code Services
Michael Millette, Assistant Director, Public Works, Engineering
Jonathan Hall, Development Engineering Manager
Dorin Fera, Traffic Engineering Manager
Howard Hoffman, Chief, Fire Prevention Bureau
File



HAMPTON LN

GLEN PARK RD

HOPE LN

EVEREST RD

CORONET RD

LOYD LN

Fmr. Petsmart

Home Depot

I-35 RAMP

I-35

SITE

Golfsmith

BUTTERFIELD RD

WOOD CREEK DR

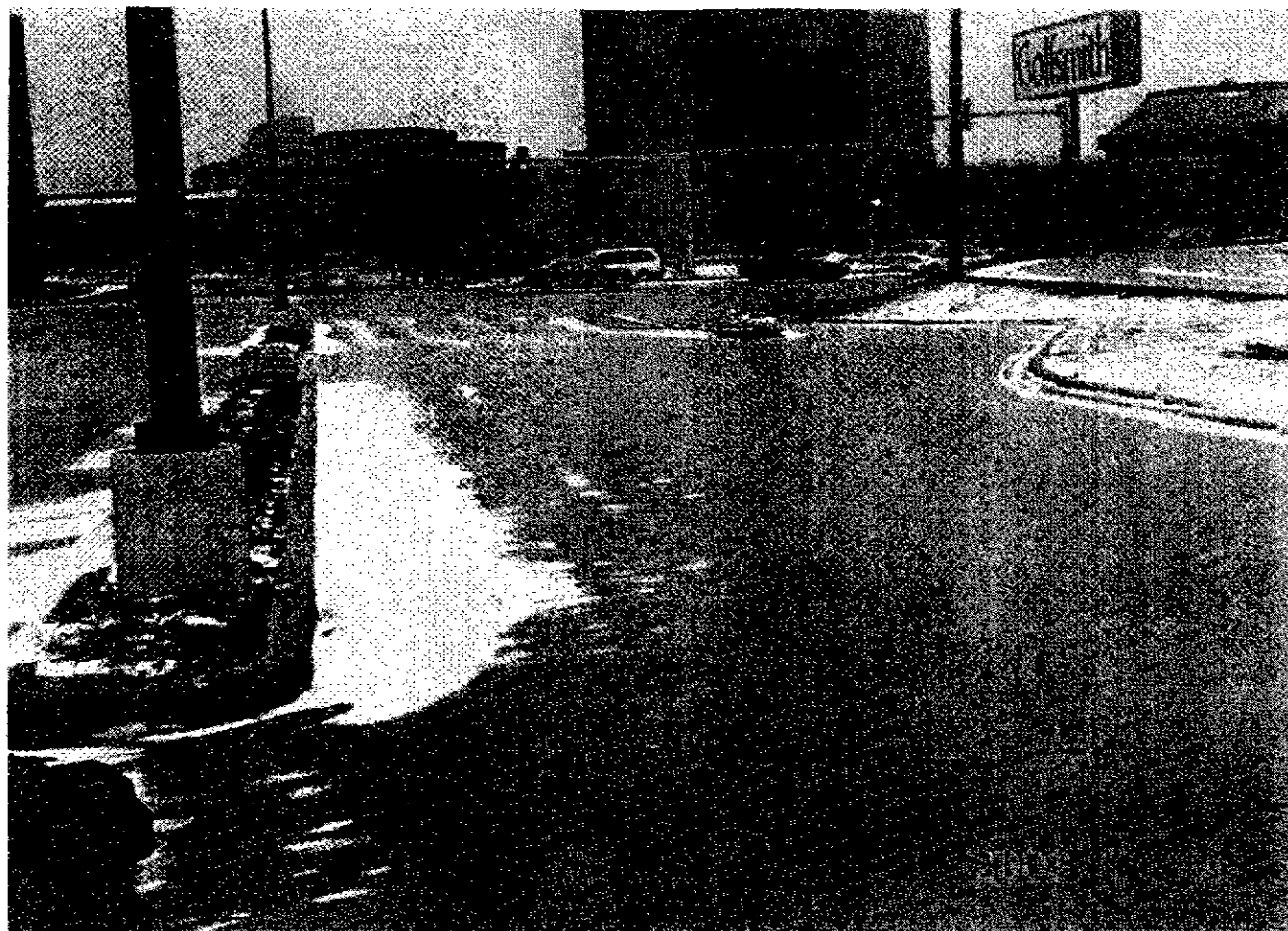
LACEY RD

ESPLANADE RD



Discount Tire - PC 2008 Planning & Community Development







October 9, 2003

VIA FACSIMILE AND POST

Mr. Todd Moser
Greenburg Farrow
3455 Salt Creek Lane - Suite 100
Arlington Heights, IL 60005

www.vil.downers-grove.il.us

Re: Proposed Discount Tire Subdivision and Special Use, 2000 Butterfield Road

Dear Mr. Moser,

COMMUNITY
RESPONSE CENTER
630.434.CALL (2255)

The Staff Development Team has had an opportunity to review the recently resubmitted plans. Certain issues remain to be addressed prior to Plan Commission consideration, primarily consistent with those referenced in our previous correspondence dated July 23, 2003 and briefly summarized as follows with some additional detail:

CIVIC CENTER
801 Burlington Ave.
Downers Grove
Illinois 60515-4776
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

1. Plans and supporting materials should be submitted in support of the request for a special use for the proposed automobile repair facility. Site/engineering and architectural plans should be consolidated into a single zoning set organized into an "existing" and "proposed" format, and should be submitted to my attention. Please provide key zoning requirements summary by parcel (e.g., requirement, existing, proposed, surplus/deficit). A brief, general description of the proposed project should be included also addressing expected store operations issues such as expected hours of operation for the store. Colored site and building renderings will be needed for the Plan Commission packets.

FIRE DEPARTMENT
ADMINISTRATION
6701 Main Street
Downers Grove
Illinois 60515-1506
630.434.5980
FAX 630.434.5998

2. The proposed configuration of the Discount Tire parcel requires submission of a properly prepared Plat of Subdivision per Code for review. As you intend to proceed directly to Final Plat, please provide an existing plat and proposed Final Plat of Subdivision including legal descriptions and all required signature blocks. Perpetual/reciprocal agreements need to be provided and verified between the Discount Tire parcel, the Home Depot parcel and the Johnson property to the north. As discussed, it is still believed that the proposed lot lines result in less than desirable parking, traffic and pedestrian circulation patterns.

POLICE DEPARTMENT
825 Burlington Ave.
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

3. Correct previously discussed dimension inconsistencies on all plans. On Sheet A1.0, provide additional dimensioning on floorplan, as well as a top of deck dimension for building height per Code.

4. Proposed site/building lighting photometrics need to be submitted and reviewed.

PUBLIC WORKS
DEPARTMENT
5101 Walnut Ave.
Downers Grove
Illinois 60515-4074
630.434.5460
FAX 630.434.5495

5. Provide a parking analysis for each parcel (including ADA accessible spaces).

6. At this time, variations may not be required; however, this will need to be verified based on finalized plans for Plan Commission review.

7. Comments from Public Works/Engineering Staff are forthcoming; however, the whole project site will need to work as a whole. A traffic impact assessment needs to be provided as a result of the new use and new trips generated and vehicles accessing/exiting the site from Butterfield Road and crossing the Home Depot parcel. As previously discussed, the traffic assessment should also address impacts of additional vehicles entering the site and the current short dimension between the entry to the site from Butterfield Road and the service drive. Coordination with IDOT should also be provided. Drive aisles should also all align. The aisle/parking island configuration on the north side of the building poses a confusing traffic pattern and a collision risk for backing vehicles. Adjacent drive aisle dimensions should be provided.

DEPARTMENT OF
SOCIAL & HEALTH
SERVICES
842 Curtiss Street
Downers Grove
Illinois 60515-4761
630.434.5595
630.434.5599

The issues above are based on the current plans and may be revised upon submission of a complete packet for review. We believe it would be beneficial and we would be happy to meet with the petitioner and/or the project team in preparation for a Plan Commission submission. Please contact me at 630-434-5531 with any additional questions or to set up a time for us to go over the above if desired.

Sincerely,

Amanda G. Browne, Planner
Planning and Community Development

c: Joe Skach, Director, Planning and Community Development
Mike Millette, Assistant Director, Public Works, Engineering
Jon Hall, Development Engineering Manager
Dorin Fera, Traffic Engineer





July 23, 2003

www.vil.downers-grove.il.us

COMMUNITY
RESPONSE CENTER
630.434.CALL (2255)

CIVIC CENTER
801 Burlington Ave.
Downers Grove
Illinois 60515-4776
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

FIRE DEPARTMENT
ADMINISTRATION
6701 Main Street
Downers Grove
Illinois 60515-1506
630.434.5980
FAX 630.434.5998

POLICE DEPARTMENT
825 Burlington Ave.
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

PUBLIC WORKS
DEPARTMENT
5101 Walnut Ave.
Downers Grove
Illinois 60515-4074
630.434.5460
FAX 630.434.5495

DEPARTMENT OF
SOCIAL & HEALTH
SERVICES
842 Curtiss Street
Downers Grove
Illinois 60515-4761
630.434.5595
FAX 630.434.5599

Mr. Don Thraikill
Assistant Vice President, Construction
Discount Tire Co., Inc.
20225 North Scottsdale Road
Scottsdale, Arizona 85255

Re: 1201 Butterfield Road; Proposed *Discount Tire Co.*

Dear Mr. Thraikill:

Thank you for the opportunity to provide preliminary comments of your concept documents received today. Also, certain areas of definite concern are noted and they include but are not limited to:

1. The proposed facility is located in a B3 zoning district and based on the conceptual plans and description you provided Discount Tire would be required to obtain a *Special Use* for an Automobile Service Shop. It also will likely require subdivision approval. Subdivision would necessitate that the newly created and remaining parcels remain in compliance with code. The Zoning and Subdivision Ordinances are available at www.vil.downers-grove.il.us.
2. The front required yard may be adequate but needs to be confirmed upon verifying height of scaled building elevation drawings. Confirm all required yard dimensions. This would also hold true for building signage.
3. The proposed/indicated property line splitting or cutting across existing drive aisles is of concern and at minimum would require perpetual, reciprocal access easements between the two properties. The disposition of the front/south proposed property line is unclear.
4. Verify parking requirements can be met for each use/parcel on the tract after subdivision. Shared parking can be explored; however, a parking analysis would be needed (a sample format is attached).
5. There is concern regarding the current entry/exit to the tract off of Butterfield Road with existing traffic now traversing highly trafficked entry lanes and how this proposed higher intensity use may further exacerbate the condition. A traffic impact assessment would be needed.
6. Ten percent of the newly proposed lot will require landscaped green space with at least 50% of that in the front yard.
7. Site/storm water engineering impacts need to be addressed as storm water management needs to be addressed for the entire tract.
8. Based on the above, a preliminary plat petition should be considered.

In addition to the project specific items above, please provide the following on future submittals.

9. Provide *Existing/Required and Proposed Zoning* information preferably in a tabular format and located, preferably, on a site plan or in another easily identifiable location per the attached model.
10. Provide complete, scaled plan sets to include existing and proposed plats of survey and subdivision, site/landscape plans/site engineering, and building elevations with annotated materials.



www.vil.downers-grove.il.us

These are preliminary comments. Upon formal application to the Village, a more detailed review will be conducted by the appropriate Village Departments. Feel free to contact Amanda Browne, Planner with any additional questions at 630.434.5531.

Sincerely,

Joseph Skach, AIA, AICP, NCARB
Director, Planning and Community Development

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FAX 630.434.5571

- c: Amanda Browne, Planner ✓
- Mike Millette, Assistant Director Public Works, Engineering
- Jon Hall, Development Engineering Manager/Storm Water Administrator
- Dorin Fera, Traffic Manager
- File

**FIRE DEPARTMENT
ADMINISTRATION**
6701 Main Street
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Illinois 60515-1506
630.434.5980
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SOCIAL & HEALTH
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842 Curtiss Street
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X 630.434.5599

Proposed Parking Demand Analysis

(SAMPLE)

Project Name
Project Address/Location

PARCEL X

SPACE	SPACE	CODE USE	SF	VACANT SF	PARKING CALC SF	PARKING RATIO (1:X)	PARKING REQUIRED	REMARKS
1	Groveside Florist	Commercial	1,454		1,454	300	5	
2	State Farm Office	Office	1,060		1,060	400	3	
3	Chilco - Snack Shop	Restaurant	1,295		1,295	100	13	
4	Vacant	Commercial	2,700	2,700	2,700	300	9	Calculated as Retail
5	Vacant	Commercial	2,300	2,300	2,300	300	8	Calculated as Retail
6	Sun Cleaners	Commercial	2,000		2,000	300	7	
7	Quick Wash - Laundromat	Commercial	2,000		2,000	300	7	
8	Roundheads - Pizza Restaurant	Restaurant	2,400		2,400	100	24	
9	Kin-Ko Ace - Hardware Store	Commercial	16,720		16,720	300	56	
10	Kin-Ko Ace Office-Lower Level	Office	2,650		2,650	400	7	
11	Kin-Ko Ace Storage-Lower Level	Warehousing	2,650		2,650	1,000	3	
12	Main St Liquors	Commercial	4,818		4,818	300	16	
13	Sonus-USA, INC.-Hearing Aid Offices	Medical	1,019		1,019	100	10	
14	G.S.A. - Navy	Office	646		646	400	2	
15	Michaels Driving School	Office?	800		800	400	2	
16	G.S.A. - Government Offices	Office	2,642		2,642	400	7	
17	Dr. McKee - Dentist	Medical	2,189		2,189	100	22	
18	G.S.A. - AirForce	Office	586		586	400	1	
19	Barber	Commercial	440		440	300	1	
20	Barkley Beauty	Commercial	580		580	300	2	
21	Weight Watchers	Commercial	1,752		1,752	300	6	
22	Vacant	Commercial	4,595	4,595	4,595	300	15	Calculated as Retail
23	Super Nails	Commercial	1,524		1,524	300	5	
24	Vacant	Commercial	1,408	1,408	1,408	300	5	Calculated as Retail
25	Dairy Queen	Restaurant	1,057		1,057	100	11	
26	Edw. D. Jones - Office	Office	1,204		1,204	400	3	
27	Vacant	Commercial	1,318	1,318	1,318	300	4	Calculated as Retail
28	Mexican Restaurant	Restaurant	1,260		1,260	100	13	
29	Leased to Parcel "B"	Restaurant	0				8	
31	Vacant - 2 Offices	Office	400	400	400	400	1	Calculated as Office
32	G.S.A. Downstairs	Office	627		627	400	2	
33	Shildi - Office	Office	370		370	400	1	
34	Marrone (Farmers) - Office	Office	542		542	400	1	
35	United Telephone-Office	Office	133		133	400	0	
36	Unrentable & Utility Areas	NA	0		0	0	0	

TOTALS	67,139	12,721	67,139	10,600	277
TOTAL LEASABLE AREA	79,860				
CURRENT VACANCY	15.93%				
TOTAL PARKING REQUIRED					277
TOTAL PARKING PROVIDED					269
SURPLUS (DEFICIT)					12

PARCEL X

SPACE	SPACE	CODE USE	SF	VACANT SF	PARKING CALC SF	PARKING RATIO (1:X)	PARKING REQUIRED	REMARKS
2	Drug Store	Retail	14,488		14,488	300	48	

TOTALS	14,488	0	14,488	300	48
TOTAL LEASABLE AREA	14,488				
CURRENT VACANCY	0.00%				
TOTAL PARKING REQUIRED					48
TOTAL PARKING PROVIDED					68
SURPLUS (DEFICIT)					20



(SHAPE)

PRELIMINARY ZONING ANALYSIS

Project: Common Name

Location: General

Date: xx/xx/xx

CRITERIA	FACTORS	REMARKS
Existing Zoning	B2	Brief remarks only if necessary
Proposed Zoning	B2	
Lot Type (Standard, Corner, etc.)	Standard	
CRITERION (Code Ref.)	FACTOR	
Lot Area (SF) (Ch. 28:)	Minimum	
Building (SF Max.) (FAR= (Ch. 28:)	0.80	335.60%
Building Coverage (SF) (Ch. 28:)	Maximum	-88.66%
Building Height (FT) (Ch. 28:)	Maximum	-77.31%
Lot Width (LF) (Ch. 28:)	Minimum	-6.67%
Lot Depth (LF) (Based on Width)	Needed	55.24%
Front Yard Depth (LF) (Ch. 28:)	Minimum	300.00%
Side Yards Depth (LF) (Ch. 28:)	One Side; Min.	200.00%
Rear Yard Depth (LF) (Ch. 28:)	No Adjoin. Alley	190.00%
Parking (1 Space(s) per XX SF= (Ch. 28:)	300.00	-72.45%
Parking (1 Space(s) per XX BR= (Ch. 28:)	300.00	-72.45%
Loading (1 Berth(s) per XX SF= (Ch. 28:)	300.00	-72.45%

Additional Remarks

APPROVED MINUTES
EXCEPT FROM...

MINUTES
OF A WORKSHOP DISCUSSION
WITH THE STRATEGIC PLANNING COMMITTEE
OF THE ECONOMIC DEVELOPMENT COMMISSION AND
MEMBERS OF THE PLAN COMMISSION
ON
JULY 28, 2003
AT THE VILLAGE HALL, COMMITTEE ROOM
IN THE VILLAGE OF DOWNERS GROVE

On behalf of the members of the Plan Commission and on behalf of the Economic Development Commission [EDC] Strategic Planning Committee [Committee], PC Chair Jirik began the discussions at 7:05 p.m.

ROLL CALL: As this meeting was a workshop discussion, attendance was voluntary.

PRESENT: Members of the Plan Commission: PC Chair Jirik, Commissioner Griesbaum, Commissioner Kahlke, Commissioner Matejczyk, Commissioner McCormick, Commissioner Nicholaou, Commissioner Reynolds, Commissioner Stark, Commissioner Waechter
Members of the Strategic Planning Committee: Commission Chair Riordan, Commissioner Chalberg, Commissioner Ryan

STAFF

PRESENT: Joseph Skach, Director, Planning and Community Development
Steven Rockwell, Director, Economic Development
Amanda Brown, Planner
Lori Skotterud, Planner
Ginny Mindo, Economic Development Staff

GUESTS: None

APPROVAL OF MINUTES FROM JULY 14, 2003

EDC Chair Riordan requested if there was concurrence on the minutes from the workshop held July 14, 2003. The members of both Commissions concurred.

Butterfield and Finley North East

* Discussions continued in refining the preliminary Goal Statements. Mr. Skach began with a brief discussion regarding the Home Depot tract. Mr. Skach stated that this area is similar to 75th and Fairview "B" district, and the Assembly concurred it should change from a Manufacturing land use designation. Commissioner Chalberg asked if it should then be Mixed Use. Mr. Skach added the Assembly discussed it as an extension of traditional Commercial [red].

He summarized that there was concurrence that the area be traditional Commercial. EDC Chair Riordan noted that, per previous discussion, the Commercial [red] should be on this site. The group concurred.

The discussion returned to Butterfield North. There were questions about use of the term "mass-class sector" – regarding different classes of mixed use. Commissioner Ryan noted that it depends on the direction of retail. Mr. Skach said this came with the discussion of having a lifestyle center and mass class – boutique versus big box. Commissioner Chalberg asked if they would continue to use the words "mass class." Mr. Skach stated that would need to be up to the group but further defined. EDC Chair Riordan asked if they were referring to the

**INTEROFFICE CORRESPONDENCE
DEPARTMENT OF PUBLIC WORKS**

TO: Joseph P. Skach, AIA, AICP, Director of Planning and Community Development
FROM: David Van Vooren, Acting Director of Public Works
BY: Michael D. Millette, P.E., Asst. Director of Public Works – Engineering *MDM*
Jonathan C. Hall, P.E., Development Engineering Manager II
DATE: November 18, 2003
RE: Planning / Zoning Petition for Special Use Amendment
Discount Tire - Butterfield Road
Public Works Department Review

Documents Reviewed:

- > ALTA / ACSM Land Title Survey revised 9/15/03
- > Preliminary Engineering Plan dated 9/15/03
- > Plat of Subdivision dated 9/15/03

Attachments:

- > Review memo from Christopher B. Burke Engineering, Ltd. dated 10/8/03.
- > Review memo from Christopher B. Burke Engineering, Ltd. dated 11/03/03.

Public Works Review Summary:

Division	Representative	Date	Recommendation	Comments included
Engineering	M. Millette	11/18/03	Place on PC Agenda	X
Stormwater	J. Hall	11/18/03	Place on PC Agenda	X
Water	D. Bird	11/18/03	No comments	
Traffic	D. Fera	11/18/03	Place on PC Agenda	X
Forestry	K. Von der Heide		Place on PC Agenda	
Pavement	R. Ebel		No comments	

Recommendation:

The Public Works Department finds that the proposed development substantially meets Village design standards and therefore concurs with placement on the Plan Commission Agenda.

Public Works Department Review:

Engineering Review Comments:

The Engineering Division recommends approval.

Stormwater Review Comments:

The Stormwater Division concurs with placement on the Plan Commission Agenda. Following is a summary of key issues reviewed:

- ✓ No wetlands will be impacted by the development.
- ✓ The development is not located in a Special Flood Hazard Area (FEMA).
- ✓ The development is not located in a Localized Poor Drainage Area (LPDA).
- ✓ Stormwater detention is already provided in the existing basin north of Home Depot. This site will connect to existing storm sewers which drain to this basin.

Outstanding issues include the following:

1. A Plat of Easement will be required granting easements over all new storm sewers.
2. Provide an erosion control plan.
3. Provide a copy of the Notice of Intent application form submitted to IEPA.
4. Per normal procedures, the stormwater permit would be issued simultaneously with the building permit, requiring receipt of distribution plan copies, fees, and performance securities at that time.

All remaining stormwater issues may be resolved after formal approval of the subject Plan Commission petition but prior to issuance of any permits to begin construction.

Traffic Review Comments:

The Traffic Division concurs with placement on the Plan Commission agenda.

Forestry Review Comments:

No comments.

Pavement Review Comments:

No comments.

Water Review Comments:

No comments at this time.

PW Division Managers
Director of Code Services
Stormwater Management Engineer
C. Chalberg, Administrative Technician
L. Sup, CBBEL (via fax only: 847-823-0520)



CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road • Suite 600 • Rosemont, Illinois 60018-4920 • TEL (847) 823-0500 • FAX (847) 823-0520

October 8, 2003

Village of Downers Grove
Public Works Department - Engineering
5101 Walnut Ave.
Downers Grove, IL 60515

Attention: Jon Hall, PE

Subject: Stormwater Management Review for Home Depot – Discount Tire
(CBBEL Project No. 01-528B212)

Dear Mr. Hall:

Christopher B. Burke Engineering, Ltd. (CBBEL) has reviewed the following documents:

1. Preliminary Engineering Plan, prepared by Greenberg Farrow, dated September 15, 2003.
2. Site Plan for Discount Tire, prepared by Greenburg Farrow Architecture, dated September 12, 2003.
3. Proposed Resubdivision of Home Depot, prepared by Unknown, dated unknown.

Project Description

The proposed site is approximately 1.12 acres. The proposed development includes the construction of a commercial site on a parcel that is an existing parking lot.

CBBEL has reviewed the plans and offers the following comment that needs to be addressed to make the stormwater permit application in conformance with the Downers Grove Stormwater and Flood Plain Ordinance (Ordinance #4271). This review did not include the review of utility installations or connections. The site does not contain floodplain, localized poor drainage area or wetlands.

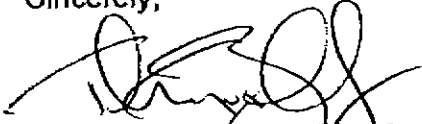
CBBEL Comments

1. The commercial property is greater than one acre, therefore detention is required. Please submit calculations for detention, or show calculations that detention and a release rate of 0.1 cfs/acre was provided for this area within the Home Depot detention pond.
2. A drainage plan must be submitted and existing and proposed topography shown on the site plan for a complete drainage review.

3. The plans and calculations must be signed and sealed by a professional engineer.

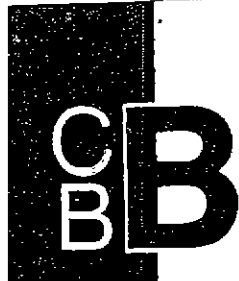
After these comments are addressed, a grading plan should be delivered to Thomas Burke at CBBEL and another plan to Jon Hall at the Village of Downers Grove. If you have any questions, please call.

Sincerely,



Thomas T. Burke, PhD, PE
Head, Water Resources Section III

Cc: Sam Kagswast – Greenberg Farrow
Esmail Ghadrhan – Greenberg Farrow
Alicia Hightower – Village of Downers Grove – Public Works
June Gornik - Village of Downers Grove – Code Services

**CHRISTOPHER B. BURKE ENGINEERING, LTD.**9575 West Higgins Road • Suite 600 • Rosemont, Illinois 60018-4920 • TEL (847) 823-~~XXXX~~ • FAX (847) 823-0520

November 3, 2003

Village of Downers Grove
Public Works Department - Engineering
5101 Walnut Ave.
Downers Grove, IL 60515

Attention: Jon Hall, PE

Subject: 2nd Stormwater Management Review for Home Depot – Discount Tire
(CBBEL Project No. 01-528B212)

Dear Mr. Hall:

Christopher B. Burke Engineering, Ltd. (CBBEL) has reviewed the following documents:

1. Grading and Utility Plan for Home Depot, prepared by Manhard Consulting, Ltd, dated July 28, 1995.
2. Grading Plan for Discount Tire Company, prepared by Greenberg Farrow Architecture, Inc., dated October 21, 2003.
3. Utility Plan and Profile for Discount Tire Company, prepared by Greenberg Farrow Architecture, Inc., dated October 21, 2003.
4. ALTA/ACSM Land Title Survey for Discount Tire Company, prepared by Greenberg Farrow Architecture, Inc., dated July 15, 2003, revised September 15, 2003.
5. Preliminary Engineering Plan, prepared by Greenberg Farrow Architecture, Inc., dated September 15, 2003.
6. Site Plan for Discount Tire, prepared by Greenburg Farrow Architecture, Inc., dated September 12, 2003.
7. Proposed Resubdivision of Home Depot, prepared by Unknown, dated unknown.

Project Description

The proposed site is approximately 1.12 acres. The proposed development includes the construction of a commercial site on a parcel that is an existing parking lot.

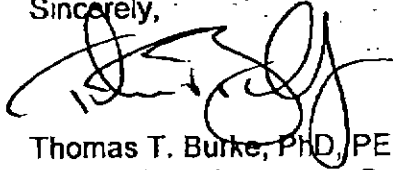
CBBEL has reviewed the plans and offers the following comment that needs to be addressed to make the stormwater permit application in conformance with the Downers Grove Stormwater and Flood Plain Ordinance (Ordinance #4271). This review did not include the review of utility installations or connections. The site does not contain floodplain, localized poor drainage area or wetlands.

CBBEL Comments

1. Please submit a sediment and erosion control plan that incorporates the attached comments as relevant.

After this comment is addressed, the sediment and erosion control plan should be delivered to Thomas Burke at CBBEL and another plan to Jon Hall at the Village of Downers Grove. If you have any questions, please call.

Sincerely,



Thomas T. Burke, PhD, PE
Head, Water Resources Section III

Cc: Sam Kagswast – Greenberg Farrow Architecture, Inc.
Todd Mosher – Greenberg Farrow Architecture, Inc.
Tom Ebels – Greenberg Farrow Architecture, Inc.
Joe Skach – Village of Downers Grove - Planning
Alicia Hightower – Village of Downers Grove – Public Works
June Gornik - Village of Downers Grove – Code Services

1. The sediment and erosion control devices shall be functional before any land is disturbed on the site.
2. Stockpiles of soil shall not be located within special management areas.
3. Sediment and erosion control shall be provided for any soil stockpile if it is to remain in place for more than three days.
4. Properties and special management areas downstream from the site shall be protected from erosion if the volume, velocity, sediment load, or peak flow rates of stormwater runoff are temporarily increased during construction.
5. Storm sewer inlets shall be protected with sediment trapping or filter control devices during construction.
6. The surface of stripped areas shall be permanently or temporarily protected from soil erosion within fifteen days after final grade is reached. Stripped areas that will remain undisturbed for more than fifteen days after initial disturbance shall be protected from erosion.
7. Water pumped or otherwise discharged from the site during construction dewatering shall be filtered.
8. A stabilized construction entrance shall be provided to prevent the deposition of soil onto public or private roadways. Any soil reaching a public or private roadway shall be removed before the end of each workday.
9. All temporary erosion control measures necessary to meet the requirements of Village Ordinance 4271 shall be kept operational and maintained continuously throughout the period of land disturbance until permanent sediment and erosion control measures are operational.

MEMORANDUM TO: Todd Mosher
Greenberg Farrow Architecture

FROM: Luay R. Aboona, PE
Javier Millan

DATE: November 11, 2003

SUBJECT: Summary Traffic Evaluation
Proposed Discount Tire Store
Downers Grove, Illinois

This memorandum presents the results of a summary traffic evaluation study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed development of a 8,480 square foot Discount Tire in Downers Grove, Illinois. The store is to be located on an outlot parcel in the southeast corner of the existing Home Depot (2000 Butterfield Road) parking lot. Access will be provided via the existing signalized access drive onto Butterfield Road. This evaluation was conducted to evaluate the impact the development will have on the access streets and on the site circulation patterns.

Existing Conditions

The proposed development will be located on an outlot parcel in the southeast corner of the Home Depot parking lot. The site also contains a Goifsmith store (28,400±square feet) and a vacant 25,416 square-foot storefront adjacent to the Home Depot store. Major land uses in the site vicinity include office/hotel buildings south of the site, single-family residential to the west, and commercial to the east. The site is served via a signalized access drive off Butterfield Road (IL 56) which is an east-west major arterial that is under the jurisdiction of the Illinois Department of Transportation (IDOT). The roadway has three through lanes in each direction. At its signalized intersection with the access drive, the roadway provides dual left-turn lanes on the west approach and an exclusive right-turn lane on the east approach. The Home Depot access drive provides two inbound lane and dual left-turn lanes and an exclusive right-turn lane for outbound movements. The outbound right-turn lane is separated from the dual left-turn lane by a raised median. KLOA, Inc. reviewed a 2001 Annual Average Daily Traffic Map (AADT) for the area prepared by IDOT to determine the amount of traffic traveling through Butterfield Road. Based on the historical data, Butterfield Road carries an average of 42,000 daily trips (two-way).

KLOA, Inc. Transportation and Parking Planning Consultants

Future Conditions

As mentioned previously the plans call for the development of a 8,480 s.f. Discount Tire Store to be located in the southwest corner of the Home Depot parking lot. The proposed development will be open from 8:30 A.M. to 6:00 P.M. Monday through Friday, 8:30 A.M. to 5:00 P.M. on Saturday and closed on Sundays.

The estimate of traffic volumes that will be generated by the proposed Discount Tire Store was based on rates obtained from the Trip Generation Manual, 6th Edition, published by the Institute of Transportation Engineers (ITE). Surveys conducted by ITE have shown that many trips made to commercial developments are diverted from existing traffic on the roadway system. Furthermore, interaction will typically occur between the different uses on site (Home Depot, Golfsmith and Discount Tire) thus reducing the amount of traffic entering and exiting the site. However, to provide a conservative evaluation, the traffic estimated to be generated by the proposed Discount Tire store was assumed to be new traffic to the roadway system and no trip reductions were applied. Table 1 presents a comparison of the trips generated by the Home Depot, the vacant store front, the Golfsmith store, the proposed Discount Tire store, and the existing ADT on Butterfield Road.

Table 1
SITE-GENERATED AND EXISTING ADT TRAFFIC VOLUME COMPARISON

Land Use	Size	A.M. Peak Hour		P.M. Peak Hour		Weekday Two-Way Traffic
		In	Out	In	Out	
Home Depot	131,522± s.f.	105	90	175	200	4,680
Vacant Retail	25,416± s.f.	15	10	40	45	520
Golfsmith	28,400± s.f.	20	10	50	50	630
Discount Tire	8,480± s.f.	15	10	15	20	210
Existing Average Daily Traffic on Butterfield Road						42,000

As can be seen from Table 1, the traffic to be generated by the proposed Discount Tire store is very minimal amounting to approximately six percent of what the total site generates during the P.M. peak hour while its estimated weekday two-way traffic is only one-half percent of the existing daily traffic on Butterfield Road.

Site Circulation

There have been some concerns regarding the circulation patterns of the existing site and how the proposed development will interact with the existing circulation patterns. KLOA visited the site on Saturday October 25, 2003 during the peak hour and observed the following:

- The outbound dual left-turn lane queues often block the first east-west drive. However, it should be noted that these queues cleared every cycle.
- When exiting the site while crossing the two inbound lanes to enter the dual left-turn lanes or the right-turn lane, vehicles traveling westbound on the first east-west drive sometimes block the inbound lanes as they wait for the queues of exiting vehicles to clear or for a courtesy gap in the queue.
- The provision of a median separating the outbound dual left-turn lanes from the outbound right-turn lane is sometimes confusing to motorists as some drives enter the outside left-turn lane thinking they can turn right onto Butterfield Road.

In order to rectify these deficiencies, we offer the following recommendations:

- Provide a "Do Not Block Intersection" sign at the first drive for westbound traffic.
- Provide better signage to clearly direct traffic towards their desired path (dual left-turn lane or right-turn lane). The removal or the reduction of the length of the barrier median separating the dual left-turn lanes from the right-turn lane will help ease the confusion.

Parking Requirements

The existing retail center provides a total of 652 parking spaces. Based on the Village of Downers Grove ordinance, the required parking is one parking space per 300 s.f. of retail area. As such, the following is a breakdown of the required parking spaces per land use.

1. Home Depot (including garden center) – 131,522 s.f.	438 parking spaces
2. Petsmart – 25,416 s.f.	85 parking spaces
3. Proposed Discount Tire – 8,480 s.f.	29 parking spaces
Total	552 required parking spaces

As previously mentioned, the existing center provides 652 spaces which is 100 spaces more than what is required by code. Based on a review of the site plan, the following is a summary of the proposed number of parking spaces per land use.

1. Home Depot (including garden center) – 131,522 s.f.	485 parking spaces
2. Petsmart – 25,416 s.f.	124 parking spaces
3. Proposed Discount Tire – 8,480 s.f.	43 parking spaces
Total	652 parking spaces

Conclusion

It is our professional opinion, based on our observations, a review of the AADT map, and our experience with similar type projects, that the additional traffic resulting from the Discount Tire store will have negligible impact on the access system of the site and the adjacent roadway system. The number of parking spaces provided is more than what is required by code and will be adequate to meet the peak parking demand. With the recommendations outlined in this evaluation, the site circulation and the access system as it exists will be adequate to accommodate the proposed development's traffic. Due to the minimal amount of traffic to be generated by the proposed development, no external street improvements and/or modifications to the access system will be required.

VILLAGE OF DOWNERS GROVE
INTEROFFICE MEMORANDUM

TO: Joe Skach, Director of Planning & Community Development
Amanda Browne, Village Planner

FROM: Dorin Fera, Manager Traffic Division

DATE: November 24, 2003

RE: **Traffic Evaluation Study - Update**
New Discount Tire
Butterfield Road at Esplanade Drive

The proposed traffic evaluation study prepared by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the subject development has been reviewed. The Traffic Division's comments are:

Current Proposed Improvement:

- The Traffic Division has no objection to the petitioner submitting this proposal as presented to the Plan Commission; however, certain issues should be addressed. The following items should be addressed prior to Council consideration:
 - Correct the aisle alignment in front of the proposed Discount Tire Store. The drawing shows the northbound lane heading into a concrete landscaped island.
 - Provide better vehicular guidance at the north side of the Discount Tire building by the dumpster enclosure. More physical separation and guidance is needed for both refuse and delivery vehicles since it appears that a formal loading zone is not provided.
- The following items should be addressed prior to issuance of certificate of occupancy:
 - The site ring road intersecting with the Center Aisle Driveway should have a STOP sign installed for westbound traffic. This action, in conjunction with the KLOA-proposed "Do Not Block Intersection" sign there, should provide improved motorist guidance.
 - Staff concurs with the KLOA-proposed recommendation of removing the barrier median in the Center Aisle Driveway exit lanes at Butterfield Road, between the dual left and the exclusive right turn lanes.

Short Term Future Concerns:

This proposed Discount Tire development has triggered several site traffic issues that staff is concerned about and should be addressed in the near future, as follows:

- Staff still has concerns about the site ring road intersecting with the Center Aisle Driveway, and will be monitoring it for a time to observe operating characteristics, congestion, and to determine its effectiveness.
 - 1.) The Center Aisle Driveway into the site leading toward Home Depot currently terminates within parked vehicles, does not reach the main doors or connect to another access drive. The present design causes confusion, and potential for vehicular conflicts, and may need to be revised.

- 2.) With no current development in the southeast quadrant of the site, the site ring road carries few vehicles, such as for periodic deliveries to Home Depot. However, with the development of the Discount Tire facility, there will be increased traffic activity on this ring road, especially at the Center Aisle Driveway intersection exiting the site. The performance at the Center Aisle Driveway may need to be improved through revisions to the median, and through physical or operational changes to the ring road.
- 3.) The island opening on the east side of the Center Aisle Driveway, located about 120 feet north of the east-west drive, is poorly designed. The present design requires zig-zag maneuvers to enter or exit the parking stalls. This type of driving is neither useful nor desirable in the parking layout of this site. With increased traffic activity, physical modification of this island may be needed to improve traffic flow and reduce the accident potential.

PROJECT SUMMARY
FINAL PLAT APPROVAL

Applicant:

Discount Tire Company is a privately held Nationwide Retail Chain with over 525 stores located in 20 States. Discount Tire currently operates eighteen (18) stores in the Illinois, with at least three (3) additional stores scheduled to open in Illinois this year.

At the proposed location, Discount Tire Company will operate a retail business, which will engage in the sale and installation of passenger car and light truck tires and wheels. Discount Tire's proposed facility will be modern, clean, and efficient. No heavy mechanical work, such as brake repairs, shock absorber replacements, engine tune-ups, or drive train repairs will be performed at the proposed location.

Discount Tire prides itself on being very customer oriented and providing fast, efficient service in a pleasant retail environment.

Discount Tire Company's hours of operation at this location are Monday through Friday, 8:30 A.M. to 6:00 P.M., and Saturday, 8:30 A.M. to 5:00 P.M. The Store will not operate on Sunday.

Site Description

Location: 1201 Butterfield Road (Southeast Corner of Lot 1 of the Home Depot Subdivision, proposed Lot 5)

Property Identification Number: 06-30-300-013

Property Owner: Home Depot

Applicant: Discount Tire Company

Zoning District: B-3 "General Services and Highway Business" Zoning District.

Project Description:

♦ Final Plat Approval:

Discount Tire is proposing to create Lot 5 in the existing Home Depot Subdivision. The proposed Lot 5 is located in the southeast corner of Lot 1 of the Home Depot Subdivision (1201 Butterfield Road in Downer's Grove). The Discount Tire parcel is 1.118 Acres, or approximately 48,684 Square Feet. Please see the "Resubdivision of No. 1 of the Home Depot Subdivision" for a Legal Description, exact lot line dimensions, and the location of Lot 5.

Requested Action:

Discount Tire Company respectfully requests Final Plat Approval and any other relief necessary to accommodate the construction of retail facility on the property located at 1201 Butterfield Road. These requests are made based on the following sections of the Village of Downers Grove's Zoning Ordinance: ARTICLE VI. Business Districts 28-609 B-3 Special Uses; Special Uses Section 28-1902; Section 20-200; Section 504 Downers Grove Subdivision Ordinance.

PROJECT SUMMARY
Special Use Permit

Applicant:

Discount Tire Company is a privately held Nationwide Retail Chain with over 525 stores located in 20 States. Discount Tire currently operates eighteen (18) stores in the Illinois, with at least three (3) additional stores scheduled to open in Illinois this year.

Discount Tire Company operates a retail business, which engages in the sale and installation of passenger car and light truck tires and wheels.

Discount Tire prides itself on being very customer oriented and providing fast, efficient service in a pleasant retail environment.

Site Description

Location: 1201 Butterfield Road (Southeast Corner of Lot 1 of the Home Depot Subdivision, proposed Lot 5)

Property Identification Number: 06-30-300-013

Property Owner: Home Depot

Applicant: Discount Tire Company

Zoning District: B-3 "General Services and Highway Business" Zoning District.

Project Description:

♦ Special Use Permit

Discount Tire Company is proposing to construct a Retail building (8,480 Square Foot), consisting of a fully enclosed retail showroom and adjacent tire installation area. The proposed retail facility will be located in the southeast corner of Lot 1 of the Home Depot Subdivision (1201 Butterfield Road in Downer's Grove). The Discount Tire parcel is 1.118 Acres, or approximately 48,684 Square Feet (See enclosed Plat of Survey).

The proposed Discount Tire facility is appropriately located in a B-3 "General Services and Highway Business" Zoning District. The proposed building exceeds all the applicable requirements of the Downer's Grove Zoning Ordinance with respect to height, bulk, area, and parking (See Site Plan). Additionally, Landscaping, in accordance with the requirements of the Zoning Ordinance, has been provided (See L-1 Landscape Plan).

At the proposed location, Discount Tire Company will operate a retail business, which will engage in the sale and installation of passenger car and light truck tires and wheels. Discount Tire's proposed facility will be modern, clean, and efficient. No heavy mechanical work, such as brake repairs, shock absorber replacements, engine tune-ups, or drive train repairs will be performed at the proposed location.

Discount Tire Company's hours of operation at this location are Monday through Friday, 8:30 A.M. to 6:00 P.M., and Saturday, 8:30 A.M. to 5:00 P.M. The Store will not operate on Sunday.

Requested Action:

Discount Tire Company respectfully requests a Special Use Permit and any other relief necessary to accommodate the construction of retail facility on the property located at 1201 Butterfield Road. These requests are made based on the following sections of the Village of Downers Grove's Zoning Ordinance: ARTICLE VI. Business Districts 28-609 B-3 Special Uses; Special Uses Section 28-1902; Section 20-200; Section 504 Downers Grove Subdivision Ordinance. Pursuant to Section 28-1902 Special Uses, please find a "Statement of Support" for the proposed use attached.

STATEMENT OF SUPPORT FOR A SPECIAL USE PERMIT FOR
DISCOUNT TIRE COMPANY
(SUPPLEMENT TO THE APPLICATION)

Village of Downers Grove, Illinois

SPECIAL USES Section 28-1902: Standards for Approval.

The Village Council may authorize a special use by ordinance provided the evidence presented is such as to establish the following:

- (i) That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

The proposed Discount Tire facility is necessary and desirable to provide a needed service; is in the interest of public convenience; and will contribute to the general welfare of the neighborhood and community in the proposed location. The proposed use is conveniently located to I-355 and Butterfield Road, which provides ample vehicular access and identification from motorists. However, the site is isolated from residential uses; and therefore, no noise or light emissions can affect residential areas. The proposed Discount Tire facility will provide jobs to area residents, will generate sales tax revenue for the Village, and will contribute to the property tax base of Downers Grove; and thereby, will contribute to the general welfare of the neighborhood and community.

- (ii) That such use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity.

The proposed use will not be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity for the following reasons: 1) No heavy mechanical work--such as brake repairs, engine tune-ups, or shock absorber replacements--will be performed on site. Only tire and wheel sales and replacement will be performed on site. All used tires and wheels will be appropriately disposed of off site; and therefore, will not adversely affect the area; 2) The proposed Discount Tire facility will provide jobs to area residents, will generate sales tax revenue for the Village, and contribute to the property tax base of

Downers Grove. 3) No additional parks, library, or school services will be necessary to serve this facility. Existing police and fire protection are adequate to provide security for the facility.

- (iii) That the proposed use will comply with the regulations specified in this Zoning Ordinance for the district in which the proposed use is to be located or will comply with any variation(s) authorized pursuant to Section 28-1802.

The proposed use will comply with all applicable regulations of the B-3 Zoning District, in which it is to be located. No variations pursuant to Section 28-1802 are required for the proposed Discount Tire Facility. This is verified by the plans submitted by Discount Tire Company to the Village for review.

- (iv) That it is one of the special uses specifically listed for the district in which it is to be located.

The proposed special use—Automobile Service Shop—is listed as one of the special uses in Section 28-609 B-3 Zoning District "General Services and Highway Business" of Downers Grove Zoning Ordinance.

HALLE PROPERTIES, L.L.C.**An Arizona Limited Liability Company**

20225 N. Scottsdale Road, Scottsdale, Arizona 85255

(480) 606-6000

Writer's Direct Line:

(480) 606-5944

FAX: (480) 606-4361

October 29, 2003

via facsimile (630)434-5571

Ms. Amanda Browne

Planner

Community Development & Planning

The Village of Downers Grove

801 Burlington Avenue

Downers Grove, IL 60515-4776

Re: Purchase and Sale Agreement by and between HD Development of Maryland, Inc. (the "Home Depot") and Halle Properties, L.L.C. ("Halle") for property located at I-355 and Butterfield Road, Downers Grove, Illinois (the "Property")

Dear Ms. Browne:

This letter will serve to advise the Village of Downers Grove that a Reciprocal Easement Agreement (the "REA") benefiting the Home Depot parcel and the Halle parcel is being negotiated. A draft of the REA is attached, which is in the form of an Amendment to an existing REA. As you will note, the REA provides for perpetual, reciprocal access easements over the Center. Although the Exhibits to the REA have not yet been prepared, it is our understanding that the Property will be defined in the REA as the "Outparcel" or the "Additional Outparcel". The REA will be agreed to among the parties prior to Halle's purchase of the Property and will be executed contemporaneously with Halle's purchase of the Property.

In addition, the Property will be purchased subject to all existing access easement agreements benefiting Joseph and Catherine M. Johnson's parcel to the north. Halle's purchase will not negatively impact the Johnsons' access.

We look forward to working with you on this transaction. Please contact me if you have any questions.

Sincerely,

HALLE PROPERTIES, L.L.C.



D. Scott Fehrman

DSF:bjh

Attachment

cc: Mr. Bruce Halle
James Silhasek, Esq.
Mr. Roger Fournier
Distribution A&C

DRAFT

This instrument prepared by and after recording, please return to:

Alston & Bird LLP
One Atlantic Center
1201 W. Peachtree Street
Atlanta, Georgia 30309-3424
Attn: Heather G. Hiller, Esq.

Cross-reference:

Document R96-073175, DuPage County Records

**FIRST AMENDMENT TO
RECIPROCAL EASEMENT AND OPERATION AGREEMENT**

THIS FIRST AMENDMENT RECIPROCAL EASEMENT AND OPERATION AGREEMENT (this "Amendment") is made and entered into as of this ____ day of _____, 2003, by and between **HOME DEPOT U.S.A., INC.**, a Delaware corporation ("HD"), **PETSMART, INC.**, a Delaware corporation, as tenant under a long term lease with **GOBP Development Partnership, L.P.** ("PM"), and **DOWNERS GROVE GOLF, L.L.C.**, a Delaware limited liability company ("DG Golf"), as successor in interest to **BGP Downers Grove, L.L.C.** ("BGP").

WITNESSETH:

WHEREAS, HD and PM entered into that certain Reciprocal Easement and Operation Agreement dated April 26, 1996, recorded May 3, 1996 as Document No. R96-073175 in the DuPage County Recorders office (the "REA"); and

WHEREAS, PM sold the PM Parcel to GOBP Development Partnership, L.P., and then leased back the PM Parcel under a long term lease; and

WHEREAS, BGP subsequently purchased Lots 3 and 4 of the Home Depot Subdivision and executed that certain Supplement to REA and Notice of New Owner dated November 7, 1997; and

WHEREAS, DG Golf purchased Lots 3 and 4 from BGP; and

WHEREAS, HD and PM and DG Golf desire to amend the REA, upon the terms and conditions set forth herein.

NOW, THEREFORE, for and in consideration of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration in hand paid by each party hereto, the receipt and sufficiency of which are hereby acknowledged, the parties hereto, intending to be legally bound, do hereby agree as follows:

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1. All capitalized terms used herein but undefined shall have the meaning given such term in the REA.

2. The first two (2) sentences of the "Factual Recitations" on Page 1 of the REA are hereby deleted in their entirety and the following sentences are inserted in lieu thereof:

"HD has acquired an approximate 790,966 square foot tract of land (more particularly described in Exhibit B) (hereinafter the "Shopping Center"); and

HD plans to divide the Shopping Center into four (4) separate parcels:

- (i) the HD Parcel (more particularly described in Exhibit C);
- (ii) the PM Parcel (more particularly described in Exhibit D);
- (iii) the Outparcel (more particularly described in Exhibit E); and
- (iv) the Additional Outparcel (more particularly described in Exhibit F).

For convenience, the HD Parcel, the PM Parcel, the Outparcel and the Additional Outparcel may be referred to collectively in this Agreement as the "Parcels" and are sometimes referred to individually as a "Parcel."

3. The Site Plan attached as Exhibit A to the REA is hereby deleted in its entirety and replaced with Exhibit A attached hereto and made a part hereof.

4. The description of the Home Depot Parcel attached as Exhibit C to the REA is hereby deleted in its entirety and replaced with Exhibit C attached hereto and made a part hereof.

5. The description of the Additional Parcel is hereby attached as Exhibit F and by this reference is made a part hereof.

6. Section 1.1(a) of the REA is hereby modified by deleting the last sentence thereof and adding the following sentence in the place and stead thereof:

"The Owners hereby grant and convey, each to the other, in perpetuity, for the benefit of and as an appurtenance to the HD Parcel, the PM Parcel, the Outparcel and the Additional Outparcel, a non-exclusive easement and right to the use of the Common Areas located on the HD Parcel, the PM Parcel, the Outparcel and the Additional Outparcel as indicated on the Site Plan and located on the Parcel of each granting Owner, for purposes of ingress, egress, parking, passage and delivery, by vehicles and pedestrians."

7. The second paragraph of Section 1.3 of the REA, beginning on page 6, is hereby deleted in its entirety and the following is inserted in the place and stead thereof:

"PM, the Outparcel Owner and the Additional Outparcel Owner may erect such signs in the PM Parcel, Outparcel and Additional Outparcel as are permitted by law, except that such signs and the applications therefor shall have no adverse affect on HD's ability to obtain governmental approval for any HD sign shown on the Site Plan. Freestanding signs shall not be permitted in the Shopping Center without the prior written approval of HD; provided, however, that each Owner or occupant of a Parcel shall be entitled to erect and maintain store

DRAFT

identification signs on the front or sides of the building(s) located on that Parcel to the extent permitted by law. The top of any sign in the Shopping Center (excluding the HD sign and PM sign) shall be no higher than the bottom of the main HD building sign.

8. The schedule found at the end of the second paragraph of Section 1.6 of the REA is hereby modified by deleting that schedule in its entirety and adding the following schedule in the place and stead thereof:

"HD Parcel"	488,794 square feet = 61.80%
"PM Parcel"	129,911 square feet = 16.42%
"Outparcel"	89,497 square feet = 11.31%
"Additional Outparcel"	82,764 square feet = 10.47%
TOTAL	790,966 square feet = 100%

9. Section 1.6 of the REA is hereby modified by deleting the first sentence of the eighth paragraph thereof, and inserting the following in the place and stead thereof:

"Subject to the terms of this REA and only to the extent that any other easement or right is granted hereunder, but reserving to itself to the same extent that it hereby grants rights under these three Agreements, HD grants to PM, Outparcel and Additional Outparcel on a non-exclusive basis the rights and benefits under the Storm Water Agreement, the Retaining Wall Agreement, and the Rootberg REA."

10. Section 9.1(a) of the REA is hereby modified by adding the following after the last sentence thereof:

"Notwithstanding the foregoing, any business operating on the Additional Outparcel that primarily conducts the retail sale and installation of tires and wheels shall be permitted to sell any products and perform services typical of a business conducting the retail sale and installation of tires and wheels."

11. Section 9.1(b) of the REA is hereby modified by adding the following after the last sentence thereof:

"Notwithstanding the foregoing, any business operating on the Additional Outparcel that primarily conducts the retail sale and installation of tires and wheels shall be permitted to sell any products and perform services typical of a business conducting the retail sale and installation of tires and wheels."

12. Upon any split of the HD Parcel, HD will remain the decision-making Owner of the HD Parcel for purposes of the REA.

13. Except as hereinabove modified, the REA shall remain in full force and effect, in accordance with its terms, as modified by this Amendment. The REA, together with this Amendment, contains the entire agreement of the parties hereto with respect to the matters described herein, and no representations, inducements, promises or agreements, oral or otherwise between the parties not embodied and incorporated herein by reference shall be of any force or effect.

(Signatures begin on following page)

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DRAFT

IN WITNESS WHEREOF, each of HD, PM and DG Golf has caused its duly authorized representative to execute this Amendment under seal as of the date first above written.

HOME DEPOT U.S.A., INC.,
a Delaware corporation

By: _____
Name: _____
Title: _____

[CORPORATE SEAL]

STATE OF GEORGIA,)
)
COUNTY OF COBB,) ss.

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY, that _____, personally known to me to be the _____ of Home Depot U.S.A., Inc., a Delaware corporation, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such _____, (s)he signed and delivered the said instrument as his/her free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

Given under my hand and official seal, this ____ day of _____, 2003.

NOTARY PUBLIC

My Commission expires _____

(NOTARY SEAL)

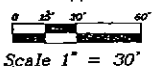
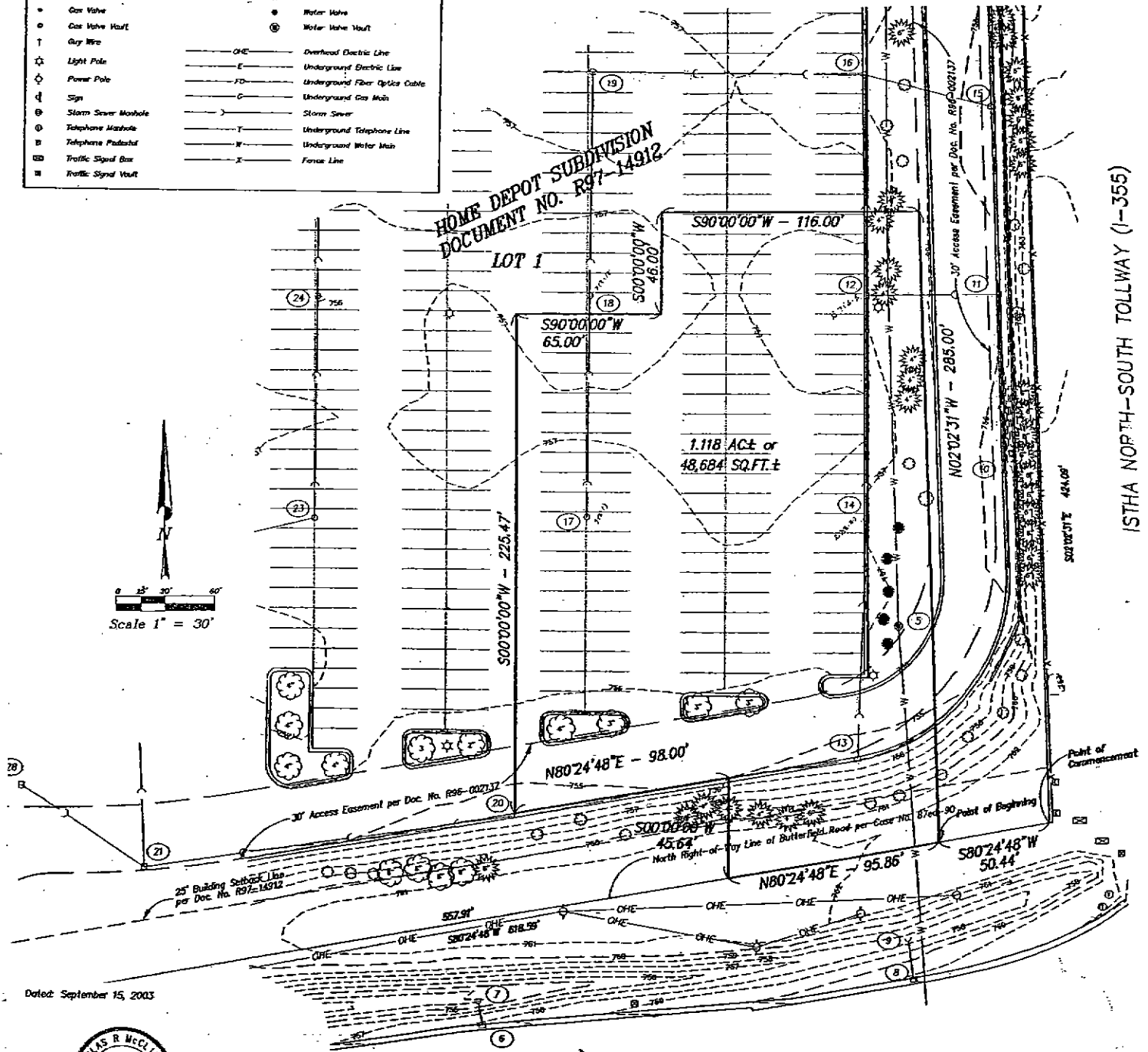
ALTA/ACSM LAND TITLE SURVEY

PART OF LOT 1 IN HOME DEPOT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 39 NORTH, RANGE 11 EAST, OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 30, 1997, AS DOCUMENT NUMBER R97-14912, IN DUPAGE COUNTY, ILLINOIS, SAID PART BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEASTERN CORNER OF SAID LOT 1; THENCE SOUTH 80 DEGREES 24 MINUTES 48 SECONDS WEST (PLAT BEARING) ALONG THE SOUTHERN LINE OF SAID LOT 1, A DISTANCE OF 50.44 FEET TO A POINT LYING 50 FEET WESTERLY OF AND PERPENDICULAR TO THE EASTERN LINE OF SAID LOT 1, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 02 DEGREES 02 MINUTES 31 SECONDS WEST PARALLEL WITH AND 50 FEET WESTERLY OF THE EASTERN LINE OF SAID LOT 1, A DISTANCE OF 285.00 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 116.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST 46.00 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 65.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST 225.47 FEET TO A POINT LYING 45 FEET NORTHERLY OF AND PERPENDICULAR TO THE SOUTHERN LINE OF SAID LOT 1; THENCE NORTH 80 DEGREES 24 MINUTES 48 SECONDS EAST PARALLEL WITH AND 45 FEET NORTHERLY OF THE SOUTHERN LINE OF SAID LOT 1, A DISTANCE OF 98.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST 45.64 FEET TO THE SOUTHERN LINE OF SAID LOT 1; THENCE NORTH 80 DEGREES 24 MINUTES 48 SECONDS EAST ALONG THE SOUTHERN LINE OF SAID LOT 1, A DISTANCE OF 95.86 FEET TO THE POINT OF BEGINNING, CONTAINING 1.118 ACRES, MORE OR LESS.

SYMBOL LEGEND

○ Drainage Structure Road	○ Bush (Deciduous)
□ Drainage Structure Spruce	● Bush (Evergreen)
■ Electric Transformer	⊗ Tree Deciduous (C"= Size)
⊞ Electric Pedestal	⊗ Tree Evergreen (C"= Size)
⊕ Fire Hydrant	○ Water Valve
< Flared End Section	● Water Valve Vault
○ Gas Valve	— OHE — Overhead Electric Line
○ Gas Valve Vault	— E — Underground Electric Line
↑ Guy Wire	— FD — Underground Fiber Optics Cable
☆ Light Pole	— G — Underground Gas Main
◇ Power Pole	— S — Storm Sewer
⊕ Sign	— T — Underground Telephone Line
⊕ Storm Sewer Manhole	— W — Underground Water Main
⊕ Telephone Manhole	— X — Fence Line
⊕ Telephone Pedestal	
⊕ Traffic Signal Box	
⊕ Traffic Signal Vault	



Dated: September 15, 2003



JACOB & NEFFER ASSOCIATES, P.C.
ENGINEERS & SURVEYORS
739 Roosevelt Rd., Suite 100
Glen Ellyn, IL 60137
630-942-9900 FAX 630-942-1774

BUTTERFIELD ROAD (IL RTE. 56)

- REVISED: 09/15/03 - Revised boundary shape
- REVISED: 09/03/03 - Converted Two Sheets into One
- REVISED: 08/02/03 - Annotated Discount Tire boundary
- REVISED: 08/26/03 - Added proposed shape for Discount Tire boundary

Survey No.:	D105
Ordered By:	Greenberg Farrow
Description:	ALTA/ACSM Land Title Survey
Date Prepared:	July 15, 2003
Scale:	1" = 30'
Field Work:	
Prepared By:	

ISTHA NORTH-SOUTH TOLLWAY (I-355)



GREENBERG FARR
ARCHITECTURAL
ENGINEERING
DEVELOPMENT

3455 BALT CREEK LANE, SU
 ARLINGTON HEIGHTS, ILLINOIS
 VOICE 847/798-96
 FAX 847/798-96

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 referenced Architect, and is not to be
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DRAWING ISSUE RECORD

DATE	DESCRIPTION
09/03/03	INFORMAL REVIEW
09/15/03	ISSUED FOR REVIEW
10/21/03	ISSUED FOR SUBMIT

REVISION RECORD

NO.	DATE	DESCRIPTION

PROFESSIONAL SEAL

PRINCIPAL IN CHARGE
 ESMAIL GHADRAN
SITE DEVELOPMENT
 COORDINATOR
 TODD MOSHER
PROJECT MANAGER
 SAM KACSWAST
QUALITY CONTROL
 LARRY DEHL

PROJECT NAME
 DISCOUNT TIRE COMP

DOWNERS GROVE
BUTTERFIELD RD
and 355 TOLL WY

PROTOTYPE CODE

XXXX-XX

PROJECT NUMBER
 20030545

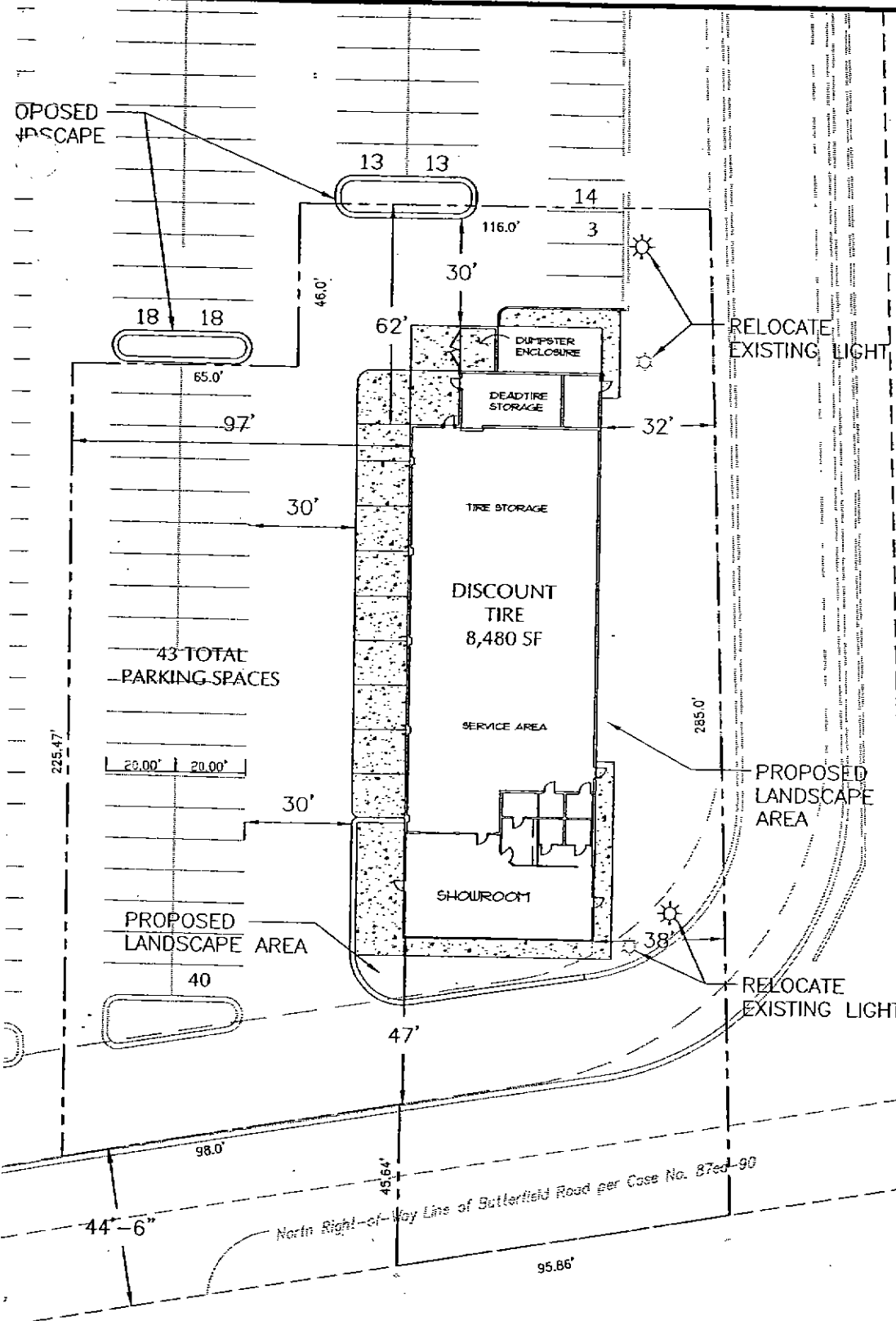
SHEET TITLE

SITE
PLAN

SHEET NUMBER

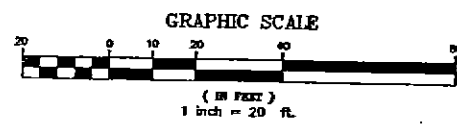
1

NOT ISSUED FOR CONSTRUCTION



5 02'02.31"E 424.09'
 (ISTHA) NORTH - SOUTH TOLLWAY I-355

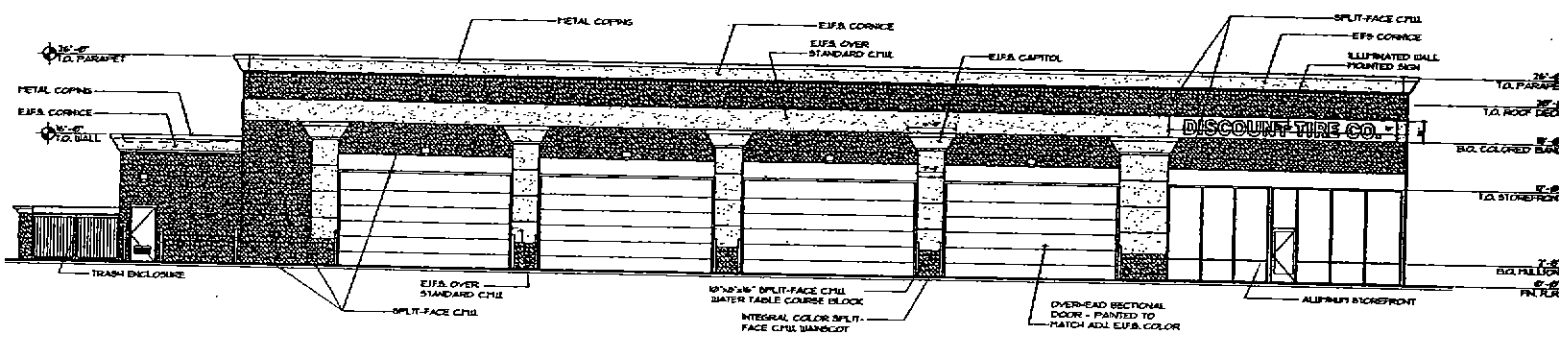
	Requirements Per Zoning Code	Home Depot	Discount Tires
Planning District	B3	B3	B3
Minimum Lot Area	10,500 SF	11.84 acres	1.118 acres
Minimum Lot Width	75 ft.	444 ft.	95.68 ft.
Minimum Lot Frontage	50 ft.	444 ft.	95.68 ft.
Minimum Lot Depth	140 ft.	787 ft.	285'-0"
Minimum Front Yard Setback	25 ft.	44'-6"	44'-6"
Minimum Overall Greenspace / Lot	10%	15.5 %	18.3 %
Minimum Front Yard Greenspace	5%	6.9 %	7.5 %
Maximum Building Height	60 ft.	40'-0"	26'-0"
Maximum FAR	.75	0.255	0.177
(D) Minimum Parking (1/300 GFA)	438 spaces	485 spaces	—
(Discount Tires) Minimum Parking (1/300 GFA)	29 spaces	—	43 spaces



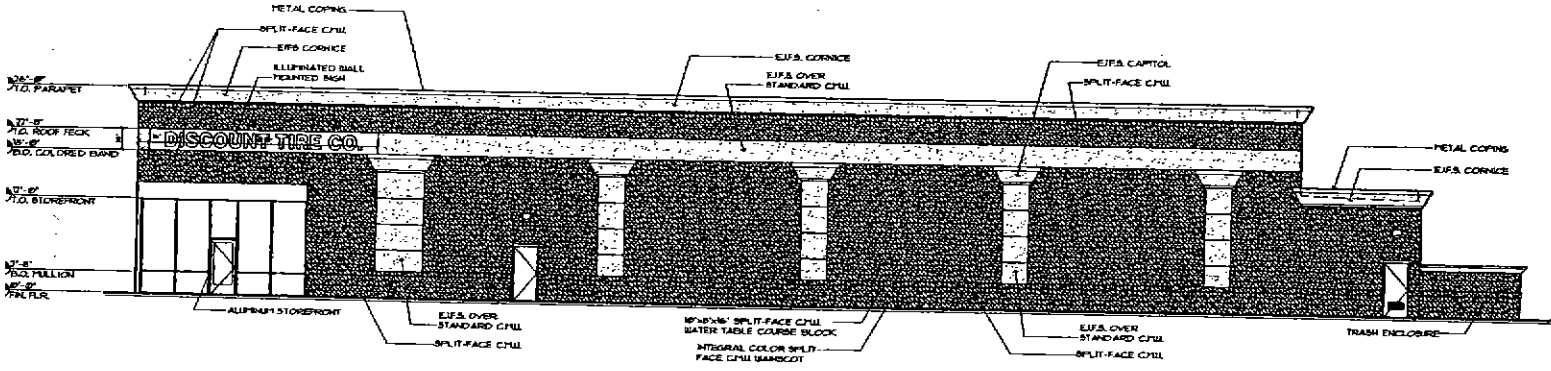
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DRAWING ISSUE RECORD

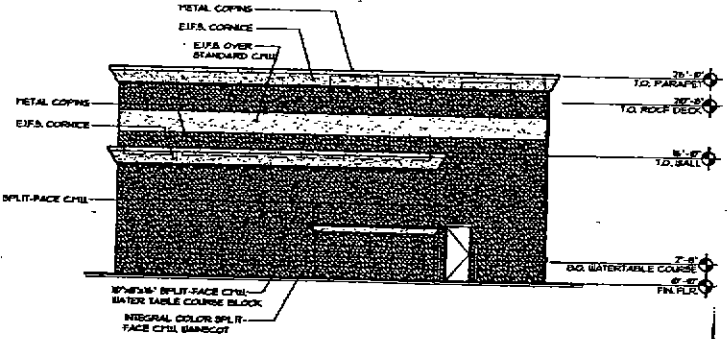
DATE	DESCRIPTION
09/10/03	INITIAL REVIEW
09/15/03	ISSUED FOR REVIEW
10/27/03	ISSUED FOR SUBMITTAL



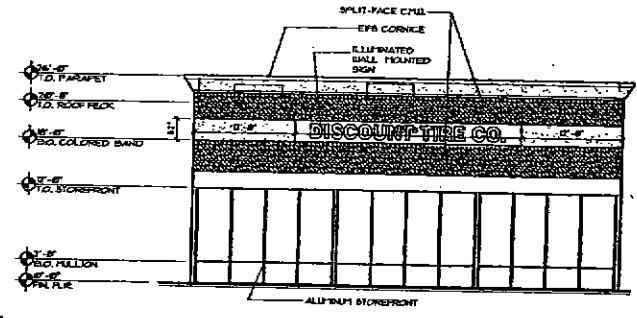
LEFT SIDE (WEST) ELEVATION
 SCALE: 3/32" = 1'-0"



RIGHT SIDE (EAST) ELEVATION
 SCALE: 3/32" = 1'-0"



REAR (NORTH) ELEVATION
 SCALE: 3/32" = 1'-0"



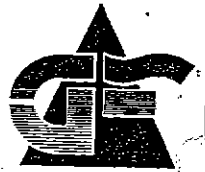
FRONT (SOUTH) ELEVATION
 SCALE: 3/32" = 1'-0"

PROJECT NUMBER
20030545

SHEET TITLE
PLAN AND ELEVATIONS

SHEET NUMBER
6

NOT ISSUED FOR CONSTRUCTION



GREENBERG FARROW

ARCHITECTURE
ENGINEERING
DEVELOPMENT

3655 BALT CREEK LANE, SUITE 100
ARLINGTON HEIGHTS, ILLINOIS 60005
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DRAWING ISSUE RECORD

DATE	DESCRIPTION
09/03/03	PRELIMINARY REVIEW
09/15/03	ISSUED FOR REVIEW
10/21/03	ISSUED FOR SUBMITTAL

REVISION RECORD

NO.	DATE	DESCRIPTION

PROFESSIONAL SEAL

PRINCIPAL IN CHARGE

ESMAIL GHADRAN

SITE DEVELOPMENT

COORDINATOR

TODD MOSHER

PROJECT MANAGER

SAM KAGSWAST

QUALITY CONTROL

LARRY DEHL

PROJECT NAME

DISCONT TIRE COMPANY

DOWNERS GROVE, IL
BUTTERFIELD RD.
and 355 TOLL WAY

PROTOTYPE CODE

XXXX-XX

PROJECT NUMBER

20030545

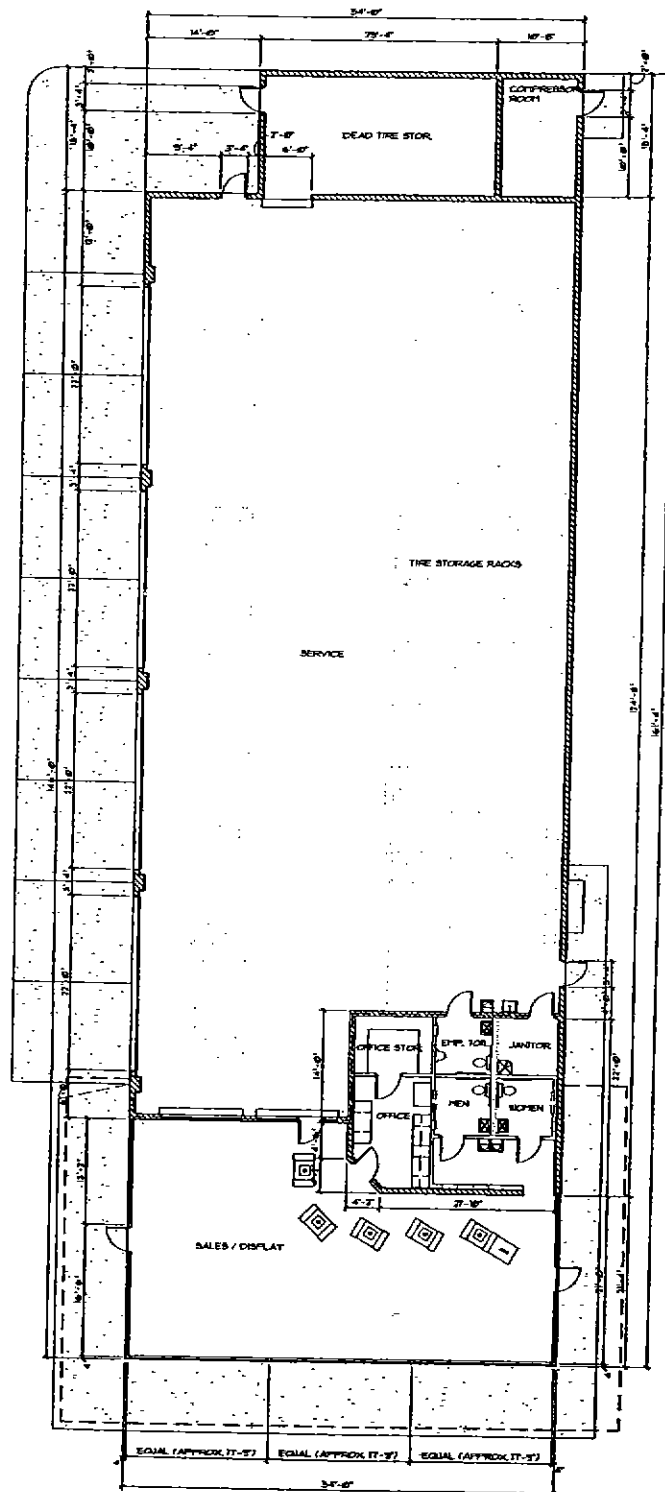
SHEET TITLE

PLAN AND
ELEVATIONS

SHEET NUMBER

6

NOT ISSUED FOR CONSTRUCTION



FLOOR PLAN

SCALE: 3/32" = 1'-0"

ATTACHMENT 4

The motion passed unanimously.

Chairman Jirik advised that beginning in January, the Plan Commission would conduct its meetings on the third Monday in the Village Hall Council Chambers.

For the record, Ms. Browne stated normally when hearings are continued from one month to the next, a sign is not posted, but because of the change in day and location a new public hearing sign will be posted on the property.

PUBLIC HEARING: FILE NO. 2009 A petition seeking Final Plat Approval of Banchory Woods Subdivision including certain exceptions from Code. The property is located at the northeast corner of Lee and Chicago Avenues, Downers Grove, IL (PIN 09-06-312-021 & 09-06-312-016); Joel Andersen Homes Ltd. By James F. Russ, Jr., Attorney/Petitioner

Chairman Jirik called the public hearing to order and stated this petitioner has also requested a continuation to the January 19, 2004 Plan Commission meeting.

MOTION: MR. MCCORMICK MOVED WITH RESPECT TO FILE NO. 2009 THAT THE PLAN COMMISSION GRANT THE PETITIONER'S REQUEST TO CONTINUE THE PETITION TO THE JANUARY 19, 2004 PLAN COMMISSION MEETING TO BE HELD IN THE VILLAGE HALL COUNCIL CHAMBERS. MR. KAHLKE SECONDED THE MOTION.

Chairman Jirik asked if there were any questions or comments regarding the motion. Hearing none, he called for the vote.

ROLL CALL:

AYE: Mr. McCormick, Mr. Kahlke, Mr. Matejczyk, Mr. Nicholaou, Mrs. Reynolds, Mr. Stark, Chairman Jirik

NAY: None

The Motion passed unanimously.

Ms. Browne noted that a new sign would be posted on this property as well.

PUBLIC HEARING: FILE NO. 2008 A petition seeking the following:
1) Final Plat Approval of Resubdivision No. 1 of The Home Depot Subdivision and 2) A Special Use for an automobile repair facility (tire installation and repair) operated in conjunction with retail tire sales. The property is located on the north side of Butterfield Road immediately west of Interstate 355 (North-South Tollway); commonly known as 1201 Butterfield Road, Downers Grove IL (PIN 06-30-300-013); The Home Depot, Owner; Greenburg Farrow Architecture, Petitioner

Chairman Jirik called the public hearing to order and asked if there was a representative of the petitioner present.

Todd Mosher, Greenberg Farrow Architecture, 3455 Salt Creek Lane, Suite 100, Arlington Heights, Illinois stated he represents Discount Tire Company, the petitioner on the application. Mr. Mosher advised Discount Tire Company has entered into an agreement to purchase 1.1 acres of land in the extreme southeast corner of The Home Depot parking lot. One of the conditions of the purchase agreement was the subdivision of the lot. This petition is asking for a proposed Lot 5 of The Home Depot Subdivision. Mr. Mosher indicated the second part of the petition is the special use for the automotive repair shop in the B-3, General Services and Highway Business District. He pointed out that a statement of support for the special use permit has been submitted and is included in the Plan Commission packet.

With respect to the special use, Mr. Mosher stated there would be no repair or maintenance of vehicles. There will be no oil changes, radiator flushing, car washing, etc. The only thing done at this site will be the sale of tires and the installation of tires and wheels.

In conclusion, Mr. Mosher stated that Rick Bertone from Discount Tire was also present this evening to answer any questions regarding the operation at this site.

Chairman Jirik asked Staff for its presentation.

Mr. Keith Sbiral stated the application was filed in conformance with applicable procedural and public notice requirements.

Mr. Sbiral explained the petitioner is requesting approval of a proposed Final Plat of Subdivision and approval of a proposed Special Use to authorize an Automobile Repair and Service Shop for the installation of tires and wheels operated in conjunction with a retail sales facility.

With regard to the site, Mr. Sbiral stated the site of the proposed development is an existing retail center, the Home Depot Subdivision, which received final plat approval in January 1997. The original approval of the retail center included four (4) lots. The Home Depot home improvement center is the primary retail outlet and occupies Lot 1, Lot 2 was formerly occupied by a PetsMart store but is currently vacant, and Lots 3 and 4 were combined to form the Golfsmith store, which is on the southwest corner of the development.

Mr. Sbiral stated the subdivision proposes to create one additional lot (Lot 5) at the southeast corner opposite of the Golfsmith store. Proposed Lot 5 will be 48,684 square feet (1.12 acre).

Mr. Sbiral stated that Staff has certain concerns regarding the proposed lot configuration and its potential resulting impact on site circulation locally and overall in the subdivision. These concerns have been discussed with the petitioner, and correspondence regarding these concerns was included in the Plan Commission packet.

Mr. Sbiral noted, based on the proposed lot lines, the addition of new elements such as parking landscape islands are indicated either completely or partially on adjoining property, particularly The Home Depot lot. He stressed, in Staff's opinion, the ownership and maintenance of the petitioner's property must be clearly defined before final approval so those landscape islands can maintain some conformity as a whole. The Center property owners should continue to recognize that although these retail parcels are under separate ownership, the whole subdivision needs to operate as a unified whole.

With respect to lot area, lot width, depth and frontage, Mr. Sbiral stated both the modified Home Depot lot and the proposed Discount Tire lot conform to Code requirements.

With regard to the Special Use approval, Mr. Sbiral indicated the retail sales use is permitted by right in the B-3, General Services and Highway Business district which is what the entire subdivision is zoned. The petitioner is requesting approval of a Special Use only for the automobile repair and service component of the 8,480 square foot building which will include a showroom, new and used tire storage, and eight service bays. Mr. Sbiral emphasized there would not be any heavy mechanical work such as brake repair, engine or transmission work. Mr. Sbiral confirmed that the petitioner submitted a Statement of Support for the Special Use according to the Ordinance standards.

With regard to the current Future Land Use Plan, Mr. Sbiral stated the entire Home Depot Subdivision property is classified as *Office Research and Manufacturing*. In this area, as well as others, the Village has employed B-3 zoning in conjunction with the ORM land use designation. The subject property has been firmly established as a commercial retail center since 1997 and is consistent with the Future Land Use Plan. Traditional commercial retail use of the property is appropriate and should be encouraged and continued.

With regard to site characteristics, Mr. Sbiral stated the overall shopping center site is approximately 18.16 acres. A privately and separately owned parcel to the north of the Center provides storm water detention for the Center by access easement agreements, which will continue with the development of the new parcel. The shopping center site also contains a perimeter road that provides for access to all of the site's stores. The petitioner is proposing to amend existing access agreements between the property owners to ensure continued access to the perimeter road by all users of the retail center.

Mr. Sbiral noted Staff has some concerns relative to site circulation. As part of the original subdivision approval pursued by Home Depot, the intent was that even if separate owners own the different lots, the center must operate in a safe, efficient, and

consistent manner as a whole development. There are some traffic circulation issues, and additional impacts that may need to be monitored as the development is pursued.

With regard to bulk characteristics, Mr. Sbiral stated the proposed structure meets bulk requirements. If the proposed subdivision is approved, both the existing Home Depot lot as well as the new Discount Tire lot will maintain conformity with Code relative to floor area ratio and building height.

With regard to yards and setbacks, Mr. Sbiral advised the proposed Lot 5 would be surrounded by The Home Depot lot, which is zoned B-3, and, therefore, side or rear yards are not required. The existing front, rear, and side yard setback requirements will remain unchanged for The Home Depot lot (Lot 1). The new Discount Tire lot also complies with the front yard requirements.

With regard to green space, Mr. Sbiral stated the petitioner is proposing to exceed the minimum green space requirements per Code with roughly 18% proposed instead of 10%. It also complies with the front yard requirement for green space; 3,651 square feet is proposed to be located in front of the principal structure along Butterfield Road. The petitioner is also proposing to construct two new landscape islands on the north end of the new lot to include the addition of four American Purple Ash trees. Mr. Sbiral noted these are shown on the Home Depot property (Lot 1). He explained ownership and responsibility for the newly proposed islands and plantings needs to be defined, and the property owners should work to ensure a consistency of visual quality and maintenance of the center as a whole.

With regard to parking, Mr. Sbiral explained the Code requires parking for commercial uses to be calculated at one parking space for every 300 square feet of gross floor area. The proposed 8,480 gross square foot building requires 29 spaces. The plan proposes a total of 43 parking spaces. Even though the Home Depot parcel will be losing parking as a result of the proposed Lot 5, it will still conform to the Ordinance with 485 spaces.

With regard to loading and site lighting, Mr. Sbiral stated both meet the standards of the Ordinance. The building design should provide an overall positive situation for the retail center.

With regard to Public Works and Engineering, Mr. Sbiral indicated no wetlands are impacted, and no Special Flood Hazard Areas or Localized Poor Drainage Areas exist on the proposed site. The site will be connected to the existing stormwater management facilities located on a lot north of the subdivision with an easement specifically dedicated for this use.

With regard to traffic, Mr. Sbiral stated the access to the property is via the existing 25-foot wide main access road currently shared by Home Depot (however, with the subdivision a portion will be owned by Discount Tire). Other uses in the center also utilize this primary access point. No additional curb cuts are proposed or required along Butterfield road at this site.

Mr. Sbiral noted the Traffic Division recommends certain conditions be addressed prior to Council consideration including adjusting drive aisle alignment in front of the new facility and more clearly defined vehicular circulation to the north of the new facility. The northbound lane along the new building terminates in a landscape island. Striping and physical separation should be provided to clarify traffic lanes as well as loading and refuse pickup areas.

Mr. Sbiral stated certain other conditions should be addressed prior to certificate of occupancy including installation of a stop sign for westbound traffic on the east-west drive in conjunction with "Do Not Block Intersection" signage to control congestion and lane blockage. Also, the barrier median should be removed from between the outbound left turn and right turn lanes consistent with the petitioner's traffic consultant's recommendation.

Mr. Sbiral advised Staff maintains some site circulation concerns which may negatively impact existing areas primarily associated with the main, high-volume entry-exit point and its intersection with the perimeter road. In addition, the overall site circulation pattern may need to be revisited in the future to help ensure its safe and efficient operation for all users of the center.

With regard to the landscape plan, Mr. Sbiral stated the Village Forester reviewed the proposed landscape plan and indicated the proposed species and design is acceptable; however, serious consideration should be given to additional plantings to help screen the utilitarian back (east and north) sides of the facility as well as to enhance the site and Center overall.

Mr. Sbiral concluded the Staff Development Team has reviewed the petitioner's request and concurs to recommend the Plan Commission consider forwarding a positive recommendation to the Village Council in response to the petitioner's request subject to the conditions listed in the Staff Report.

Chairman Jirik asked if there was anyone who wished to speak for or against this petition. There was no response, and Chairman Jirik declared the public participation portion of the meeting closed.

Chairman Jirik asked if there were any questions from the Plan Commission members. Mr. Nicholaou asked if Discount Tire had a store in Lombard on Roosevelt Road. Mr. Bertone stated there is a Discount Tire store in Lombard.

Mr. McCormick asked Staff if they concurred with the reasons the petitioner enumerated in its Statement of Support. Mr. Sbiral responded noting the only exceptions are the ones shown in the Staff report. Mr. McCormick asked for clarification that there are two issues as part of this petition; one is the approval of the Special Use and the second is Final Plat of Subdivision approval. Mr. McCormick asked if the traffic concerns fall under the Special Use recommendation or the Final Plat recommendation.

Chairman Jirik stated there is a request to create a new lot and then in consideration of that the Special Use would be applicable to that new lot. Chairman Jirik pointed out an existing lot is being diminished so in essence two properties are being affected. Chairman Jirik complimented Staff on its thorough report and expressed appreciation for the circulation, site and traffic issues that were raised. He raised several questions with regard to policy, enforceability and responsibility. Chairman Jirik noted that if the subdivision is approved, the existing parcel would be reduced in size, and a new parcel created. Chairman Jirik questioned how a future proceeding would be convened should something be needed in terms of the traffic. He wondered if a stronger motion with a one-year timeframe to revisit the traffic issues might be appropriate.

Mr. Nicholaou commented the proposed lot is in a dead zone corner. For those people who use that center and leave Home Depot heading directly towards Golfsmith, it is very difficult to exit because cars come streaming around the corner. Mr. Nicholaou noted he has used the Discount Tire store in Lombard several times, and his experience there was that it is not a high traffic volume generator. They do a lot of business, but there are only a small number of cars there at any given time. It is not like Home Depot, which has a large volume of cars entering and exiting. Mr. Nicholaou agreed any motion should state that the traffic issue should be looked at one year from now because of the Golfsmith corner and what the petitioner's traffic volume might add to the overall center.

Chairman Jirik asked Staff if the gravity of the situation would merit an additional concern included in the motion with regard to a specific time frame to have a site circulation study completed. He further asked if something more formalized would be appropriate in light of the concerns.

Mrs. Reynolds asked if this needed to be addressed within the motion. She felt the issue could be revisited at a later date upon completion of the Discount Tire facility and after an appropriate time has passed to see whether or not the traffic situation has worsened.

Mr. Matejczyk asked Staff to expand on what the concerns are. Mr. Skach indicated the Traffic Manager's report dated November 24, 2003 outlined his concerns, and those concerns were included in the Staff Development Team Report. There is a very narrow throat depth at the entrance of the shopping center. Mr. Skach commented anyone who has visited the site knows there is a potential during peak times for collision risk.

With respect to the request for subdivision, Mr. Skach advised the petitioner meets the standards for approval for final subdivision. With respect to the special use, Mr. Skach noted Staff is recommending that the Plan Commission consider forwarding a positive recommendation. Staff fundamentally believes the special use requirements have been met with the conditions as outlined in the Staff report to be included as part of the Plan Commission's recommendation.

With respect to the traffic concerns, Mr. Skach stated he was not sure that Staff could elaborate any more on what has been clearly articulated in the Staff Report. The Traffic Engineer has indicated he will continue to monitor the traffic situation at this site. Mr.

Skach advised the Village would be looking for the petitioner to acknowledge the traffic situation and if the petition goes forward and gets approved, then over the course of time the Village will need to see how the site traffic operates. Mr. Skach pointed out Staff wanted to reserve the right as part of these discussions and for the record to come back and revisit traffic and re-circulation issues with the property ownership. Staff is looking for the petitioner to say that they want to do the right thing here. Mr. Skach noted the petitioner's traffic consultant made some recommendations regarding the medians. Mr. Skach stated there is a clear indication that the petitioner is willing to work with the Village on this. Whether or not the Plan Commission wants to put an additional condition in the motion is at its discretion. Mr. Skach indicated Staff does not object to that.

Mr. McCormick quoted Section 28-1903 "The Village Council may impose such conditions and safeguards upon the premises benefited by a special use as may be necessary to prevent injurious effects there from upon other property in the neighborhood..."

Mr. Stark stated, when the Plan Commission makes a recommendation to the Village Council, it is not just a thumbs up or a thumbs down. It is thumbs up with these caveats. If the petitioner can maintain what Staff is telling us, then this meets our approval. Mr. Stark commented he was not so concerned about the petitioner's property but rather what we are losing from the Home Depot property. Mr. Stark indicated his experience with the Home Depot lot is that in the spring, Home Depot puts a lot of the garden supplies and plants, etc. in the parking lot. They have in excess of 100 parking spaces over what is required, but he wanted to know how many parking spaces are used for garden display. Mr. Stark asked if this new lot were to be approved, would Home Depot still maintain the Code required number of parking spaces. He also wanted to know if the garden material placed in the parking lot in the spring is counted as extra retail space. Mr. Stark questioned if they make their store larger by bringing garden merchandise outside, do they need to have more parking because the square footage of their retail space has increased.

Mr. Skach commented the current Code does not provide for expansion of that particular use. The key aspect is that there are perpetual and reciprocal access parking agreements required. Someone going to Home Depot can park in the Discount Tire lot and vice versa.

Mr. Stark again asked for clarification as to whether the square footage under roof is what the parking requirements are based upon or is it the square footage including the display yard next to it, the outdoor retail garden center.

Ms. Browne responded, in theory, they should be applying for a temporary use permit to conduct their retail sales outside. Ms. Browne stated the Code Enforcement Department is the Department that issues such permits. Home Depot should be submitting a site plan that shows the required parking spaces and their proposed outdoor sales area as part of the temporary use permit application to prove they are not using their required parking

spaces per Code for outdoor sales. Ms. Browne noted there is a time limit imposed on temporary use permits.

Mr. Stark indicated he sees a problem that when Home Depot knocks on the door for a temporary use permit, they will by placing garden materials outside have used up all of their required parking spaces and will have changed the traffic patterns. The plat presented does not reflect what in fact happens when the seasons change.

Mr. Stark next asked the petitioner where snow would be placed as part of the plowing operation. He noted if there is a lot of snow, they might run out of parking spaces because the snow is usually pushed somewhere on the parking lot causing a loss of parking spaces.

With regard to snow removal, Mr. Mosher responded there is quite a lot of room in the green space between Butterfield Road and the parking lot for the snow from a two to three inch snowfall. If there is a snowfall of two feet, any commercial parking lot will run out of room to stockpile the plowed snow. Many commercial snowplowing services will pick up the snow and deposit in a detention pond. Mr. Moser pointed out there is a detention pond at the back of the Home Depot lot. Mr. Moser commented all the business owners in a shopping center share in the cost of snow removal.

To clarify the parking space issue on the Home Depot lot, Mr. Mosher advised after the subdivision there would still be 47 additional spaces over and above what the Code requires. As background information, Mr. Mosher stated this was one of the first Home Depot stores in the Chicago-land area so the Downers Grove Home Depot was built with a gigantic parking lot. There are probably 50 stores in the Chicago area now, and the parking demand at the Downers Grove store has diminished. Home Depot now has excess property, and Discount Tire is looking for a site in this area. Mr. Mosher stated Home Depot has 47 spaces they can utilize for their garden center and still retain the required number of parking spaces per Code.

Mr. Stark noted for the record that no representative from Home Depot is present at this hearing.

Chairman Jirik noted Home Depot and Discount Tire have cooperatively reached agreement. Chairman Jirik read draft language for the concern to be added to the motion. "Within 18 months of the opening of Discount Tire, that the Village may request that the two lot owners cooperatively contract an independent traffic consultant to conduct a traffic study."

Mr. Skach noted the Parking and Traffic Commission, which is staffed by the Village's Traffic Engineer Dorin Fera, could review the traffic situation on this site. Mr. Skach advised all the property owners would have to work cooperatively on the traffic issue. Mr. Nicholaou suggested changing the words "may request" to "reserves the right".

Chairman Jirik explained his proposed language would grant the ability to pursue but would not mandate that it be done. Chairman Jirik expressed the opinion that the Village should have the ability to pursue this matter if necessary.

Mr. Mosher pointed out for the record that the use and the amount of traffic generated by Discount Tire is very minimal in comparison to the other uses within the shopping center. A conservative estimate of the on-site traffic was an additional six percent of the trips coming in and out of the site on an average basis. Mr. Mosher stated that assumes people are coming to the site specifically to buy a set of tires or get a tire changed rather than coming to Home Depot. Mr. Mosher asked, if 18 months from now it were deemed necessary to have a traffic study and implement any proposed changes, how would the costs be handled? Chairman Jirik pointed out if a representative of Home Depot had been present this evening, perhaps some of these details could have been worked out.

Chairman Jirik explained currently we do not have a dysfunctional traffic situation, but we do have a potentially challenged traffic situation. The lot owner today has that situation, and the lot owner today will benefit by selling off some additional land. Chairman Jirik expressed the opinion that the act of creating a diminished lot, which benefits that lot owner, gives the Village some jurisdiction to have that lot owner look at the traffic. The Village does not want to add marginally to an increasingly dysfunctional situation. Chairman Jirik noted as both lots are in play, let's not move so far past this that 18 months from now when we have a problem, there is disagreement as to who pays for what. If the minutes do not reflect a definite future course of action, there would not be any enforceability. Chairman Jirik asked if this were granted and the Discount Tire Store built, what authority does the Village have to ask that the traffic situation be studied to determine if changes need to be made. At that point, the Village would have lost control, and the traffic may be marginally degraded. Chairman Jirik suggested because the lot is being changed, this is a good time for the owners to address the traffic concerns.

Mr. Mosher asked the Chairman if he was suggesting that the improvements that were recommended in the traffic analysis and are listed as part of Staff's Condition No. 2 be deferred for 18 months. Chairman Jirik said no. Mr. Mosher asked for further clarification. He asked if the Chairman were suggesting that, in addition to those improvements, the Village would want to take a further look at the traffic situation. Chairman Jirik responded his understanding is that with those improvements listed in Condition No. 2, there were still circulation concerns and potential issues down the road. There are items to be addressed now, and with the new configuration and stability of the new business, there may still be some concerns that need to be studied. Chairman Jirik stated he and the Plan Commission members want to have a process by which the Village does not lose control and can go back at a later date and address any concerns if necessary.

Chairman Jirik asked Staff if there were any alternative mechanisms that could be utilized. Mr. Skach responded as the Village's Traffic Engineer points out in his memo attached to the Staff Report with regard to conditions of approval; correction of the aisle arrangement, clarification of the circulation on the north side of the Discount Tire

building and modifications including signage and the intersection with Butterfield Road. The Traffic Engineer also articulated longer-term concerns, which Staff does not object to, and there is a mechanism to look at them through the Parking and Traffic Commission. Mr. Skach noted there is a Staff member particularly suited to handle those issues.

Chairman Jirik suggested the Plan Commission could recommend that the Council consider adding a provision that would firmly clarify how this could be addressed. He indicated that may be a way to move this forward. Without all the parties present this evening and with a limited amount of time to work these issues out, this alternative would allow time to work this out. The Village Council and the Mayor would be aware of the issue. If they felt it merited firm language, hopefully, all the parties would be present, and the details could be worked out.

Mr. Mosher asked would there be time limits imposed such as 12 months after the store is fully operational, the petitioner would report back to the Parking and Traffic Commission. Chairman Jirik noted there would have to be some sidebar discussions between the parties. Mr. Mosher suggested such sidebar discussions be held prior to Village Council approval.

Chairman Jirik asked if there were any further comments or questions. Mr. McCormick asked if there would be two recommended approvals; one for the final plat of subdivision and one for the special use. Mr. Skach advised any motion to approve the petitioner's request would consist of the final plat of subdivision and the special use.

As there were no further comments or questions, Chairman Jirik called for a motion.

MOTION: WITH RESPECT TO FILE NO. 2008, A PETITION SEEKING ONE, FINAL PLAT APPROVAL FOR THE RESUBDIVISION OF THE HOME DEPOT SUBDIVISION AND TWO, A SPECIAL USE FOR AN AUTOMOBILE REPAIR FACILITY (TIRE INSTALLATION AND REPAIRS OPERATED IN CONJUNCTION WITH RETAIL TIRE SALES), MR. MCCORMICK MOVED THAT THE PLAN COMMISSION FORWARD A POSITIVE RECOMMENDATION TO THE VILLAGE COUNCIL SUBJECT TO THE FOLLOWING CONDITIONS:

- 1. ALL PLANS SHOULD BE COORDINATED AND BE CONSISTENT WITH RESPECT TO THE PROPOSED DESIGN PRIOR TO VILLAGE COUNCIL CONSIDERATION.**
- 2. COMPLIANCE WITH ALL PUBLIC WORKS/ENGINEERING REQUIREMENTS/CONDITIONS OUTLINED IN THEIR MEMORANDUM DATED NOVEMBER 19, 2003, INCLUDING BUT NOT LIMITED TO ALL CONDITIONS OF APPROVAL FROM THE TRAFFIC DIVISION AND RECOMMENDATIONS IN THE PETITIONER'S TRAFFIC CONSULTANT ANALYSIS DATED NOVEMBER 11, 2003, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.**

3. EXECUTED, PERPETUAL AND RECIPROCAL EASEMENT/ACCESS AGREEMENTS BETWEEN ALL PROPERTY OWNERS IN THE CENTER MUST BE OBTAINED AND RECORDED WITH THE PLAT OF SUBDIVISION.
4. LOADING/UNLOADING OPERATIONS, INCLUDING REFUSE, SHALL OCCUR ON SITE AND SHALL NOT OBSTRUCT OR HINDER SAFE PARKING AND SITE CIRCULATION FOR VEHICLES AND PEDESTRIANS WITHIN THE CENTER.
5. ALL STORAGE OF TIRES, REFUSE, OR OTHER MATERIALS SHALL OCCUR INSIDE THE FACILITY IN APPROPRIATE ENCLOSURES AT ALL TIMES.
6. SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLANS FOR THIS PETITION AND COMPLIANCE WITH ALL APPLICABLE CONDITIONS AND RECOMMENDATIONS AS PART OF THE ORIGINALLY APPROVED PRELIMINARY AND FINAL SUBDIVISION PER PC 987, RES. NO. 96-71 AND PC 992, RES. NO. 97-4.
7. THE PETITION FOR A SPECIAL USE MEETS THE STANDARDS SET FORTH IN SECTION 28-1902, STANDARDS OF APPROVAL UNDER THE ZONING ORDINANCE AS THE EVIDENCE ESTABLISHES THE FOLLOWING:
 - (a) THAT THE PROPOSED USE AT THAT PARTICULAR LOCATION REQUESTED IS NECESSARY OR DESIRABLE TO PROVIDE A SERVICE OR A FACILITY WHICH IS IN THE INTEREST OF PUBLIC CONVENIENCE AND WILL CONTRIBUTE TO THE GENERAL WELFARE OF THE NEIGHBORHOOD OR COMMUNITY.
 - (b) THAT SUCH USE WILL NOT, UNDER THE CIRCUMSTANCES OF THE PARTICULAR CASE, BE DETERMINAL TO THE HEALTH, SAFETY, MORALS, OR GENERAL WELFARE OF PERSONS RESIDING OR WORKING IN THE VICINITY OR INJURIOUS TO PROPERTY VALUES OR IMPROVEMENTS IN THE VICINITY.
 - (c) THAT THE PROPOSED USE WILL COMPLY WITH THE REGULATIONS SPECIFIED IN THIS ZONING ORDINANCE FOR THE DISTRICT IN WHICH THE PROPOSED USE IS TO BE LOCATED OR WILL COMPLY WITH ANY VARIATION(S) AUTHORIZED PURSUANT TO SECTION 28-1802 OF THE ZONING ORDINANCE.
 - (d) THIS IS ONE OF THE SPECIAL USES SPECIFICALLY LISTED FOR THE DISTRICT IN WHICH IT IS TO BE LOCATED.
8. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE LAWS, ORDINANCES, REGULATIONS AND POLICIES.
9. THE PLAN COMMISSION ALSO RECOMMENDS THAT THE VILLAGE COUNCIL CONSIDER SUCH FURTHER ACTION AS THEY

**MAY DEEM NECESSARY OR APPROPRIATE PERTAINING TO
STAFF'S CONCERNS WITH REGARD TO TRAFFIC.**

MR. STARK SECONDED THE MOTION.

Chairman Jirik suggested the following language for No. 9 "that the Mayor and Council consider the need and appropriateness of establishing a formal means to go about requiring a future traffic study as necessary and appropriate implementation of remedial traffic measures if so necessary and indicated appropriately allocated between the various lot owners". Chairman Jirik commented the Plan Commission is advising the Mayor and Council that they should consider the need to establish such a condition as part of the granting of the Special Use.

Mr. Skach suggested what might be beneficial is that a little more specificity be included in this supplemental condition, something along the lines of "The Plan Commission recommends that the Mayor and Council consider this condition to have Staff revisit the traffic issue 12 months after the facility opens". He explained Staff has a concern that an open-ended suggestion to consider the traffic issues does not give the Mayor and Council a basis to act as a de facto Plan Commission.

Mr. Nicholaou suggested that the condition read "The Plan Commission recommends that the Village Council implement the mechanism to review parking and traffic flow of the center one year from the opening of the Discount Tire store".

Chairman Jirik suggested another variation. "In recognition of the information presented to the Plan Commission regarding traffic and circulation issues, the Plan Commission recommends that the Mayor and Council consider establishing an executable or enforceable approach to assure, should it be needed, that studies to address these issues can be paid for and conducted, and if necessary and appropriate, with measures indicated from those studies, implemented at the cost of the property owners."

Mr. Nicholaou pointed out we now have four different versions of Condition No. 9.

Mr. Stark suggested the Commission could accomplish this by general comments in the record rather than have this part of the actual recommendation. Mr. Stark opined that the Plan Commission can either say thumbs up or thumbs down to the petition as written. Adding amendments to the petition is outside the Commission's purview. Mr. Stark stated the Plan Commission can make comments, and the Village Council can read those comments and then legislate any action.

Chairman Jirik emphasized that the Plan Commission can amend a motion, and Mr. Stark agreed. Chairman Jirik stated if the Plan Commission felt strongly enough to recommend that a study be done and paid for by the property owners, a condition of granting the subdivision and special use could state "within 18 months the petitioner shall come back with a new traffic study". Chairman Jirik pointed out he did not have strong feelings that it would be necessary to put such language into the motion; however, it might be

beneficial to reserve the right should it be necessary. Mr. Stark commented it sounds as though the Plan Commission members are on the same page.

Mr. Nicholaou advised the petitioner the Plan Commission does not have a problem with a Discount Tire store on this site, but the Commission wants to make sure the Village is protected if a year from now there is a traffic issue. He pointed out the Village Council has the right to take a look at the traffic issue.

Chairman Jirik asked Mr. Skach if the Village has authority to come onto private property and tell the property owners to correct a traffic situation because of the increase number of accidents in the parking lot of the shopping center. Mr. Skach responded the Village Attorney would have to provide an opinion on the legality of that. The Village certainly has the authority to exercise its discretion to intervene indicating that the Village is aware of a traffic problem and at minimum would strongly urge some actions be taken to correct the traffic problem. Mr. Skach commented the main opportunity to facilitate a correction would be as a part of a pending petition. Mr. Skach again noted there is a formal mechanism to have such issues heard through the Parking and Traffic Commission.

Chairman Jirik also emphasized a pending petition is the opportunity to at least reserve the right to address such issues.

For clarification, Chairman Jirik asked if it was the intent of the Plan Commission for the motion to include the advisory language to the Council. The Plan Commission members agreed.

With no further questions regarding the motion or its intent, Chairman Jirik called for the vote.

ROLL CALL:

AYE: Mr. McCormick, Mr. Stark, Mr. Kahlke, Mr. Matejczyk, Mr. Nicholaou, Mrs. Reynolds, Chairman Jirik

NAY: None

The motion passed unanimously.

Chairman Jirik explained the Plan Commission's recommendation would be forwarded to the Village Council. Staff will advise the petitioner as to when this matter will be placed on a Council Workshop agenda.

Because of the change in Plan Commission meeting day and location, Chairman Jirik asked the Recording Secretary to call the Plan Commission members on Monday, January 19, 2004 to remind them of the meeting that evening.

Mr. Skach advised a notice about the change of meeting day and location would also appear in the Village Corner in The Sun newspaper.

Mr. Nicholaou recalled the November 4, 2003 minutes reflected that the Chairman wanted to discuss some procedural matters at this meeting. Chairman Jirik commented, because initially there were three items on this evening's agenda, he did not include procedural matters on the agenda.

As there was no further business, Chairman Jirik called for a motion to adjourn. **MR. MCCORMICK MOVED TO ADJOURN THE MEETING, AND MR. NICHOLAOU SECONDED THE MOTION. THE MOTION PASSED UNANIMOUSLY.**

The meeting adjourned at 8:45 p.m.

C: M. Millette, Assistant Director Public Works-Engineering
J. Hall, Development Engineering Manager



ATTACHMENT 5

December 16, 2003

VIA FACSIMILE AND POST

www.vil.downers-grove.il.us

**COMMUNITY
RESPONSE CENTER**
630.434.CALL (2255)

Mr. Todd Mosher
Greenburg Farrow
3455 Salt Creek Lane - Suite 100
Arlington Heights, IL 60005

FILE COPY

CIVIC CENTER
801 Burlington Ave.
Downers Grove
Illinois 60515-4776
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

Re: 1201 Butterfield Road; Home Depot Center Traffic Improvement Evaluation Plan

Dear Mr. Mosher,

Thank you for meeting regarding traffic improvements at the Home Depot subdivision on December 15, 2003 as a representative of Home Depot. It is encouraging that the Home Depot is committed to reevaluating improvements to the traffic circulation patterns at the Center. As was noted at the meeting, staff believes it is crucial to have the various property owners in agreement with a plan for evaluating such improvements prior to Village Council review of the Discount Tire petition.

**FIRE DEPARTMENT
ADMINISTRATION**
6701 Main Street
Downers Grove
Illinois 60515-1506
630.434.5980
FAX 630.434.5998

As we discussed, plans for proposed modifications to the site circulation should be submitted soon so the Discount Tire petition can be placed on a Council Workshop agenda consistent with the recommendation of the Plan Commission. Please let me know when you will be able to submit plans for staff review as we believe it would be beneficial to meet again with the property owners/representatives to finalize a proposed direction to evaluate site circulation improvements prior to the Council Workshop. Please contact me at 630-434-5520 with any additional questions.

POLICE DEPARTMENT
825 Burlington Ave.
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

Sincerely,

Keith R. Sbiral, Planning and Community Development
Planning and Community Development

**PUBLIC WORKS
DEPARTMENT**
5101 Walnut Ave.
Downers Grove
Illinois 60515-4074
630.434.5460
FAX 630.434.5495

c: Roger Fournier, Discount Tire Company, Inc.
Joe Skach, Director, Planning and Community Development
Dorin Fera, Traffic Engineer
File

**DEPARTMENT OF
SOCIAL & HEALTH
SERVICES**
842 Curtiss Street
Downers Grove
Illinois 60515-4761
630.434.5595
FAX 630.434.5599





ATTACHMENT 6

FILE COPY

January 21, 2004

VIA FACSIMILE AND POST

www.vil.downers-grove.il.us

COMMUNITY RESPONSE CENTER
630.434.CALL (2255)

Mr. Todd Mosher
Greenburg Farrow
3455 Salt Creek Lane – Suite 100
Arlington Heights, IL 60005

CIVIC CENTER
801 Burlington Ave.
Downers Grove
Illinois 60515-4776
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

Re: 1201 Butterfield Road; Home Depot Center Traffic Improvement Evaluation Plan

Mr. Mosher,

As of our meeting on January 14, 2004 it was our understanding all parties understood/agreed that several issues remained to be addressed and resolved prior to January 16, 2004 to allow adequate administrative time to prepare the Council Workshop packet before January 20. As was noted at the meeting, it is extremely important that the following materials be submitted to staff as soon as possible to provide enough time for development of materials for Village Council review:

FIRE DEPARTMENT ADMINISTRATION
6701 Main Street
Downers Grove
Illinois 60515-1506
630.434.5980
FAX 630.434.5998

1. An updated petitioner letter/memo summarizing the proposed site improvements that have been agreed upon subsequent to the Plan Commission hearing. The letter should identify what improvements will be completed both on the Discount Tire lot and the Home Depot lot, noting that all parties are in agreement, and all improvements will be completed concurrent with the development of the Discount Tire lot.
2. As discussed at the Plan Commission hearing regarding ensuring adequate overall site traffic conditions, an assessment from your traffic consultant of the yearly outdoor display area utilized for the Home Depot Garden Center. This would include the number of parking spaces temporarily lost, location of the parking spaces, the time period for the temporary outdoor use, and expected impacts, if any, in context of the overall number of parking spaces and the proposed perpetual reciprocal access and parking agreement and shared parking.
3. Home Depot stated they would confirm delivery times and explore modifying them to off-peak/evening hours to mitigate parking lot congestion.
4. A mylar Final Plat of Subdivision must be provided.

POLICE DEPARTMENT
825 Burlington Ave.
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

As we discussed, Staff then needs to coordinate and evaluate the items prior to the Workshop so a final recommendation can be forwarded to Council. It is clear at this point the above issues will not be resolved with adequate time to review them and forward a recommendation. Consequently we must at minimum move consideration of this petition potentially to the February 10, 2004 Workshop pending satisfactory resolution of remaining issues. These materials should be submitted as soon as possible. Please contact me as soon as you are able to submit the additional materials for staff review at 630-434-5520.

PUBLIC WORKS DEPARTMENT
5101 Walnut Ave.
Downers Grove
Illinois 60515-4074
630.434.5460
FAX 630.434.5495

Sincerely,

DEPARTMENT OF SOCIAL & HEALTH SERVICES
842 Curtiss Street
Downers Grove
Illinois 60515-4761
630.434.5595
FAX 630.434.5599

Keith R. Sbiral, Planning and Community Development
Planning and Community Development

c: Roger Fournier, Discount Tire Company, Inc.
Joseph Skach, Director, Planning and Community Development
Dorin Fera, Traffic Engineer
File



ATTACHMENT 7



GREENBERG FARROW ARCHITECTURE ENGINEERING DEVELOPMENT
3455 Salt Creek Lane, Suite 100, Arlington Heights, Illinois 60005
tel 847.788.9200 - fax 847.788.9536
www.greenbergfarrow.com

CHICAGO, Illinois

ATLANTA, Georgia

NEW YORK, New York

DALLAS, Texas

SPRINGFIELD, New Jersey

LOS ANGELES, California

SAN FRANCISCO, California

January 26, 2004

Via Fax

Keith R. Sbiral
Planning & Community Development
Village of Downers Grove
Civic Center
801 Burlington Ave.
Downers Grove, IL
Tel (630) 434-5511
Fax (630) 434-5571

Project: Discount Tire Co. - Downers Grove, IL

Project Number: 20030545.1

RE: 1201 Butterfield Road; Home Depot Center
Traffic Improvement Evaluation.

Dear Mr. Sbiral:

In response to your comments dated January 21, 2004 for the above referenced project, please accept this letter as an updated summary of the proposed site/traffic improvements that will result as a consequence of the development of a Discount Tire Facility in the Home Depot parking lot. Please see Sheet 1 labeled "Site Plan" for all proposed changes.

The following site/traffic improvements, have been agreed to by Home Depot and Discount Tire Company, with respect to the Discount Tire Facility's lot (Lot 5):

1. Striping will be added to one (1) parking space, in order to create a Handicap Accessible Space.

The following site/traffic improvements, have been agreed to by Home Depot and Discount Tire Company, with respect to the Home Depot's lot (Lot 1):

1. The existing parking lot and landscape islands, located north and east of the existing Butterfield Road Entrance/Exit, will be modified to create a reconfigured Drive Aisle (east of the entrance), to allow traffic to exit the site without crossing over the incoming traffic lane at the existing entrance. Directional Signs and islands will be added, in order to direct truck traffic along the new route.
2. The median, which currently divides the existing Butterfield Road Entrance/Exit, will be extended north to further divide the entrance, and prohibit traffic from crossing incoming traffic, via the access road. Additionally, the existing median dividing the right and left turn lanes will be removed.

Keith Sbiral

Re: 1201 Butterfield Road; Home Depot Center Traffic Improvement Evaluation Plan

Discount Tire Co. - Downers Grove, IL

GFA #20030545.0

01/26/04

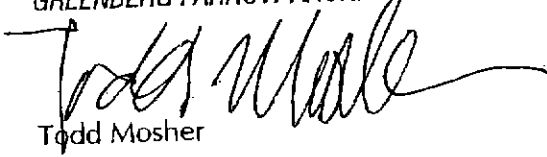
Page 2 of 2

Based on the revised Site Plan, it is Discount Tire Company and Home Depot's understanding, that all of the above-mentioned improvements, shall be completed concurrent with the development of the Discount Tire Facility at 1201 Butterfield Road.

Thank you for your time and assistance. Please do not hesitate to contact me at 847.788.9200, if you have any questions or require additional information.

Sincerely,

GREENBERG FARROW ARCHITECTURE INC.



Todd Mosher

Enclosures

Cc:

Don Thrailkill, Discount Tire Co. (via Fax)
Roger Fournier, Discount Tire Co. (via Fax)
Bill Moreland, Home Depot
Jos. Skach, Dir. Planning/Comm. Dev., Vlg. of Downers Grove (via Fax)
Dorin Fera, Traffic Engineer, Vlg. Of Downers Grove (via Fax)
Tom Ebels, GFA MW
Todd Mosher, GFA MW

ATTACHMENT 8

KENIG, LINDGREN, O'HARA, ABOONA, INC.

9575 W Higgins Road • Suite 400
Rosemont, Illinois 60018

(847) 518-9990 • Fax (847) 518-9987
email kloa@kloainc.com

MEMORANDUM TO: Todd Mosher
Greenberg Farrow Architecture

FROM: Luay R. Aboona, PE
Javier Millan

DATE: January 21, 2004

SUBJECT: Summary Traffic Evaluation
Proposed Discount Tire Store
Downers Grove, Illinois

This memorandum presents the results of a summary traffic evaluation study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed development of a 8,480 square foot Discount Tire in Downers Grove, Illinois. The store is to be located on an outlot parcel in the southeast corner of the existing Home Depot (2000 Butterfield Road) parking lot. Access will be provided via the existing signalized access drive onto Butterfield Road. This evaluation was conducted to evaluate the impact the development will have on the access streets and on the site circulation patterns.

Existing Conditions

The proposed development will be located on an outlot parcel in the southeast corner of the Home Depot parking lot. The site also contains a Golfsmith store (28,400±square feet) and a vacant 25,416 square-foot storefront adjacent to the Home Depot store. Major land uses in the site vicinity include office/hotel buildings south of the site, single-family residential to the west, and commercial to the east. The site is served via a signalized access drive off Butterfield Road (IL 56) which is an east-west major arterial that is under the jurisdiction of the Illinois Department of Transportation (IDOT). The roadway has three through lanes in each direction. At its signalized intersection with the access drive, the roadway provides dual left-turn lanes on the west approach and an exclusive right-turn lane on the east approach. The Home Depot access drive provides two inbound lane and dual left-turn lanes and an exclusive right-turn lane for outbound movements. The outbound right-turn lane is separated from the dual left-turn lane by a raised median. KLOA, Inc. reviewed a 2001 Annual Average Daily Traffic Map (AADT) for the area prepared by IDOT to determine the amount of traffic traveling through Butterfield Road. Based on the historical data, Butterfield Road carries an average of 42,000 daily trips (two-way).

Future Conditions

As mentioned previously the plans call for the development of a 8,480 s.f. Discount Tire Store to be located in the southwest corner of the Home Depot parking lot. The proposed development will be open from 8:30 A.M. to 6:00 P.M. Monday through Friday, 8:30 A.M. to 5:00 P.M. on Saturday and closed on Sundays.

The estimate of traffic volumes that will be generated by the proposed Discount Tire Store was based on rates obtained from the Trip Generation Manual, 6th Edition, published by the Institute of Transportation Engineers (ITE). Surveys conducted by ITE have shown that many trips made to commercial developments are diverted from existing traffic on the roadway system. Furthermore, interaction will typically occur between the different uses on site (Home Depot, Golfsmith and Discount Tire) thus reducing the amount of traffic entering and exiting the site. However, to provide a conservative evaluation, the traffic estimated to be generated by the proposed Discount Tire store was assumed to be new traffic to the roadway system and no trip reductions were applied. Table 1 presents a comparison of the trips generated by the Home Depot, the vacant store front, the Golfsmith store, the proposed Discount Tire store, and the existing Average Daily Traffic (ADT) on Butterfield Road.

Table 1
SITE-GENERATED AND EXISTING ADT TRAFFIC VOLUME COMPARISON

Land Use	Size	A.M. Peak Hour		P.M. Peak Hour		Weekday Two-Way Traffic
		In	Out	In	Out	
Home Depot	131,522± s.f.	105	90	175	200	4,680
Vacant Retail	25,416± s.f.	15	10	40	45	520
Golfsmith	28,400± s.f.	20	10	50	50	630
Discount Tire	8,480± s.f.	15	10	15	20	210
Existing Average Daily Traffic on Butterfield Road						42,000

As can be seen from Table 1, the traffic to be generated by the proposed Discount Tire store is very minimal amounting to approximately six percent of what the total site generates during the P.M. peak hour while its estimated weekday two-way traffic is only one-half percent of the existing daily traffic on Butterfield Road.

Site Circulation

There have been some concerns regarding the circulation patterns of the existing site and how the proposed development will interact with the existing circulation patterns. KLOA visited the site on Saturday October 25, 2003 during the peak hour and observed the following:

- The outbound dual left-turn lane queues often block the first east-west drive. However, it should be noted that these queues cleared every cycle. When exiting the site via the first east-west drive while crossing the two inbound lanes to enter the dual left-turn lanes or the right-turn lane, vehicles sometimes block the inbound lanes as they wait for the queues of exiting vehicles to clear or for a courtesy gap in the queue.
- The provision of a median separating the outbound dual left-turn lanes from the outbound right-turn lane is sometimes confusing to motorists as some drivers enter the outside left-turn lane thinking they can turn right onto Butterfield Road.

In order to rectify these deficiencies, the site plan has been revised to include the following:

- The existing barrier median separating the inbound traffic from outbound traffic at the main access drive will be extended thus closing the opening that allows vehicles traveling west on the first east-west drive to cross the inbound lanes and enter the outbound lanes. This will completely eliminate the potential for a vehicle traveling west on the first east-west drive to block the inbound lanes while attempting to get to the outbound lanes at the main access. With this improvement the first east-west drive would then become a right-in/right-out only access drive.
- Due to the extension of the median, the parking area east of the main access drive immediately north of the first east-west drive will be redesigned. Inbound Home Depot delivery trucks will continue to access the loading area as it operates today. Outbound trucks will continue exiting via the east-west drive but due to the extension of the barrier median, trucks will turn right on the third parking aisle from Discount Tire and travel north to the second east-west drive and turn right traveling west and then turning left onto the main access drive. Based on a review of the new parking layout and the turning templates for a WB-50 semi-truck prepared by the American Association of State Highway and Transportation Officials (AASHTO), the maneuvers can be performed without encroaching on parked vehicles. It should be noted that approximately 80 percent of all truck deliveries to Home Depot occur at night when the store is closed to the public. As such the amount of truck traffic that will perform this maneuver during normal shopping hours will be very minimal and will not create a conflict with customer traffic.

- Provide better signage to clearly direct traffic towards their desired path (dual left-turn lane or right-turn lane). The removal or the reduction of the length of the barrier median separating the dual left-turn lanes from the right-turn lane will help ease the confusion.
- Provide internal directional signage for the new driveways to direct truck and customer traffic to Butterfield Road.

Parking Requirements

The existing retail center provides a total of 652 parking spaces. Based on the Village of Downers Grove ordinance, the required parking is one parking space per 300 s.f. of retail area. As such, the following is a breakdown of the required parking spaces per land use.

1. Home Depot (including garden center) – 131,522 s.f.	438 parking spaces
2. Petsmart – 25,416 s.f.	85 parking spaces
3. Proposed Discount Tire – 8,480 s.f.	29 parking spaces
Total	552 required parking spaces

Under the new reconfigured parking lot, the center will provide 615 parking spaces which is 63 spaces more than what is required by code. Based on a review of the site plan, the following is a summary of the proposed number of parking spaces per land use.

1. Home Depot (including garden center) – 131,522 s.f.	449 parking spaces
2. Petsmart – 25,416 s.f.	124 parking spaces
3. Proposed Discount Tire – 8,480 s.f.	42 parking spaces
Total	615 parking spaces

Furthermore, we have reviewed the number of parking spaces that will be required and whether the amount of parking provided is sufficient to meet the demand of the center. Based on discussions with the Village of Downers Grove and their observations, the parking area is not more than ±60% occupied due to cross parking easements between the various users on the site. As such the addition of Discount Tires and the modifications to the site circulation and parking area will not be detrimental and sufficient parking will be available to meet the observed demand of the stores within the site. Even when the Home Depot operates the seasonal garden expansion which occupies 50 parking spaces, there is still more parking than what is required as well as more parking than what the observed demand is. In addition, it should be noted that due to the opening of a new Home Depot store in Oakbrook Terrace (approximately 3 miles east of the Downers Grove store) and the opening in mid February of another Home Depot store in Carol Stream, the parking demand the Downers Grove Home Depot has experience will most likely be less due to the fact that now Home Depot customers have the opportunity of visiting other stores within the area that are potentially more convenient to them.

Conclusion

It is our professional opinion, based on our observations, a review of the AADT map, and our experience with similar type projects, that the additional traffic resulting from the Discount Tire store will have negligible impact on the access system of the site and the adjacent roadway system. The number of parking spaces provided is more than what is required by code and will be adequate to meet the peak parking demand. With the recommendations outlined in this evaluation, the site circulation and the access system as proposed will be an improvement over the existing system and will be adequate to accommodate the proposed development's traffic. Due to the minimal amount of traffic to be generated by the proposed development, no external street improvements and/or modifications to the access system will be required.

ATTACHMENT 9

VILLAGE OF DOWNERS GROVE INTEROFFICE MEMORANDUM

TO: Joe Skach, Director of Planning & Community Development
Amanda Browne, Village Planner

FROM: Dorin Fera, Traffic Engineering Manager

DATE: February 4, 2004

RE: **Traffic Evaluation Study - Update** **Page 1**
New Discount Tire
Butterfield Road at Esplanade Drive

The proposed traffic evaluation study prepared by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the subject development has been reviewed. The Traffic Division's comments are:

Following a meeting with the Petitioner on January 14, 2004

Updated Summary Traffic Evaluation, and Letter from Greenberg Farrow, Dated January 26, 2004:

- 1.) The Traffic Division has reviewed the updated Traffic Evaluation prepared by KLOA, Inc. and agrees with its findings and conclusions that the parking supply will meet the demands of the Home Depot center and the proposed Discount Tire facility.
- 2.) The potential traffic impacts resulting from the addition of the proposed Discount Tire facility have also been reviewed. Based on anticipated trip generation characteristics, it was concluded that traffic impact from this proposed Discount Tire development, would be negligible when compared with the existing conditions.
- 3.) There are no outstanding traffic or parking issues for this petitioner. The petitioner has provided satisfactory responses to all previous issues raised by Staff as described below.
- 4.) The Traffic Division recommends approval for submittal to Plan Commission and Village Council.

Previous Issues That Have Been Addressed:

1. Correct the aisle alignment in front of the proposed Discount Tire Store. The drawing shows the northbound lane heading into a concrete landscaped island.
2. Provide better vehicular guidance at the north side of the Discount Tire building by the dumpster enclosure. More physical separation and guidance is needed for both refuse and delivery vehicles since it appears that a formal loading zone is not provided.
3. The island opening on the east side of the Center Aisle Driveway, located about 120 feet north of the east-west drive, is poorly designed. The present design requires zig-zag maneuvers to enter or exit the parking stalls. This type of driving is neither useful nor desirable in the parking layout of this site. With increased traffic activity, physical modification of this island may be needed to improve traffic flow and reduce the accident potential.

**RE: Traffic Evaluation Study - Update
 New Discount Tire
 Butterfield Road at Esplanade Drive**

Page 2

4. The site ring road intersecting with the Center Aisle Driveway should have a STOP sign installed for westbound traffic. This action, in conjunction with the KLOA-proposed "Do Not Block Intersection" sign there, should provide improved motorist guidance.
5. Staff concurs with the KLOA-proposed recommendation of removing the barrier median in the Center Aisle Driveway exit lanes at Butterfield Road, between the dual left and the exclusive right turn lanes.
6. The Center Aisle Driveway into the site leading toward Home Depot currently terminates within parked vehicles, does not reach the main doors or connect to another access drive. The present design causes confusion, and potential for vehicular conflicts, and may need to be revised.
7. With no current development in the southeast quadrant of the site, the site ring road carries few vehicles, such as for periodic deliveries to Home Depot. However, with the development of the Discount Tire facility, there will be increased traffic activity on this ring road, especially at the Center Aisle Driveway intersection exiting the site. The performance at the Center Aisle Driveway may need to be improved through revisions to the median, and through physical or operational changes to the ring road.



ATTACHMENT 10

February 2, 2004

VIA FACSIMILE AND POST

FILE COPY

www.vil.downers-grove.il.us

Mr. Todd Mosher, Project Coordinator
Greenburg Farrow Architecture
3455 Salt Creek Lane – Suite 100
Arlington Heights, IL 60005

**COMMUNITY
RESPONSE CENTER**
630.434.CALL (2255)

Re: 1201 Butterfield Road; PC 2008, Home Depot Center Parking and Traffic Operations

CIVIC CENTER
801 Burlington Ave.
Downers Grove
Illinois 60515-4776
630.434.5500
TDD 630.434.5511
FAX 630.434.5571

Mr. Mosher,

After completing a review of the materials submitted January 28, 2004 the following outstanding items require immediate attention:

**FIRE DEPARTMENT
ADMINISTRATION**
6701 Main Street
Downers Grove
Illinois 60515-1506
630.434.5980
FAX 630.434.5998

1. Please provide confirmation in written form by an authorized representative that all property owners in the Center are in agreement with and intend to enter into the perpetual "Reciprocal Easement and Operating Agreement." Note that a fully executed agreement, by all property owners, is a condition of approval.
2. Also, please note that Section 1.1 (e) of the currently proposed perpetual "Reciprocal Easement and Operations Agreement" does not permit inclusion of spaces on other parcels to satisfy parking compliance with code. This section may affect the ability of Center property owners to obtain permits for authorized temporary uses or preclude potentially favorable consideration of a Special Use request, required per Code, for outdoor display of merchandise. Based on the petition, the creation of the Discount Tire lot results in a parking surplus for all parcels. The resulting Home Depot lot would have a surplus of 11 spaces. The memo dated January 21, 2004 from the petitioner's traffic engineer (KLOA) states that the Home Depot temporary seasonal garden expansion can occupy as many as 50 parking spaces leaving the resulting Home Depot parcel with a 39-space deficit during that temporary period.

POLICE DEPARTMENT
825 Burlington Ave.
Downers Grove
Illinois 60515-4783
630.434.5600
FAX 630.434.5690

As you are the project representative for Home Depot as well, please ensure that all property owners are aware that outdoor display of merchandise in the B-3 zoning district is subject to Special Use consideration per Code. Consequently, it is advised that Home Depot discuss with staff the possible need for Special Use review of the proposed seasonal outdoor garden center far enough in advance of its anticipated start.

**PUBLIC WORKS
DEPARTMENT**
5101 Walnut Ave.
Downers Grove
Illinois 60515-4074
630.434.5460
FAX 630.434.5495

Satisfactory resolution of remaining issues must be reached today. Please contact me as soon as you are able to submit the additional materials for staff review at 630-434-5520.

Sincerely,

Keith R. Sbiral
Current Development Planner

**DEPARTMENT OF
SOCIAL & HEALTH
SERVICES**
842 Curtiss Street
Downers Grove
Illinois 60515-4761
630.434.5595
FAX 630.434.5599

c: Joseph Skach, Director, Planning and Community Development
Don Rosenthal, Director, Code Services
Dorin Fera, Traffic Engineer
Michael Baker, Assistant to the Village Manager
File



ATTACHMENT 11

Sbiral, Keith

From: TODD MOSHER [tmosher@greenbergfarrow.com]
Sent: Monday, February 02, 2004 2:58 PM
To: ksbiral@downers.us
Cc: DThrailkill@discounttireco.com; RFournier@discounttireco.com; Tom Ebels; bill_moreland@homedepot.com; brett_soloway@homedepot.com; jpoole@hssw.com
Subject: Re: DISCOUNT TIRE



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pdf

Keith,

I have forwarded your comments to Home Depot and Discount Tire for their review. In the interest of making sure that we do not lose the February 10 Village Board workshop agenda, and since your staff report is due today, I will attempt to address your comments below.

Response to Comment #1:

All parties to the REA have been actively involved in the amendment. The final draft and site plan exhibits will be executed after the Village Council approvals, to ensure that there will not be any additional revisions or conditions which need to be addressed. As you know, representatives from both Home Depot and Discount Tire have met with Joseph Skatch, Dorin Fera, and yourself on January 13th, to work out the final details of the site plan, and to propose the current solutions to the traffic circulation issues. An updated traffic assessment was also prepared and updated to reflect the new site layout and improvements proposed.

Response to Comment #2:

We acknowledge that Home Depot's temporary seasonal sales area for outdoor display and sale of merchandise may be restricted per code and special use provisions relative to the availability of excess parking on the Home Depot lot. While this is not directly related to the Discount Tire proposal, we appreciate your comment, and may look into adding a provision between Discount Tire and Home Depot for the temporary use of the surplus parking on lot 5 (Discount Tire) for future special use permits. As discussed on the phone, there may be some other temporary parking options for Home Depot North of the building as well.

If you have any further questions, please let me know. We look forward to the Village Board workshop meeting on February 10.

Todd

>>> "Sbiral, Keith" <ksbiral@downers.us> 2/2/04 12:59:36 PM >>>
Todd,

We have reviewed the documents submitted last week. Please see the letter I just faxed you. Give me a call if you have any questions.

Keith Sbiral

Current Development Planner

Todd Mosher
Greenberg Farrow
3455 Salt Creek Lane
Arlington Heights, IL 60005
847-788-9200
847-788-9537 (fax)
tmosher@greenbergfarrow.com



ATTACHMENT 12

FILE COPY

February 3, 2004

VIA FACSIMILE AND POST

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**COMMUNITY
RESPONSE CENTER**
630.434.CALL (2255)

CIVIC CENTER
801 Burlington Ave.
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FAX 630.434.5571

**FIRE DEPARTMENT
ADMINISTRATION**
6701 Main Street
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FAX 630.434.5998

POLICE DEPARTMENT
825 Burlington Ave.
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630.434.5600
FAX 630.434.5690

**PUBLIC WORKS
DEPARTMENT**
5101 Walnut Ave.
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630.434.5460
FAX 630.434.5495

**DEPARTMENT OF
SOCIAL & HEALTH
SERVICES**
842 Curtiss Street
Downers Grove
Illinois 60515-4761
630.434.5595
FAX 630.434.5599

Mr. Todd Mosher, Project Coordinator
Greenburg Farrow Architecture
3455 Salt Creek Lane – Suite 100
Arlington Heights, IL 60005

Re: 1201 Butterfield Road; PC 2008, Home Depot Center Parking and Traffic Operations
Ref: Email from Todd Mosher, designated Home Depot and Discount Tire Representative, to Keith Sbiral, Village of Downers Grove, dated February 2, 2004

Mr. Mosher,

This letter is to confirm receipt of your email dated February 2, 2004, and to confirm our understanding of its content:

1. All property owners in the Center are fully aware of the proposed amended "Reciprocal Easement and Operating Agreement" and fully intend to enter into the agreement upon Village approval and as a condition to the proposed Special Use.
2. The Home Depot is fully aware that outdoor display of merchandise is subject to Special Use consideration by the Village and that with an 11 space parking surplus on the Home Depot parcel, the Home Depot's ability to obtain a Special Use may be negatively impacted.

The Discount Tire petition is scheduled for the February 10, 2004 Workshop Agenda. The Workshop meeting begins at 6:30 p.m. and as we discussed previously, it will be beneficial to have a representative of both Discount Tire and Home Depot present at the meeting in order to address the Village Council. If you have any additional questions I can be reached at 630-434-5520.

Sincerely,

Keith R. Sbiral
Current Development Planner

c: Joseph Skach, Director, Planning and Community Development
Don Rosenthal, Director, Code Services
Dorin Fera, Traffic Engineer
Michael Baker, Assistant to the Village Manager
File



GREENBERGFARROW
TECHNICAL SERVICES, INC.
ARCHITECTURE
ENGINEERING
DEVELOPMENT

1000 WASHINGTON
SUITE 1000
WASHINGTON, DC 20004
TEL: 202-331-1000
FAX: 202-331-1001

DISCOUNT TIRE HOME DEPOT
1000 WASHINGTON
SUITE 1000
WASHINGTON, DC 20004
TEL: 202-331-1000
FAX: 202-331-1001

PROFESSIONAL SEAL
DATE: 1/19/2004
BY: [Signature]

DISCOUNT TIRE COMPANY
1000 WASHINGTON
SUITE 1000
WASHINGTON, DC 20004
TEL: 202-331-1000
FAX: 202-331-1001

PROFESSIONAL SEAL
DATE: 1/19/2004
BY: [Signature]

DISCOUNT TIRE COMPANY
1000 WASHINGTON
SUITE 1000
WASHINGTON, DC 20004
TEL: 202-331-1000
FAX: 202-331-1001

PROFESSIONAL SEAL
DATE: 1/19/2004
BY: [Signature]

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PROFESSIONAL SEAL
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FAX: 202-331-1001

PROFESSIONAL SEAL
DATE: 1/19/2004
BY: [Signature]

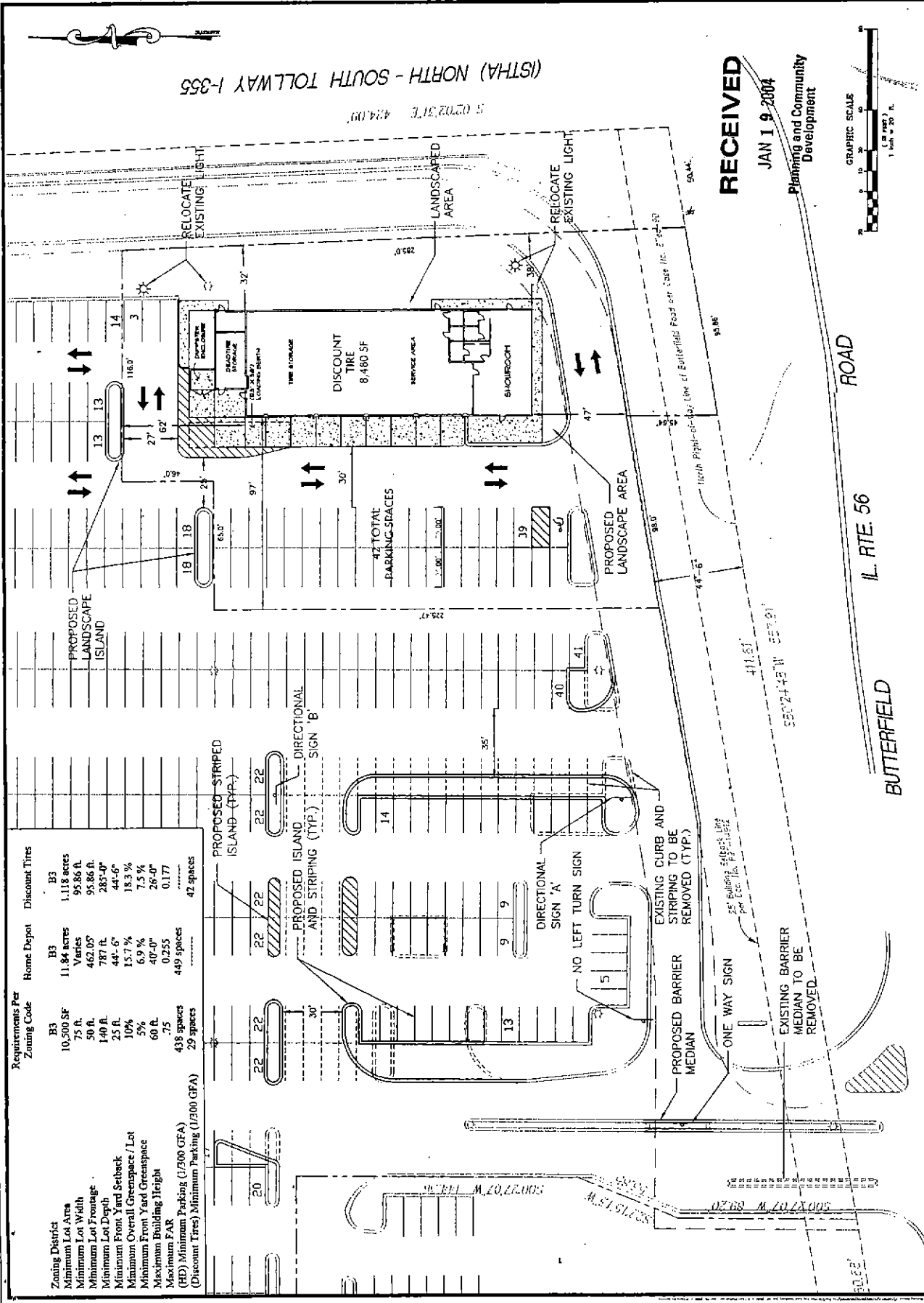
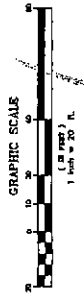
DISCOUNT TIRE COMPANY
1000 WASHINGTON
SUITE 1000
WASHINGTON, DC 20004
TEL: 202-331-1000
FAX: 202-331-1001

PROFESSIONAL SEAL
DATE: 1/19/2004
BY: [Signature]

DISCOUNT TIRE COMPANY
1000 WASHINGTON
SUITE 1000
WASHINGTON, DC 20004
TEL: 202-331-1000
FAX: 202-331-1001

(SOUTH - NORTH - SOUTH TOLLWAY I-355)
5 020231E 424.09'

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Planning and Community
Development



Requirements Per Zoning Code	Home Depot	Discount Tires
Zoning District	B3	B3
Minimum Lot Area	10,500 SF	1,118 acres
Minimum Lot Width	75 ft.	95.86 ft.
Minimum Lot Frontage	140 ft.	462.05'
Minimum Lot Depth	25 ft.	787 ft.
Minimum Front Yard Setback	10%	44'-6"
Minimum Overall Greenspace / Lot	5%	15.7 %
Minimum Front Yard Greenspace	60 ft.	6.9 %
Maximum Building Height	75	40'-0"
Maximum FAK	75	0.255
(HD) Minimum Parking (1/300 GFA)	438 spaces	42 spaces
(Discount Tires) Minimum Parking (1/300 GFA)	29 spaces	42 spaces



GREENBERG FARROW
 125 WEST 57TH STREET
 ENGINEERING
 DEVELOPMENT

NEW YORK, NY 10019
 PHONE: 212-692-4600
 FAX: 212-692-4601
 WWW.GREENBERGFARROW.COM

PROJECT NAME: HOME DEPOT SUBDIVISION
PROJECT NO.: R97-14912
PROJECT TITLE: GRADING PLAN

PROJECT OWNER: HOME DEPOT
PROJECT ADDRESS: 355 TOLL WAY
PROJECT CITY: BUTTERFIELD, NY

PROJECT STATE: NY
PROJECT COUNTY: ALBANY

PROJECT SHEET: 2
PROJECT DATE: JAN 19 2004

PROJECT SCALE: 1" = 40' (AS SHOWN)

PROJECT DRAWN BY: [Name]
PROJECT CHECKED BY: [Name]
PROJECT DATE: [Date]

PROJECT TITLE: GRADING PLAN

PROJECT NO.: R97-14912

PROJECT ADDRESS: 355 TOLL WAY

PROJECT CITY: BUTTERFIELD, NY

PROJECT STATE: NY

PROJECT COUNTY: ALBANY

PROJECT SHEET: 2

PROJECT DATE: JAN 19 2004

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PROJECT TITLE: GRADING PLAN

PROJECT NO.: R97-14912

HOME DEPOT SUBDIVISION
 DOCUMENT NO. R97-14912

LOT 1

PROPOSED LANDSCAPE ISLAND

PROPOSED LANDSCAPE ISLAND

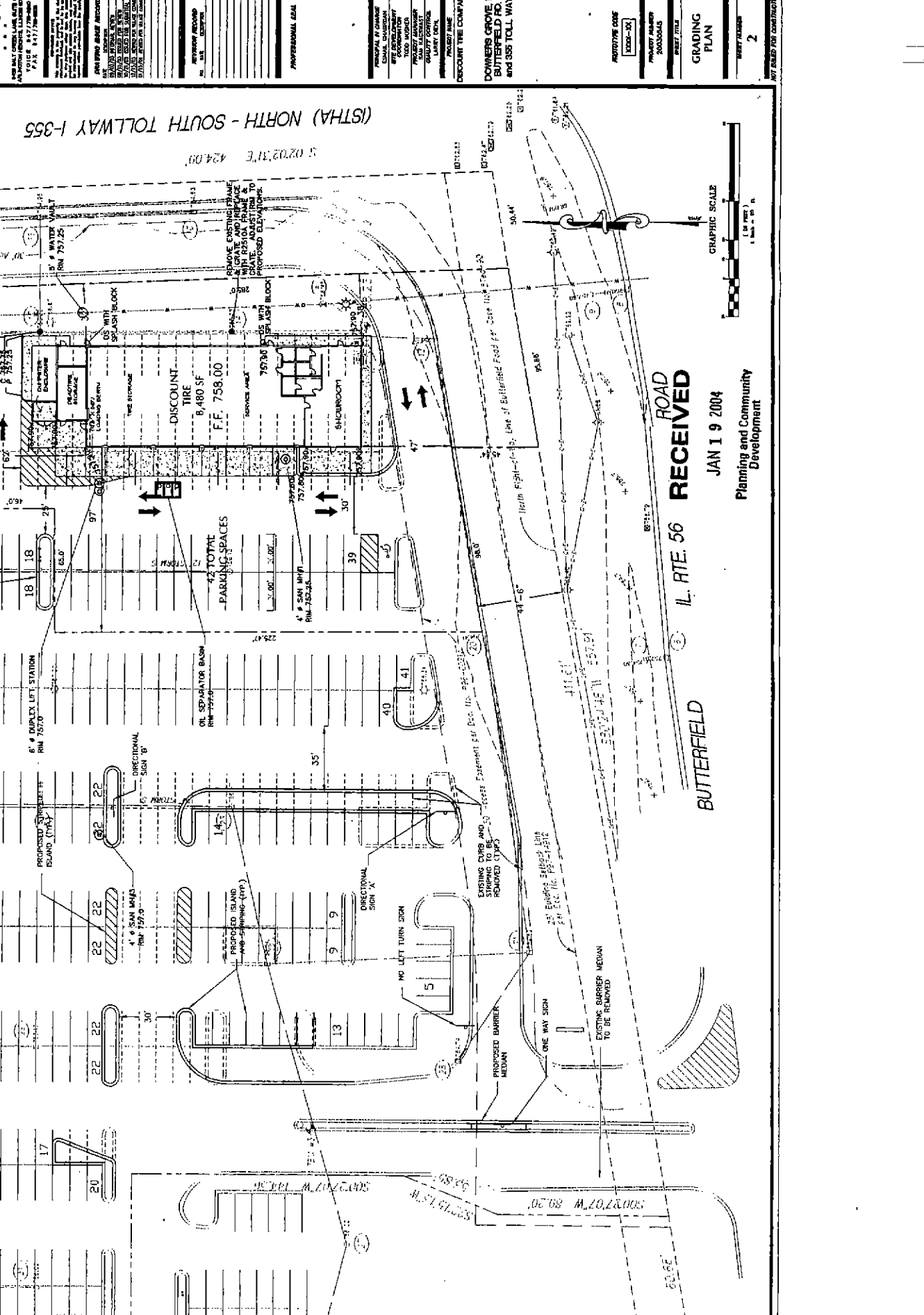
PROPOSED LANDSCAPE ISLAND

PROPOSED LANDSCAPE ISLAND

PROPOSED LANDSCAPE ISLAND

PROPOSED LANDSCAPE ISLAND

PROPOSED LANDSCAPE ISLAND



ROAD
 IL. RTE. 56 RECEIVED
 JAN 19 2004
 Planning and Community
 Development





GREBER FARROW
ARCHITECTURE
ENGINEERING
DEVELOPMENT

1001 S. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 PHONE: 303.733.1100
 FAX: 303.733.1101

PROFESSIONAL SEAL

REGISTERED PROFESSIONAL ENGINEER
 STATE OF COLORADO
 LICENSE NO. 10010

REGISTERED PROFESSIONAL ARCHITECT
 STATE OF COLORADO
 LICENSE NO. 10010

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
 STATE OF COLORADO
 LICENSE NO. 10010

REGISTERED PROFESSIONAL CIVIL ENGINEER
 STATE OF COLORADO
 LICENSE NO. 10010

REGISTERED PROFESSIONAL ELECTRICAL ENGINEER
 STATE OF COLORADO
 LICENSE NO. 10010

REGISTERED PROFESSIONAL MECHANICAL ENGINEER
 STATE OF COLORADO
 LICENSE NO. 10010

REGISTERED PROFESSIONAL PLUMBING ENGINEER
 STATE OF COLORADO
 LICENSE NO. 10010

REGISTERED PROFESSIONAL MECHANICAL ENGINEER
 STATE OF COLORADO
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REGISTERED PROFESSIONAL PLUMBING ENGINEER
 STATE OF COLORADO
 LICENSE NO. 10010

REGISTERED PROFESSIONAL MECHANICAL ENGINEER
 STATE OF COLORADO
 LICENSE NO. 10010

(SOUTH) NORTH - SOUTH TOLLWAY I-355

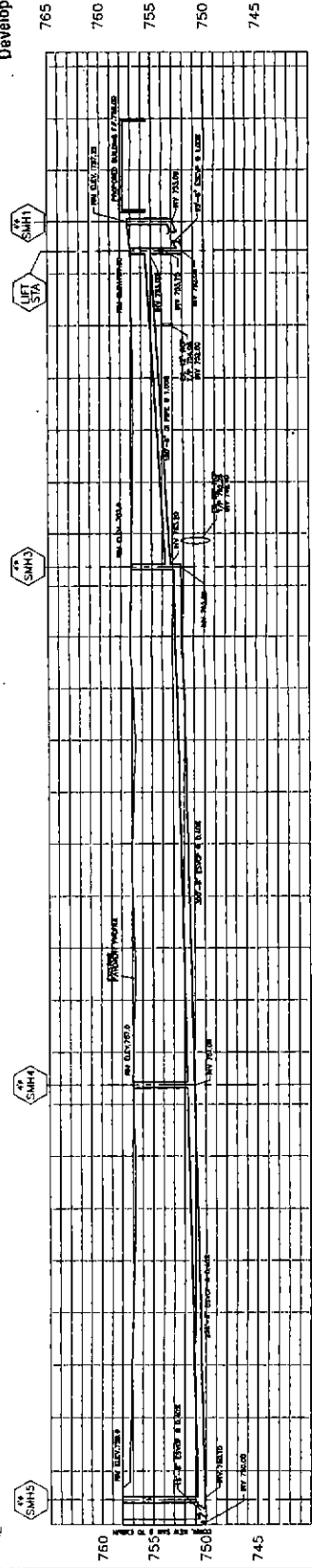
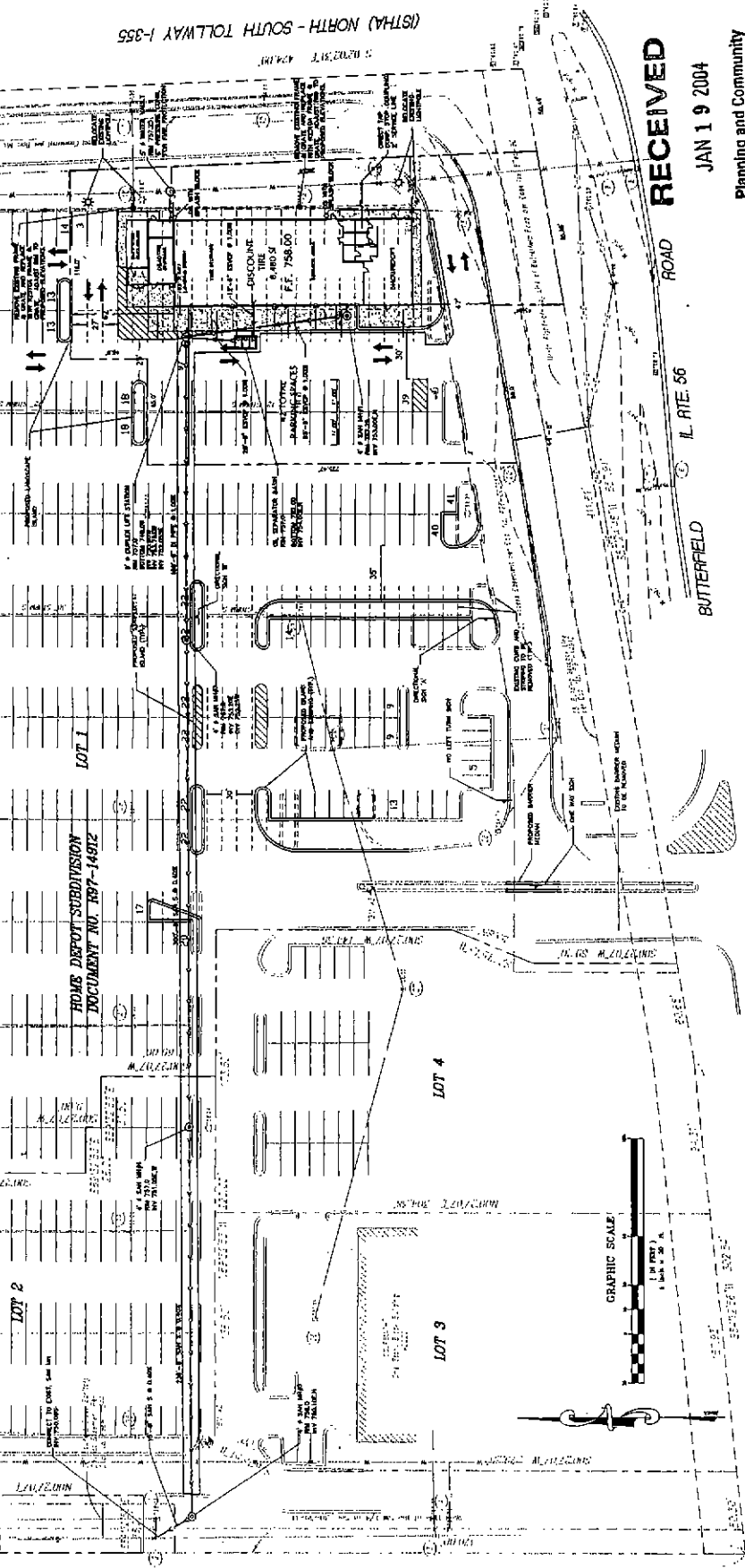
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JAN 19 2004

Planning and Community
 Development

ROAD BUTTERFIELD

IL. RTE. 56



SANITARY SEWER PROFILE
 1/17/04



GREENBERGFARROW
ARCHITECTURE
INCORPORATED
PLANNING
DESIGN
CONSTRUCTION

200 WEST WASHINGTON STREET, SUITE 100
 CHICAGO, ILLINOIS 60601
 VOICE: 312/779-0900
 FAX: 312/779-0902

OWNER:
 DISCOUNT TIRE COMPANY

PROJECT NAME:
 DISCOUNT TIRE COMPANY

PROJECT NUMBER:
 20030815

DATE:
 08/11/04

SCALE:
 1" = 40'

PROJECT LOCATION:
 5127 W. 111th St., Chicago, IL 60648

PROJECT NUMBER:
 20030815

DATE:
 08/11/04

SCALE:
 1" = 40'

PROJECT LOCATION:
 5127 W. 111th St., Chicago, IL 60648

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SCALE:
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PROJECT LOCATION:
 5127 W. 111th St., Chicago, IL 60648

PROJECT NUMBER:
 20030815

DATE:
 08/11/04

PROFESSIONAL SEAL:
 ARCHITECT

PROFESSIONAL SEAL:
 LANDSCAPE ARCHITECT

PROFESSIONAL SEAL:
 CIVIL ENGINEER

PROFESSIONAL SEAL:
 ELECTRICAL ENGINEER

PROFESSIONAL SEAL:
 MECHANICAL ENGINEER

PROFESSIONAL SEAL:
 CHEMICAL ENGINEER

PROFESSIONAL SEAL:
 INDUSTRIAL ENGINEER

PROFESSIONAL SEAL:
 AERONAUTICAL ENGINEER

PROFESSIONAL SEAL:
 METALLURGICAL ENGINEER

PROFESSIONAL SEAL:
 CIVIL ENGINEER

PROFESSIONAL SEAL:
 ELECTRICAL ENGINEER

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 MECHANICAL ENGINEER

PROFESSIONAL SEAL:
 CHEMICAL ENGINEER

PROFESSIONAL SEAL:
 INDUSTRIAL ENGINEER

PROFESSIONAL SEAL:
 AERONAUTICAL ENGINEER

PROFESSIONAL SEAL:
 METALLURGICAL ENGINEER

PLANT LIST

TAG	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	QTY.
SHADE TREES					
FAAP	<i>Fraxinus americana</i>	American Purple Ash	B&B	2.5' CAL.	11
ORNAMENTAL GRASSES					
			Cont.	1 GAL.	14

Species to match exist. (To be determined)

PLANT LEGEND



Proposed tree

Exist. tree to be removed

Exist. tree to remain

1-FAAP WITH SOD

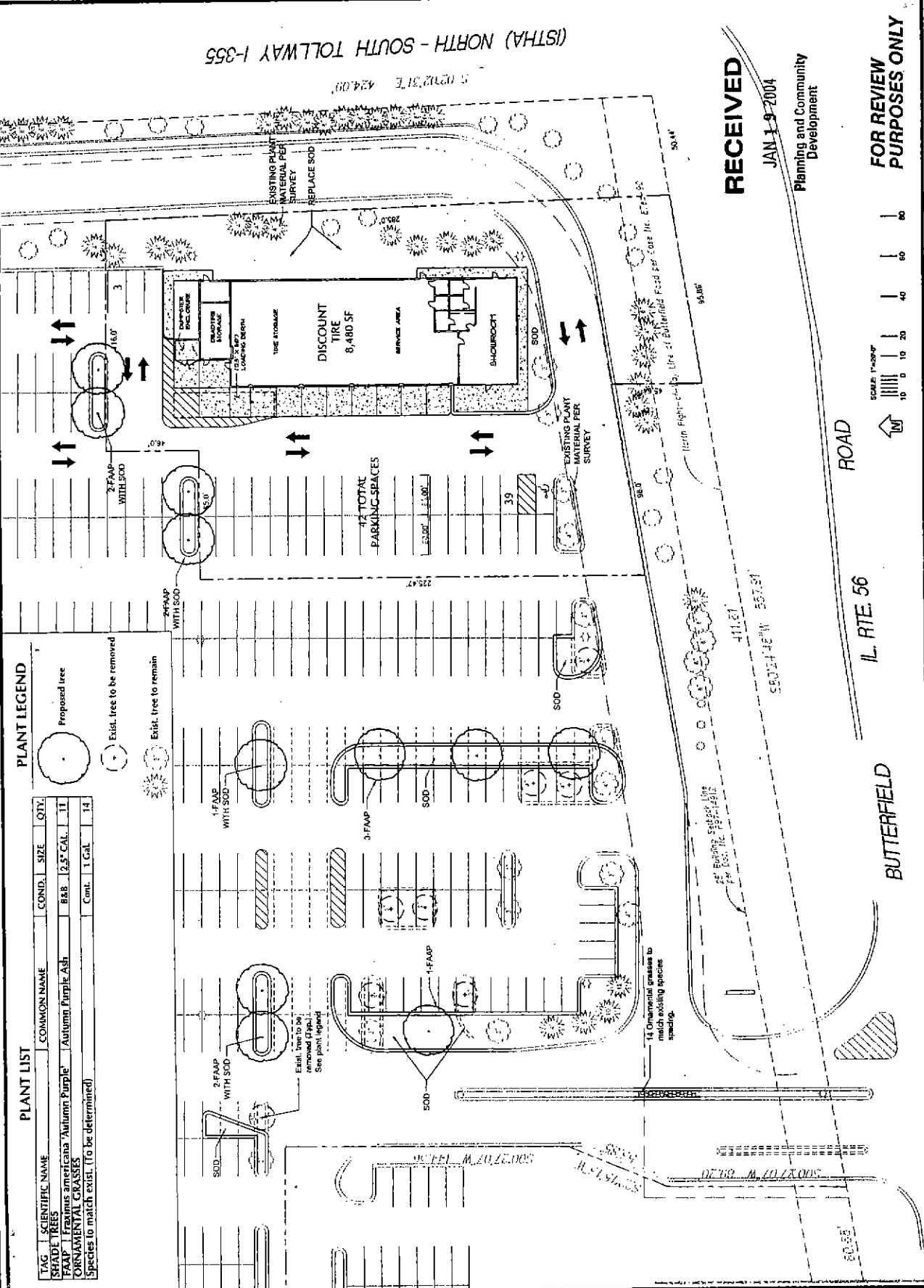
2-FAAP WITH SOD

3-FAAP WITH SOD

4-FAAP WITH SOD

Exist. tree to be removed (if placed Site to be removed)

14 Ornamental grasses to match existing species spacing.



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JAN 19 2004

Planning and Community Development

ROAD

IL. RTE. 56

BUTTERFIELD

FOR REVIEW PURPOSES ONLY

SCALE 1"=40'





GREENBERGFARROW
ENGINEERING
ARCHITECTURE
PLANNING
CONSULTANTS

4400 MAY CREEK DRIVE, SUITE 200
 ANAHEIM, CALIFORNIA 92805
 TEL: 714/835-7700
 FAX: 714/835-7700

DESIGNED BY: GREENBERGFARROW
 DRAWN BY: GREENBERGFARROW
 CHECKED BY: GREENBERGFARROW
 DATE: 11/11/00

PROJECT NO.: 00-0000-00
 SHEET NO.: 5
 OF 5

PROJECT NAME:
 PROJECT LOCATION:
 PROJECT OWNER:

PROJECT NO.:
 SHEET NO.:
 OF NO. SHEETS:

DATE:
 SCALE:

PROJECT NAME:
 PROJECT LOCATION:
 PROJECT OWNER:

PROJECT NO.:
 SHEET NO.:
 OF NO. SHEETS:

DATE:
 SCALE:

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 PROJECT LOCATION:
 PROJECT OWNER:

PROJECT NO.:
 SHEET NO.:
 OF NO. SHEETS:

DATE:
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PROJECT NO.:
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 OF NO. SHEETS:

DATE:
 SCALE:

PROJECT NAME:
 PROJECT LOCATION:
 PROJECT OWNER:

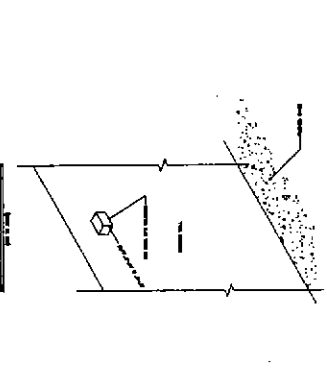
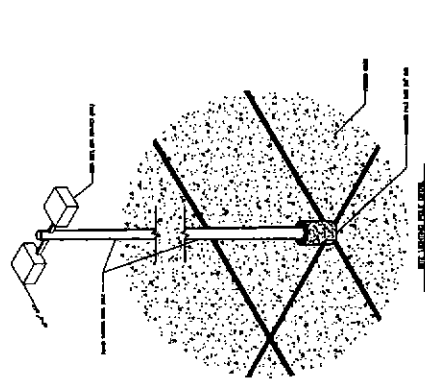
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 SHEET NO.:
 OF NO. SHEETS:

DATE:
 SCALE:

PROJECT NAME:
 PROJECT LOCATION:
 PROJECT OWNER:

PROJECT NO.:
 SHEET NO.:
 OF NO. SHEETS:

DATE:
 SCALE:

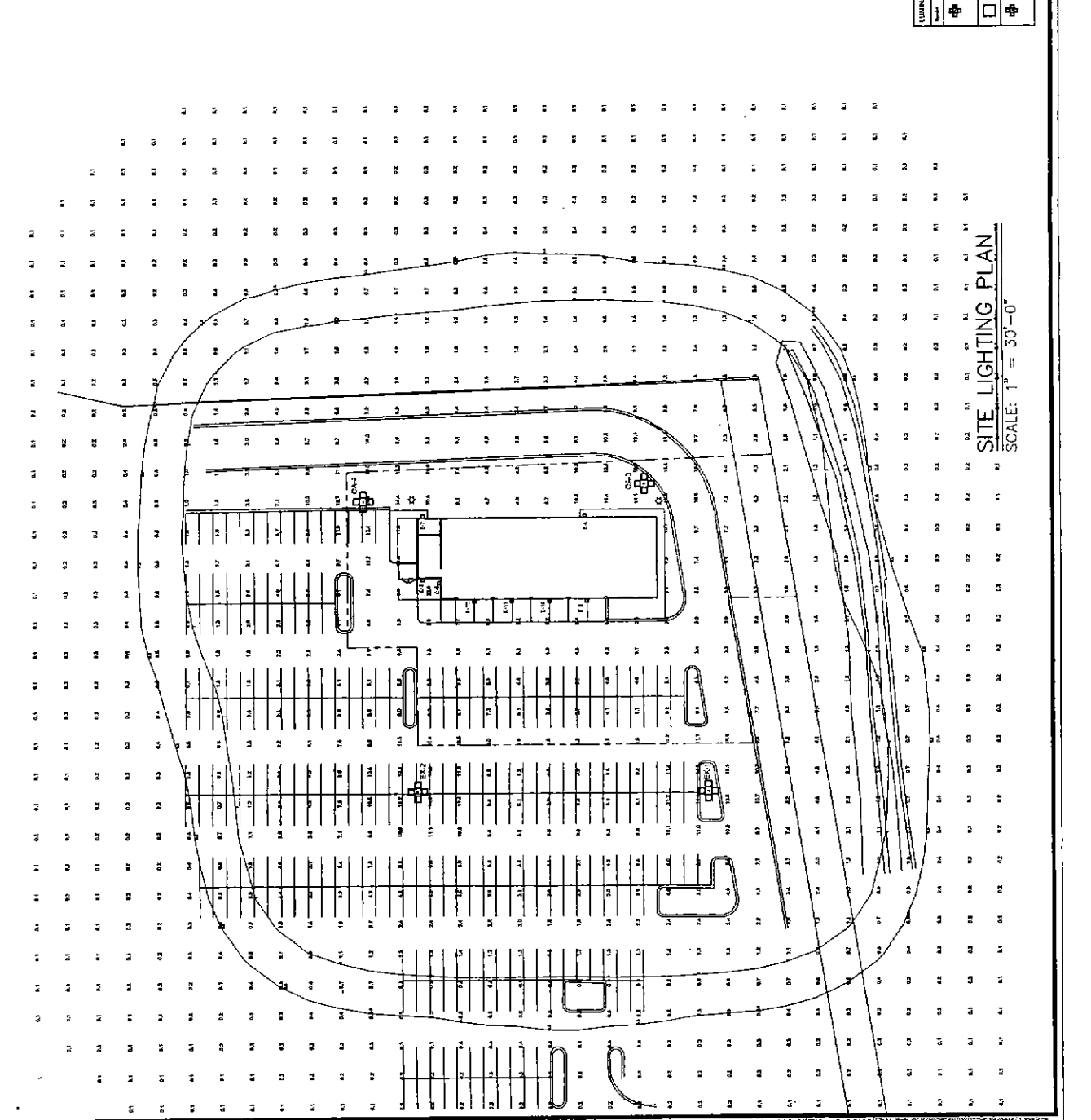


Beam Diameter	Beam Spread	Beam Angle	Beam Length
10'	100'	10.0°	100'
20'	400'	20.0°	400'
30'	900'	30.0°	900'
40'	1600'	40.0°	1600'
50'	2500'	50.0°	2500'

Fixture No.	Beam Diameter	Beam Spread	Beam Angle	Beam Length
1	10'	100'	10.0°	100'
2	20'	400'	20.0°	400'
3	30'	900'	30.0°	900'
4	40'	1600'	40.0°	1600'
5	50'	2500'	50.0°	2500'
6	60'	3600'	60.0°	3600'
7	70'	4900'	70.0°	4900'
8	80'	6400'	80.0°	6400'
9	90'	8100'	90.0°	8100'
10	100'	10000'	100.0°	10000'

Fixture No.	Beam Diameter	Beam Spread	Beam Angle	Beam Length
11	110'	12100'	110.0°	12100'
12	120'	14400'	120.0°	14400'
13	130'	16900'	130.0°	16900'
14	140'	19600'	140.0°	19600'
15	150'	22500'	150.0°	22500'
16	160'	25600'	160.0°	25600'
17	170'	28900'	170.0°	28900'
18	180'	32400'	180.0°	32400'
19	190'	36100'	190.0°	36100'
20	200'	40000'	200.0°	40000'

Fixture No.	Beam Diameter	Beam Spread	Beam Angle	Beam Length
21	210'	44100'	210.0°	44100'
22	220'	48400'	220.0°	48400'
23	230'	52900'	230.0°	52900'
24	240'	57600'	240.0°	57600'
25	250'	62500'	250.0°	62500'
26	260'	67600'	260.0°	67600'
27	270'	72900'	270.0°	72900'
28	280'	78400'	280.0°	78400'
29	290'	84100'	290.0°	84100'
30	300'	90000'	300.0°	90000'



SITE LIGHTING PLAN
 SCALE: 1" = 30'-0"



GREBER FARROW
ARCHITECTS
ENGINEERS
PLANNERS
INTERIORS

400 EAST COCKERMAN BLVD. SUITE 200
 ANTONIO, TEXAS 78104
 TEL: 512/347-7900
 FAX: 512/347-7901

PROFESSIONAL SEAL

STATE OF TEXAS
 ARCHITECTS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL PLANNER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL INTERIOR DESIGNER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL ENVIRONMENTAL ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL ELECTRICAL ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL MECHANICAL ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL CIVIL ENGINEER

STATE OF TEXAS
 NO. 12345
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REGISTERED PROFESSIONAL CHEMICAL ENGINEER

STATE OF TEXAS
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STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL AERONAUTICAL ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL NUCLEAR ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL AGRICULTURAL ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL INDUSTRIAL ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL MARINE ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL MINING ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL PETROLEUM ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL SURVEYING ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL TRANSPORTATION ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL WATER RESOURCES ENGINEER

STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL WIND ENGINEER

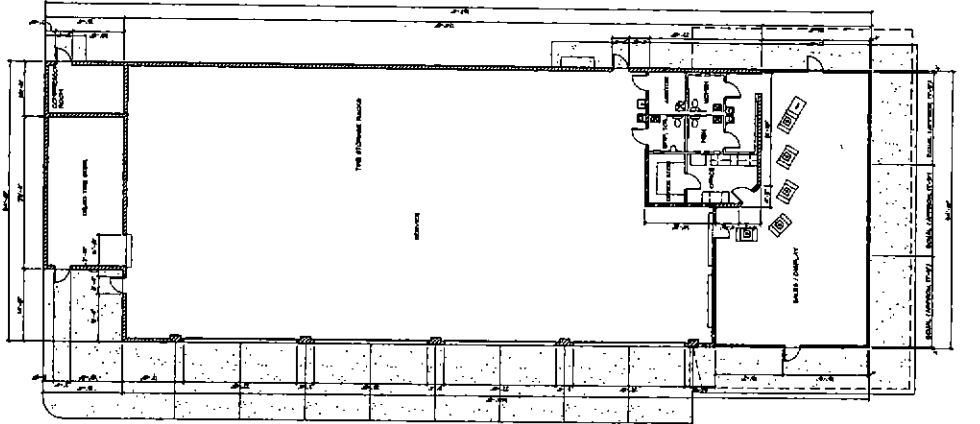
STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL WOODWORKING ENGINEER

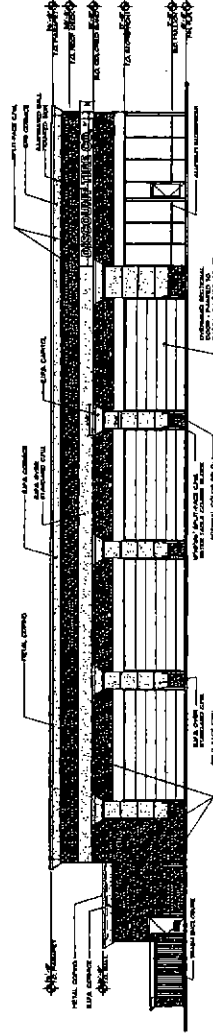
STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010

REGISTERED PROFESSIONAL YACHT ENGINEER

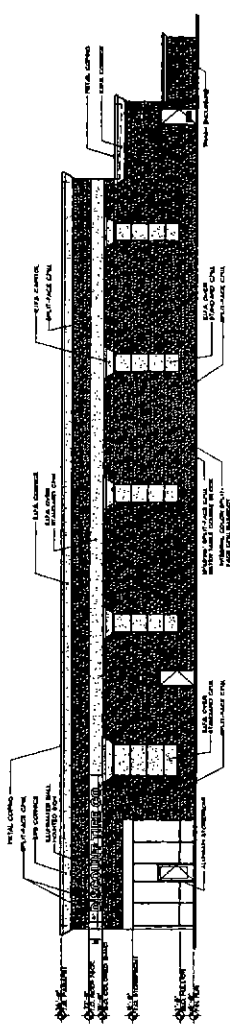
STATE OF TEXAS
 NO. 12345
 EXPIRES 12/31/2010



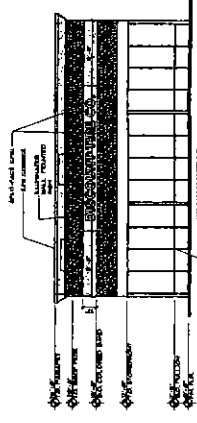
FLOOR PLAN
 SCALE: 3/32" = 1'-0"



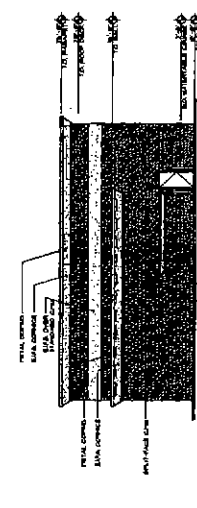
LEFT SIDE (WEST) ELEVATION
 SCALE: 3/32" = 1'-0"



RIGHT SIDE (EAST) ELEVATION
 SCALE: 3/32" = 1'-0"



FRONT (SOUTH) ELEVATION
 SCALE: 3/32" = 1'-0"

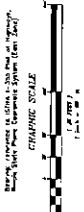
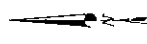
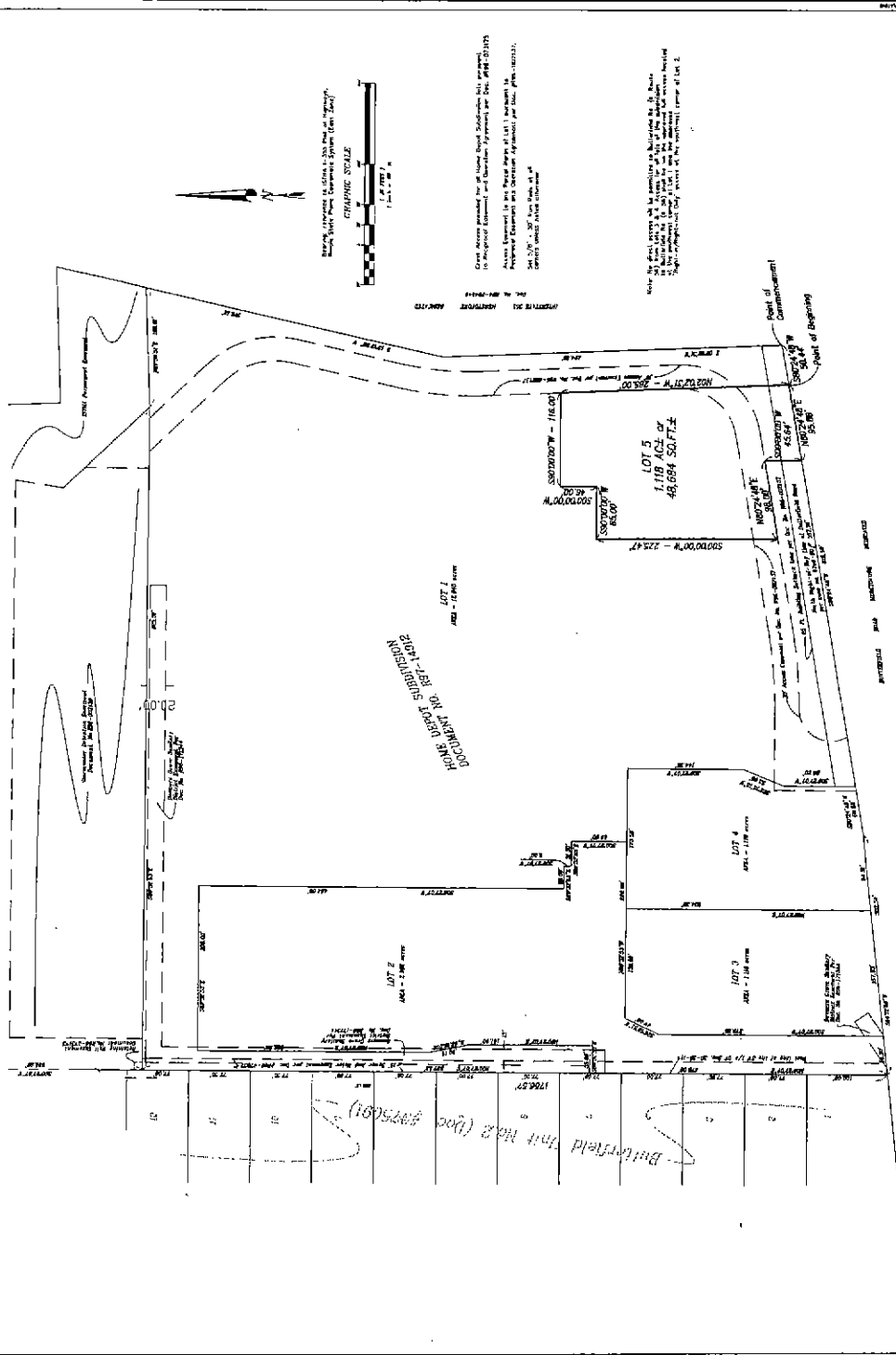


REAR (NORTH) ELEVATION
 SCALE: 3/32" = 1'-0"

RESUBDIVISION NO. 1 OF HOME DEPOT SUBDIVISION

Part of P.L.N. 06-30-300-013

THIS PLAN IS A PART OF THE RESUBDIVISION OF THE HOME DEPOT SUBDIVISION, PLANNED BY THE HOME DEPOT STORES, INC., AND IS SUBJECT TO THE RECORDATION OF THE HOME DEPOT SUBDIVISION, PLANNED BY THE HOME DEPOT STORES, INC., IN THE PUBLIC RECORDS OF THE COUNTY OF LOS ANGELES, CALIFORNIA, UNDER RECORDATION NO. 06-30-300-013. THIS PLAN IS A PART OF THE RESUBDIVISION OF THE HOME DEPOT SUBDIVISION, PLANNED BY THE HOME DEPOT STORES, INC., AND IS SUBJECT TO THE RECORDATION OF THE HOME DEPOT SUBDIVISION, PLANNED BY THE HOME DEPOT STORES, INC., IN THE PUBLIC RECORDS OF THE COUNTY OF LOS ANGELES, CALIFORNIA, UNDER RECORDATION NO. 06-30-300-013.



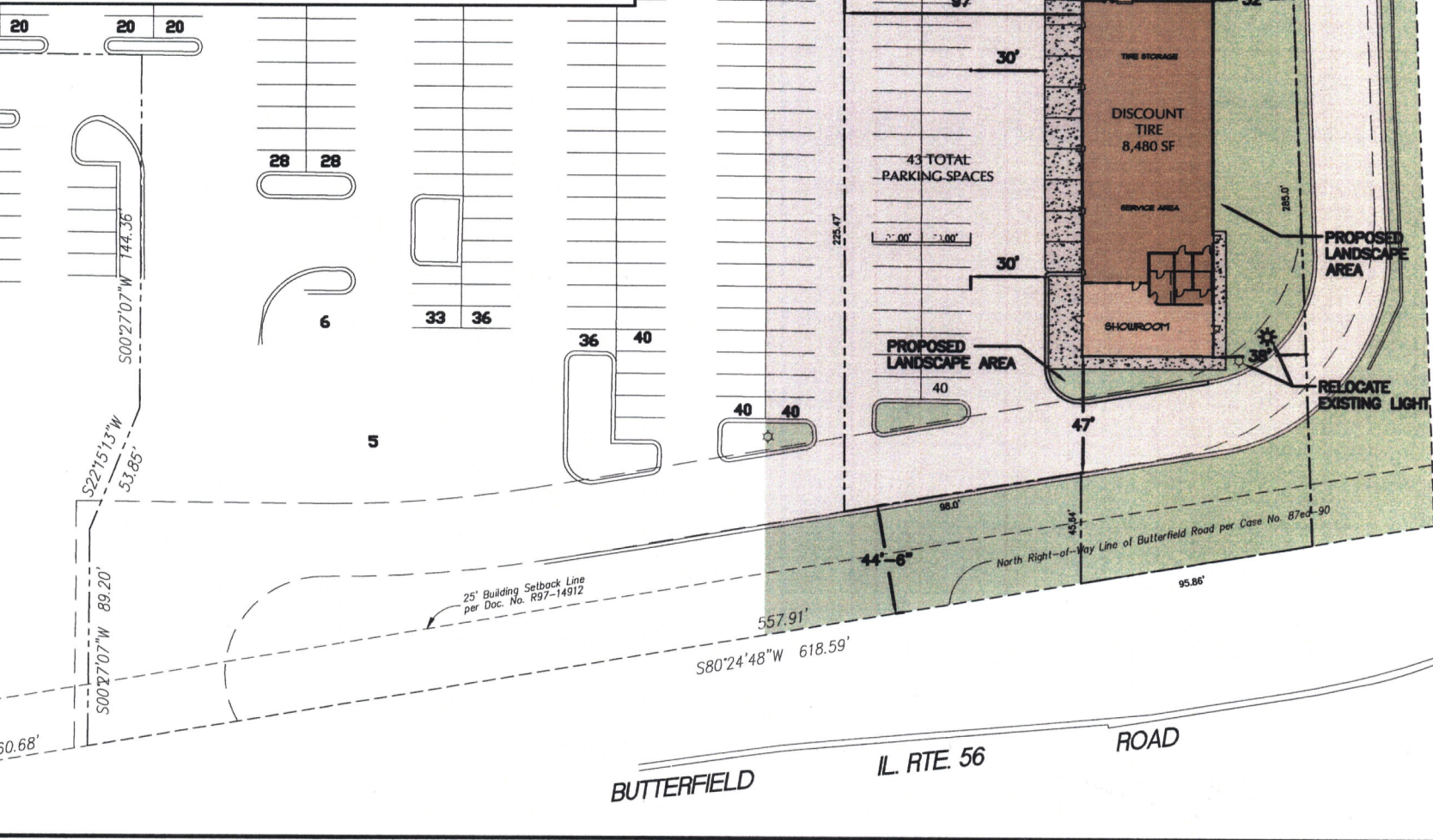
Graphic Scale
 1" = 40' 0"

Notes:
 1. The area shown on this plan is subject to the Home Depot Stores, Inc. Subdivision, Planned by the Home Depot Stores, Inc., in the Public Records of the County of Los Angeles, California, under Recordation No. 06-30-300-013.
 2. The area shown on this plan is subject to the Home Depot Stores, Inc. Subdivision, Planned by the Home Depot Stores, Inc., in the Public Records of the County of Los Angeles, California, under Recordation No. 06-30-300-013.
 3. The area shown on this plan is subject to the Home Depot Stores, Inc. Subdivision, Planned by the Home Depot Stores, Inc., in the Public Records of the County of Los Angeles, California, under Recordation No. 06-30-300-013.

Author	DATE
Checked By	DATE
Drawn By	DATE
Scale	DATE

PLANNED BY THE HOME DEPOT STORES, INC.
 10000 W. BRIDGEWAY, SUITE 100
 LOS ANGELES, CALIFORNIA 90024-1774

	Requirements Per Zoning Code	Home Depot	Discount Tires
Zoning District	B3	B3	B3
Minimum Lot Area	10,500 SF	11.84 acres	1.118 acres
Minimum Lot Width	75 ft.	444 ft.	95.68 ft.
Minimum Lot Frontage	50 ft.	444 ft.	95.68 ft.
Minimum Lot Depth	140 ft.	787 ft.	285'-0"
Minimum Front Yard Setback	25 ft.	44'-6"	44'-6"
Minimum Overall Greenspace / Lot	10%	15.5 %	18.3 %
Minimum Front Yard Greenspace	5%	6.9 %	7.5 %
Maximum Building Height	60 ft.	40'-0"	26'-0"
Maximum FAR	.75	0.255	0.177
(HD) Minimum Parking (1/300 GFA)	438 spaces	485 spaces	---
(Discount Tires) Minimum Parking (1/300 GFA)	29 spaces	---	43 spaces



S 02°02'31"E 424.09'
 (15TH) NORTH - SOUTH TOLLWAY I-355



GREENBERG FARROW
 ARCHITECTURE
 ENGINEERING
 DEVELOPMENT
 1415 DAILY DRIVE, SUITE 100
 ARLINGTON HEIGHTS, ILLINOIS 60005
 VOICE 847/770-6000
 FAX 847/770-6000

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 LAND SURVEYOR
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DOWNS GROVE, L.
BUTTERFIELD RD.
and 655 TOLLWAY

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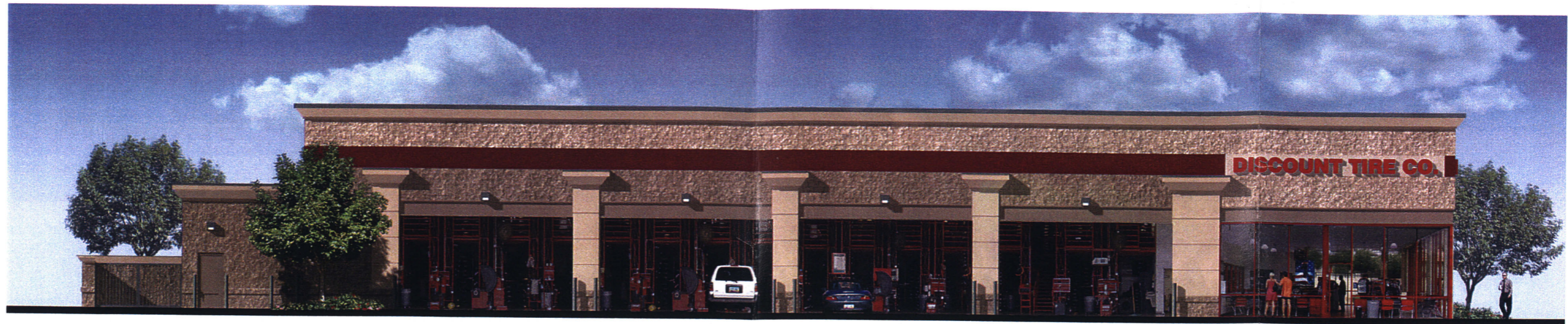
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Prototype Rendering
Interstate 355 & Butterfield
Downers Grove, Illinois





Prototype Building Elevation

