

**VILLAGE OF DOWNERS GROVE
ZONING BOARD OF APPEALS**

VILLAGE HALL COUNCIL CHAMBERS
801 BURLINGTON AVENUE

November 28, 2018
7:00 p.m.

AGENDA

1. Call to Order

2. Roll Call

3. Approval of Minutes – September 26, 2018

4. Other Business

- a. **18-ZBA-0008:** A petition seeking a zoning exception to horizontally extend one non-conforming wall for a garage addition. The property is currently zoned R-2, Residential Detached House 2. The property is located at the northeast intersection of Seeley Avenue and 40th Street, commonly known as 4025 Seeley Avenue, Downers Grove, IL (PIN 09-06-202-007). Rebecca Letourneaux, Petitioner and Owner

5. Adjournment

THIS TENTATIVE REGULAR AGENDA MAY BE SUBJECT TO CHANGE

**VILLAGE OF DOWNERS GROVE
ZONING BOARD OF APPEALS MINUTES
September 26, 2018**

CALL TO ORDER:

Chairperson (Ch.) Michael McCann called the meeting to order at 7:00 PM.

ROLL CALL:

Present: Ms. Eberhardt, Mr. Frost, Mr. Maier, Mr. Steffes, Ch. McCann

Absent: Mr. Werner

A quorum was established.

Staff: Flora Ramirez, Village Planner, Stan Popovich, AICP, Director of Community Development

Also present: Don Rickard, 4735 Main St., Downers Grove, IL
Amy Gassen, 5320 Benton Ave., Downers Grove, IL
David Johnson, 5336 Blodgett, Downers Grove, IL
Mr. Michael Faust, 5335 Blodgett Avenue, Downers Grove, IL
Robert Jankovic, 5333 Benton Avenue, Downers Grove, IL
David Johnson, 5336 Blodgett Avenue, Downers Grove, IL
Doug Sandberg, 6728 N. Seeley Avenue, Chicago, IL

APPROVAL OF MINUTES – May 23, 2018

A Motion was made by Mr. Maier and seconded by Ms. Eberhardt to accept the minutes as presented.

AYES: Mr. Maier, Ms. Eberhardt, Mr. Frost, Mr. Steffes, Ch. McCann

NAYS: None

The Motion carried unanimously.

MEETING PROCEDURES:

Ch. McCann asked those in attendance to silence their phones for the duration of the meeting. He then reviewed the procedures to be followed during the public hearing, noting that there was one petition before the Board for consideration. He verified with Staff that the proper notifications had been made regarding posting of the petition, and noted that members of the Zoning Board of Appeals have had an opportunity to review the materials provided by Staff and in some cases have visited the site in question. In order for a requested variation to be approved there must be a majority of four votes in favor of approval. Ch. McCann called upon anyone intending to speak before the Board on the Agenda item to rise and be sworn in, as the public information portion of the meeting is an evidentiary hearing and comments made during this portion of the meeting are considered testimony. He explained that Staff would make its presentation first, followed by comments by the Petitioner. If anyone in the audience wishes to speak either in favor of or in opposition to the petition, they would have the opportunity to do so following the Petitioner's

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presentation. When the public participation portion of the meeting is closed, the Board will deliberate on the information provided and vote to either approve or deny the petition.

18-ZBA-0005: A petition seeking a zoning exception to vertically extend two non-conforming walls for a second story addition. The property is currently zoned R-2, Residential Detached House 2. The property is located 70 feet to the south of the intersection of Blodgett Avenue and Summit Street, commonly known as 5335 Blodgett Avenue, Downers Grove, IL (PIN 09-08-417-011). Michael and Michelle Faust, Petitioners and Owners.

Staff Presentation:

Village Planner Flora Ramirez stated that the petitioners are requesting two zoning exceptions at property located at 5335 Blodgett Avenue in order to construct a second floor addition to the existing home. She displayed a photo of the site and plat of survey which showed that the northernmost wall is set back 4.81 feet at the west end, and 5.42 feet at the east end from the north property line where a 7-foot interior side yard setback is required. In addition, the westernmost wall is set back 33.52 feet at the north end, and 33.44 feet at the south end, where a 35-foot setback is required from the west property line. She pointed out on the slide display where the setbacks would fall if the property were conforming. Ms. Ramirez displayed the side and front elevations depicting the required setbacks, and the sections of the addition that do not comply with the requirements.

With regard to the addition, there are no proposed windows within the non-conforming north vertical wall extension. The windows permitted on the west vertical wall extension allow views onto the public right-of-way and not onto an abutting lot occupied by a detached house.

Ms. Ramirez noted that in reviewing the Standards for Approval, Staff has found that the requested exceptions meet the standards and criteria for approval. She said that the exceptions are consistent and relevant to the purpose and intent of the Downers Grove Zoning Ordinance and the Comprehensive Plan. She reviewed Section 28.12.080.G Standards and Review Criteria of the Zoning Ordinance, and Section 28.11.040.C.2 Alterations and Expansions of the Zoning Ordinance, referencing pages 2-4 of Staff's report dated September 26, 2018 and titled 18-ZBA-0005, 5335 Blodgett Avenue.

A question was raised regarding windows on the second-story addition. Ms. Ramirez responded that the window on the west vertical wall extension is permitted because it allow views onto the public right-of-way and not onto an abutting lot occupied by a detached house.

Ms. Eberhardt said she noticed that the building to the north of the subject site was taller and asked how close it is to the property line and whether it was nonconforming as well. Ms. Ramirez said they looked at the setbacks and how they affect the proposal. Ms. Eberhardt said that she is concerned that the space between the buildings appears to be narrow.

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Mr. Steffes inquired about the historic setback and whether the building was conforming at the time it was built. Ms. Ramirez said that in the Village there are a handful of nonconforming structures. She is not sure what the requirements were of the Zoning Ordinance in place at the time the building was constructed.

Ms. Eberhardt asked whether there are windows on the neighboring house, and Ms. Ramirez said she was not certain.

Petitioner's Presentation

Mr. Michael Faust, 5335 Blodgett Avenue, owner of the property and petitioner, said he and his wife recently moved back to Downers Grove. They have three children enrolled in Whittier Elementary School. The Fausts are excited about making the proposed enhancements to their home, and are pleased that the immediate neighbors are in favor of the planned addition to the property. Their proposed plans for the expansion utilize the existing walls thereby encroaching on the current setback requirements of the property. The home will reflect the Victorian Bungalow style of the home that fits within the Randall Park neighborhood. They want to provide some diversity and style to the houses on their block.

In response to a question concerning building height, Staff stated that is not part of the petition. The petition relates to the vertical zoning exceptions necessary for the construction of a second floor addition on the property utilizing the existing walls.

Mr. Sandberg, architect for the petitioner, noted the height of the existing house would be raised be approximately seven feet on the north side of the expansion.

Mr. Faust said they have shown their immediate neighbors the plans for the addition, answered their questions, and the neighbors approved of the plans and are eager to see the construction begin. They did not speak with the neighbors across the street.

David Johnson, who lives directly across from the subject property, said that the only window on the property to the north that would face the newer home would be on the side of the house. Someone else said that there is also a basement window. Mr. Johnson said he has no objections to the proposed addition.

There being no further questions for the Petitioners or Staff, Ch. McCann closed the public portion of the hearing.

Board's Deliberation

Ms. Eberhardt said there were photographs in the file that show the surrounding houses a bit better. She referenced a window shown in one of the photos.

Ch. McCann said that there is some likelihood that buildings might be a bit closer than normal. He noted that neighbors did not object to the plans presented and that means a lot. He reviewed the history of the changes made to the Zoning Ordinance. He said he thinks this is a good thing for the community and is pleased to see the renovation being made. Somewhere in the code you can have a window even on an extension such as this, but you simply can't see through it. The

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skylights are a nice compromise. The reality of the petition is that they are not encroaching any more and will maintain the same footprint.

Ms. Eberhardt noted her only reservation would be the north line of the proposed addition. Ch. McCann noted the ZBA had allowed transom windows abutting adjacent properties but in this case, the only windows are the skylights.

There being no further discussion or comments among the Board members, Ch. McCann called for a Motion on the petition.

Mr. Maier moved, seconded by Mr. Steffes, that in case 18-ZBA-0005 the Board approves the request for two exceptions as recommended by Staff with the following condition:

The vertical wall exceptions shall substantially conform to the Staff report and architectural drawings prepared by Sandberg Architecture and Design Inc., dated August 20, 2018 except as such plans may be modified to conform to the Village codes and ordinances.

AYES: Mr. Maier, Mr. Steffes, Ms. Eberhardt, Mr. Frost, Ch. McCann

NAYS: None

The Motion passed unanimously.

New Business:

Stan Popovich, Director of Community Development, introduced new Village Planner, Flora Ramirez, who joined the Staff several months ago. Rebecca Leitschuh has moved with her family down to Champaign-Urbana. He added that Jason Zawilla has been hired to fill Ms. Leitschuh's position.

Director Popovich said there might be one more exception and one variance coming before the Board before year's end.

There being no further questions or comments Ch. McCann called for a Motion to Adjourn.

Adjournment

Ms. Eberhardt moved, seconded by Mr. Maier to adjourn the meeting. All in favor. The Motion passed unanimously by voice vote.

Ch. McCann adjourned the meeting at 7:30 PM.

Respectfully submitted,

Tonie Harrington
Recording Secretary
(transcribed from mp3 recording)



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE ZONING BOARD OF APPEALS
NOVEMBER 28, 2018 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
18-ZBA-0008 4025 Seeley Avenue	Zoning Exception	Flora Ramirez Planner

REQUEST

The petitioner is seeking a horizontal zoning exception to allow for a 4.75-foot wall extension of an attached garage to be 11.1 feet from the south property line where a 35 foot setback is required per Section 2.030 of the Zoning Ordinance.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER/ APPLICANT: Rebecca Letourneaux
4025 Seeley Avenue
Downers Grove, IL 60515

PROPERTY INFORMATION

EXISTING ZONING: R-2, Residential Detached House 2
EXISTING LAND USE: Single Family Detached House
PROPERTY SIZE: 17,831 square feet (0.409 acres)
PINS: 09-06-202-007

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	R-2, Residential Detached House 2	Single Family Residential
SOUTH:	R-2, Residential Detached House 2	Single Family Residential
EAST:	R-2, Residential Detached House 2	Single Family Residential
WEST:	R-2, Residential Detached House 2	Single Family Residential

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development and attached to the report as noted:

1. Application/Petition for Public Hearing
2. Location Map
3. Plat of Survey
4. Site Plan
5. Floor Plans

6. Elevations
7. Project Summary/Narrative

PROJECT DESCRIPTION

The petitioner is requesting a zoning exception to horizontally extend a one story section of an existing attached garage, located within the required street setback. The existing southern wall is 31.7 feet wide. The petitioner is requesting to extend the wall 4.75 feet to the west to accommodate a two-car garage as part of an overall home renovation. The property is located to the northeast of the intersection of Seeley Avenue and 40th Street. The property is zoned R-2, Residential Detached House 2 and is currently improved with a single-story house.

The building is considered a legal non-conforming structure as it was lawfully constructed, but has been deemed non-conforming due to Zoning Ordinance revisions. The southernmost wall of the attached garage is setback 11.1 feet from the south property line where a 35-foot street yard setback is required per Section 2.030 of the Zoning Ordinance. As such, the petitioner is requesting a zoning exception to allow for the proposed improvements to be constructed as part of the overall home renovation.

The attached garage extension does not consist of any livable space. There are no newly proposed windows within the proposed extension, although the garage door will be partially located within the extension. The exterior material of the proposed addition allows for a cohesive design throughout the entire exterior of the home and is compatible with neighboring single family properties. Aside from the current legal non-conforming street yard setback, the new addition will meet all requirements within the Zoning Ordinance.

ANALYSIS

Exception from the Zoning Ordinance, Horizontal extension of existing walls in one required setback

As noted above, the petitioner is requesting an exception from the required street yard setback to extend a garage wall 4.75 feet where it is prohibited per Section 2.030 of the Zoning Ordinance. To grant the exception, the exception must meet the Zoning Exception standards in Section 12.080.G and also the nonconforming structure alterations criteria in Section 11.040.C.2 of the Zoning Ordinance.

FINDINGS OF FACT

The petitioner has outlined the request in the attached narrative letter and supplemental documents. The petitioner will further address the proposal and justification to support the requested exception to the board at the public hearing.

Section 28.12.080.G Standards and Review Criteria

Zoning Exceptions require evaluation per Section 12.080 of the Zoning Ordinance, *Standards and Review Criteria*: “Zoning exceptions may be approved by the zoning board of appeals only when the board determines that any specific standards associated with the authorized zoning exception and the following general approval criteria have been met:”

- (1) ***The exception is consistent with all relevant purpose and intent statements of this zoning ordinance and general purpose and intent of the comprehensive plan.***
The purpose of the Zoning Ordinance (Section 1.060) is to protect and promote the public health, safety and general welfare and implement the policies and goals of the comprehensive plan. The proposed garage extension will not cause harm to the health, safety and general welfare of the community or immediate neighborhood. Additionally, the proposed addition advances the goals of the Comprehensive Plan which includes re-investment in the current housing stock and to encourage a variety of housing types, sizes and prices. This standard is met.
- (2) ***The exception will not have substantial or undue adverse effect on adjacent properties, character of the area, or public health, safety and general welfare.***

The proposed garage extension will not have an adverse impact on adjacent properties, the character of the area, or public health, safety and welfare. The proposed horizontal extension meets all other bulk requirements of the Zoning Ordinance. The garage door faces an adjacent right-of-way and will not impact property owners across the right-of-way. The addition would complement the character of the area. This standard is met.

(3) *The exception will be constructed so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring properties in accordance with district regulations.*

The extension will match the existing southern building wall and continue the existing structure horizontally. The lack of windows facing a lot occupied by a detached house allows for the continued private uses of neighboring properties. The scale of the proposed addition is consistent with the surrounding homes in the vicinity, and with the exception of the requested relief item, meets the bulk requirements of the Zoning Ordinance. This standard is met.

(4) *The exception demonstrates high-quality design and uses construction materials and colors that are compatible with other structures on the property and other properties in the vicinity.*

The proposed addition will be constructed of typical residential construction materials. The overall renovation and garage extension will lead to a cohesive high-quality design. The structure is compatible with other nearby single family residential properties. This standard is met.

(5) *Adverse impacts resulting from the exception will be mitigated to the maximum extent feasible.*

In order to minimize adverse impacts of the addition, the petitioner has not included any windows in the horizontal wall extension. Furthermore, the location of the proposed addition is constructed in a location that is not immediately adjacent to a lot with an existing detached house. The proposed addition meets all other bulk requirements of the R-2 zoning district and mitigates any impacts to the maximum extent. This standard is met.

Section 28.11.040.C.2 Alterations and Expansions

Additionally, extensions of an existing building wall located within a required setback requires conformance with Section 11.040.C.2 of the Zoning Ordinance which states that “a structure with a nonconforming setback may not be expanded horizontally or vertically within the required setback area, except that the zoning board of appeals may approve either a horizontal or vertical extension of the nonconforming exterior walls of a detached house in accordance with the zoning exception procedures of Section 12.080. In order to approve such horizontal or vertical extension, the zoning board of appeals must find that all of the following criteria have been met”:

a) *The extended wall will comply with all other applicable lot and building regulations (other than the nonconforming setback).*

The proposed addition will comply with all other applicable lot and building regulations as identified in Section 2.030 of the Zoning Ordinance. This standard is met.

b) *The extension will not obstruct farther into the required setback than the existing exterior building wall and will not extend the horizontal length of the nonconforming building wall more than 15% of its existing length.*

The proposed setback for the garage expansion will remain 11.1 feet from the south property line. The horizontal expansion proposed is 4.75 feet in length, making it 15% of the existing length of 31.7 feet. This standard is met.

c) *The horizontal or vertical wall extension does not include windows that allow views onto an abutting lot occupied by a detached house.*

No windows are proposed on the south wall horizontal extension. A garage door is partially located in the wall extension, but the garage door opens up to a public right-of-way and will not abut a detached house. This standard is met.

d) The appearance of the expansion will be compatible with the adjacent property and neighborhood.
The proposed appearance will be compatible with the surrounding homes in the immediate vicinity and neighborhood. This standard is met.

e) The expansion will not be detrimental to the existing character of development in the immediate neighborhood or endanger the public health, safety, or general welfare.
The proposed garage expansion will not have an adverse impact on adjacent properties, the character of the area, or public health, safety and welfare. The majority of homes in the Village have a two-car garage. The proposed extension will meet all other bulk requirements of the Zoning Ordinance. The proposed horizontal extension is compatible with the existing residential neighborhood and the addition will complement the character of the area. This standard is met.

RECOMMENDATION

Based on the analysis above, staff believes the standards and criteria for granting the horizontal exception has been met. As such, staff recommends ***approval*** of the requested exception subject to the following conditions:

1. The horizontal wall exception shall substantially conform to the staff report and architectural drawings prepared by Ed Larson Architects, dated October 25, 2018 except as such plans may be modified to conform to the Village codes and ordinances.
2. The petitioner shall record a Hold Harmless Agreement to address the private building setback line.

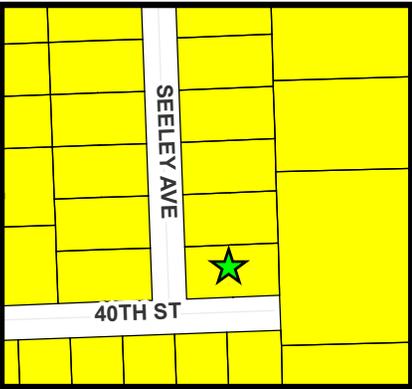
Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development

SP:fr
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0 20 40 80 Feet

4025 Seeley Avenue - Location Map



Zoning Exception Application
 Horizontal Extension of Existing Wall
 For: Rebecca Letourneaux
 4025 Seeley Ave
 847-550-2377
 October 25, 2018

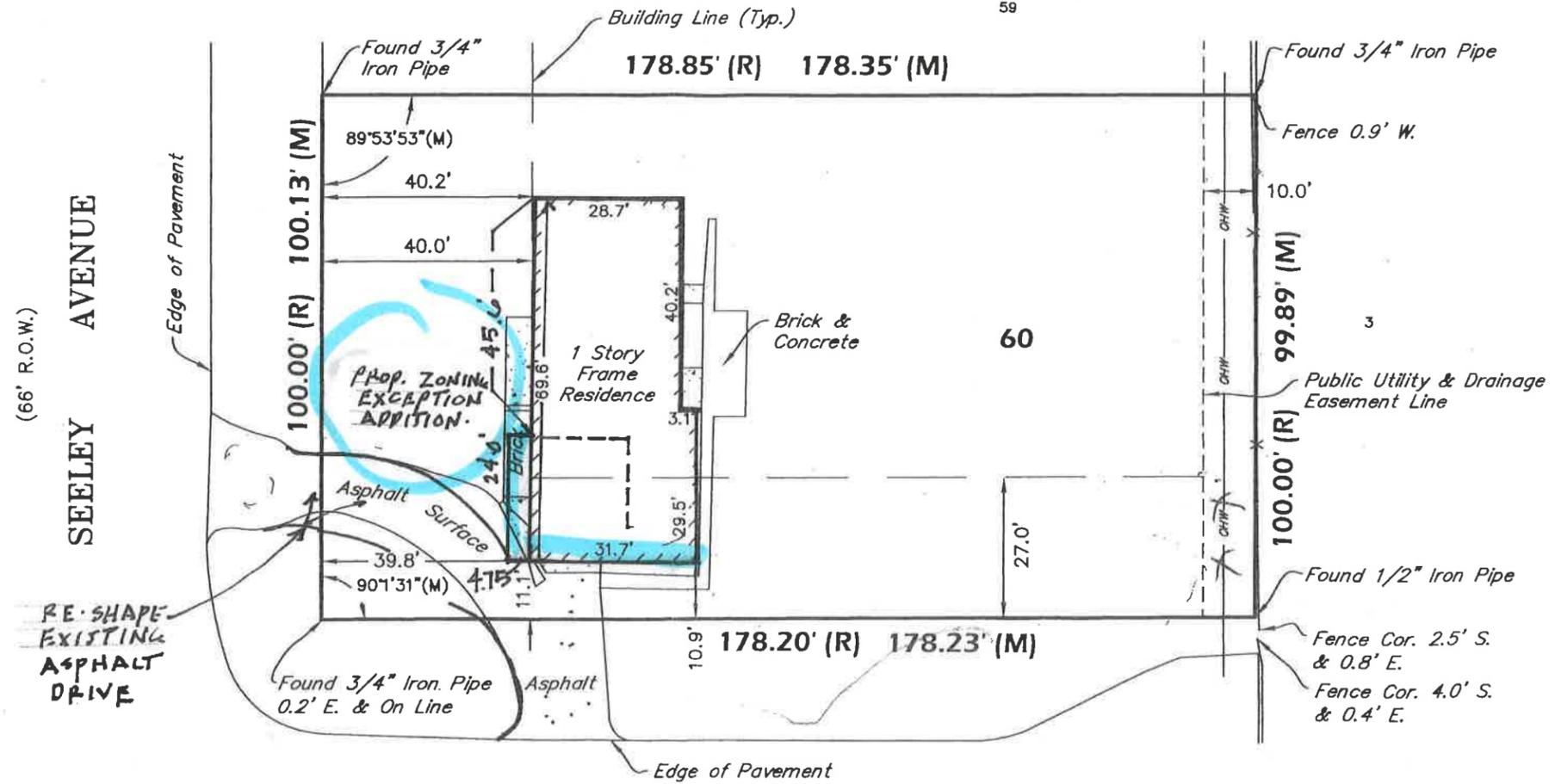
PLAT OF SURVEY

OF

LOT 60 IN BURLINGTON HIGHLANDS, BEING A SUBDIVISION OF PART OF SECTION 6, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 26, 1953, AS DOCUMENT 693133, IN DUPAGE COUNTY, ILLINOIS.



SCALE: 1"=30'



AREA OF SURVEY:
 CONTAINING 17,831 ± SQ. FT.

REFER TO YOUR DEED, ABSTRACT, TITLE POLICY AND LOCAL BUILDING AND ZONING ORDINANCE FOR ITEMS OF RECORD NOT SHOWN.

STATE OF ILLINOIS)
 COUNTY OF DUPAGE) ^{ss}

PROFESSIONAL LAND SURVEYING, INC. HEREBY CERTIFIES THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THE HEREON DRAWN PLAT IS A CORRECT REPRESENTATION THEREOF.

FIELD WORK COMPLETED AND DATED
 THIS 10TH DAY OF JULY, 2013.

[Signature] 7-17-13

IPLS No. 3813
 MY LICENSE EXPIRES 11/30/12

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

PROFESSIONAL DESIGN FIRM NO. 184-004196

40TH STREET

(66' R.O.W.)

SYMBOL LEGEND

- CONCRETE SURFACE
- FENCE LINE
- (R) - RECORD DATA
- (M) - MEASURED DATA
- OVERHEAD WIRES

PREPARED FOR: ZEKANY

JOB ADDRESS: 4025 SEELEY AVENUE

DOWNERS GROVE, ILLINOIS



Professional Land Surveying, Inc.

3080 Ogden Avenue Suite 107

Lisle, Illinois 60532

Phone 630.778.1757 Fax 630.778.7757

DRAWN BY: AA

FLD. BK./PG. NO.: 90/55

COMPLETION DATE: 07/17/13

JOB NO.: 138279

REVISED:

GENERAL NOTES

FRAMING - CARPENTRY NOTES

- REFER TO SHEET A-2 AND A-3 FOR FRAMING PLANS, DETAILS AND NOTES
- ALL EXISTING FLOOR / CEILING FRAMING IS TO REMAIN EXCEPT IN AREAS THAT REQUIRE NEW BEARING WALLS OR STRUCTURAL LVL BEAMS
- THE NEW STRUCTURAL ELEMENTS TO BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER 2015 IRC R501.1.3
- CONTRACTOR TO VERIFY STRUCTURAL SUPPORT AREAS AND CONFIRM THAT A CONTINUOUS LOAD PATH DOWN TO FOUNDATION AND FOOTING EXISTS, PER 2015 IRC R501.2
- PROVIDE THE FOLLOWING SPECIES AND GRADE OF LUMBER FOR INTERIOR WORK:
 - DOUG. FIR - #2 OR BETTER
 - LOADING IS FOR 40 PSF LIVE LOAD + 10 PSF DEAD LOAD
 - 2 X 8 @ 12" O.C. AT BASEMENT (V.I.F.)
 - 2 X 12 FLOOR JOIST @ 16" O.C. AT NEW 2ND FLR
 - 2 X 10 CEILING JOISTS @ 16" O.C. (ATTIC SPACE)
- ALL STRUCTURAL FRAMING AT EXTERIOR PORCH (WEST SIDE EXPOSED TO WEATHER) TO BE PRESURE TREATED LUMBER PER 2015 IRC R319.1.2
- WHERE NEW INTERIOR WALLS ARE SHOWN - PROVIDE 2 X 4 STUDS AT 16" O.C. - PROVIDE 1/2" GYP BOARD BOTH SIDES - TAPE, MUD AND SAND AND PREPARE FOR PAINTING
- AT DOOR AND WINDOW OPENINGS, ALL HEADERS TO BE (2) 2 X 10 FRAMING
- WHERE CEILING IS REMOVED FOR NEW STAIR AND ANY DUCT CHASE PATCH CEILING FRAMING WITH EQUAL JOISTS AND PATCH GYP BO. TO BE AS NEW
- HARDWOOD FLOOR AT AREAS THAT ARE BEING RENOVATED TO BE PATCHED - SAWNED AND REFINISHED TO NEW CONDITION
- INTERIOR DOOR STYLE TO BE SELECTED BY OWNER - DOOR SIZES ARE NOTED ON PLANS
- WINDOW SIZES ARE NOTED ON ELEVATION

MECHANICAL NOTES:

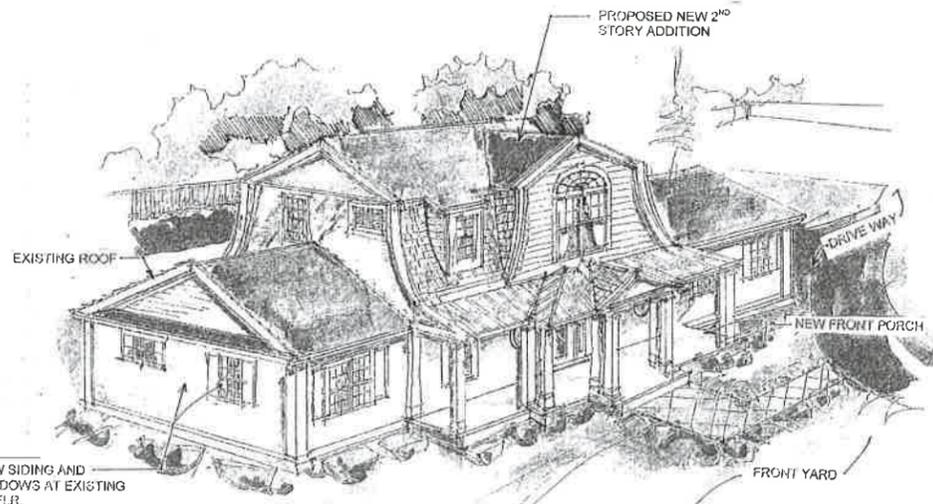
- NEW FURNACE TO BE INSTALLED AT 2ND FLOOR SPACE - TO SERVE THE 2ND FLOOR - AT FURNACE ROOM - INCLUDE GAS LINE, DRAIN FOR CONDENSATION
- SUPPLY AND RETURN DUCTWORK TO RUN IN THE ATTIC SPACE - INSULATE AS REQUIRED - ALL MECHANICAL WORK TO BE DONE PER M1601.4.1, M2406.2, M2442.2.2
- INDICATE THAT BATHROOM EXHAUST VENTS WILL TERMINATE AT EXTERIOR AND NOT INTO ATTIC OR CRAWL SPACE R303.3 (3), M1501.1

ELECTRICAL NOTES:

- CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL - IF A NEW ELECTRICAL PANEL IS TO BE INSTALLED, THE MINIMUM SIZE SERVICE PANEL FOR A NEW SINGLE FAMILY RESIDENCE OR SERVICE UPGRADE SHALL BE A 200 AMP, 40 CIRCUIT PANEL. THE PROPOSED SERVICE PANEL SHALL INDICATE A MINIMUM FRONT WORKING CLEARANCE OF 30 INCHES WIDE BY 36 INCHES DEEP, NEC 110.26 (1) (2), DOWNERS GROVE AMENDMENT
- ELECTRIC METALLIC TUBING (THIN WALL) SHALL BE REQUIRED FOR INTERIOR RACEWAYS AND SIZED ACCORDING TO THE 2014 NEC. ALL ELECTRIC WIRING SHALL BE COPPER. A MAXIMUM SIX-FOOT LENGTH OF APPROVED LIQUID TYPE FLEXIBLE METAL CONDUIT IS PERMITTED IN EXPOSED AND CONCEALED LOCATIONS FOR UTILIZATION EQUIPMENT, AS PART OF A LISTED ASSEMBLY, OR LIGHT FIXTURE, NEC 334, 352, 358, VDDG 350.10
- AT ALL BEDROOMS, PROVIDE SMOKE DETECTORS. A SMOKE DETECTOR WILL BE INSTALLED IN EACH SLEEPING ROOM AND ADJOINING AREA AND A MINIMUM OF 1 ON EACH STORY INTERCONNECTION BY BATTERY MINIMUM IS REQUIRED SO ACTIVATION OF 1 SETS ALL ALARMS. VDDG R313, R314, 315, AND 425 IL CS60 SMOKE DETECTOR ACT.
- PROVIDE NEW CO DETECTORS IN THE HALLWAYS OUTSIDE OF EACH BEDROOM - NOT EXCEED 15 FEET IN DISTANCE FROM BEDROOMS, ILACT R315.2, R315.3
- NEW BRANCH CIRCUITS WITH OUTLETS OR DEVICES WILL HAVE AFC-FULT CIRCUIT INTERRUPTER PROTECTION. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, RECREATION ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DINES, BEDROOMS, SUNROOMS, LIVING ROOMS, CLOSETS, HALLWAYS, KITCHENS AND LAUNDRY ROOMS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. E3902.1 G.6. INDICATE THE NEW RECEPTACLES WILL BE TAMPER RESISTANT RECEPTACLES E4602.14.7. INDICATE THE NEW RECEPTACLES IN THE BEDROOMS WILL NOT BE MORE THAN 6 FEET FROM AN OPENING AND NOT MORE THAN 12 FEET BETWEEN OTHER RECEPTACLES MEASURED HORIZONTALLY. E3901.2.1.8
- THE ATTIC IS NOT BEING USED TO HOUSE ANY TYPE OF APPLIANCE OR EQUIPMENT. IT IS BEING USED FOR STORAGE ONLY
- INDICATE TYPE IC RATED RECESSED LIGHTS WILL BE USED WHEN IN CONTACT WITH INSULATION AND COMBUSTIBLES. F4004.8, E40004.9.10. INDICATE THE NEW LUMINAIRES LOCATED IN THE PORCH CEILING SHALL BE LISTED FOR DAMP/WET LOCATIONS E4003.10.11. INDICATE LIGHTS IN CLOSETS WILL HAVE APPROPRIATE CLEARANCES. THE LIGHTS SHOWN IN NEW CLOSETS ARE IN THE DESIGNATED STORAGE AREA.

PLUMBING NOTES:

- ALL SHOWER COMPARTMENTS & SHOWER-BATH COMBINATIONS SHALL HAVE AN AUTOMATIC SAFETY WATER DEVICE PER THE ILLINOIS STATE PLUMBING CODE. (MAXIMUM SETTING OF 115 DEGREES FAHRENHEIT) IL PLUMBING CODE 890.6908.4
- ALL PROPOSED APPLICABLE PLUMBING FIXTURES (INCLUDING WATER CLOSETS, H.F.A.D.S, LAVATORY FAUCETS) SHALL BE WATER SENSE COMPLIANT. IL PLUMBING CODE VDDG



RENDERING OF PROPOSED HOUSE
NO SCALE VIEW OF NORTHWEST CORNER

CONTRACTOR NOTICE:
CONTRACTOR REQUIRED TO FAMILIARIZE THEMSELVES WITH THE CODES LISTED BELOW - ANY CONSTRUCTION WORK DONE ON THIS PROJECT TO BE DONE IN STRICT ACCORDANCE WITH THE LOCAL DG CODES AND THE BUILDING CODES ADAPTED BY DOWNERS GROVE. IF DETAILS OR PLANS ARE IN CONFLICT WITH CODE REQUIREMENTS, ARCHITECT IS TO BE NOTIFIED PRIOR TO WORK BEING PERFORMED, TO AMEND THE DETAILS. IF THIS IS NOT DONE, CONTRACTOR RESPONSIBLE FOR CORRECTING WORK.

CODES FOR DOWNERS GROVE

- 2015 INTERNATIONAL RESIDENTIAL CODE & DOWNERS GROVE AMENDMENTS
- 2006 INTERNATIONAL MECHANICAL CODES & DOWNERS GROVE AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE & DOWNERS GROVE AMENDMENTS
- 2015 INTERNATIONAL PLUMBING & GAS CODE & DOWNERS GROVE AMENDMENTS
- CURRENT STATE OF ILLINOIS PLUMBING WITH DOWNERS GROVE AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH STATE OF ILLINOIS & DOWNERS GROVE AMENDMENTS
- 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE & DOWNERS GROVE AMENDMENTS
- CURRENT DOWNERS GROVE ZONING ORDINANCE
- VILLAGE OF DOWNERS GROVE STORMWATER & FLOODPLAIN ORDINANCE

HOLD HARMLESS AGREEMENT NOTE:
IN ORDER TO BUILD PAST THE PRIVATE BUILDING SETBACKS, THE HOMEOWNERS HAVE REQUESTED THAT THE VILLAGE DRAFT A HOLD HARMLESS AGREEMENT THAT CAN BE RECORDED WITH DUPAGE COUNTY. UPON THIS BEING COMPLETED - THE DESIGN WILL COMPLY WITH THE CURRENT DOWNERS GROVE ZONING CODE.

ZONING EXCEPTION NOTE:
THE HOMEOWNERS HAVE REQUESTED A FORMAL ZONING EXCEPTION, PETITIONING FOR A HORIZONTAL EXPANSION OF A NONCONFORMING WALL. THE WALL WOULD BE EXTENDED INTO THE FRONT YARD SETBACK - PER VDDG .28.12.08D.B.3 REQUESTING 15% EXPANSION OF THE CURRENT SOUTH GARAGE WALL.

DRAWING INDEX

- A-1 SITE PLAN, EXISTING 1ST FLOOR PLAN & DEMO NOTES, GENERAL NOTES
- A-2 NEW 1ST & 2ND FLOOR PLANS, DETAILS, ELEC PLAN AND NOTES
- A-3 NEW WEST (FRONT) AND SIDE ELEVATIONS, SECTIONS AND DETAILS
- A-4 NEW EAST (BACK) AND SIDE ELEVATIONS, SECTIONS, DETAILS AND NOTES
- A-5 SECTION THRU FRONT PORCH, FOUNDATION PLAN, ROOF PLAN, DETAILS.

ZONING INFORMATION FOR 4025 SEELEY
VILLAGE OF DOWNERS GROVE

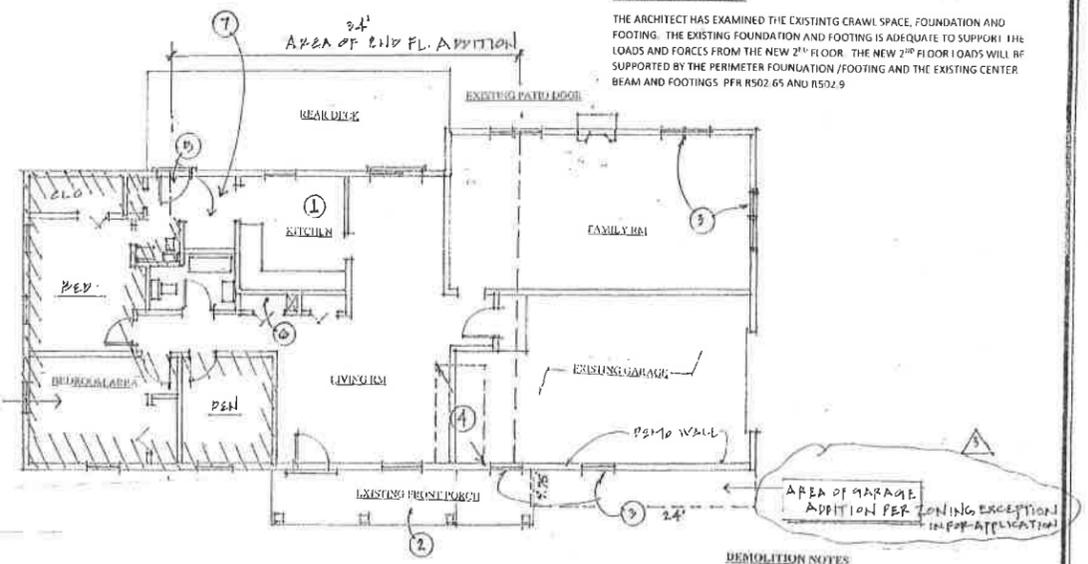
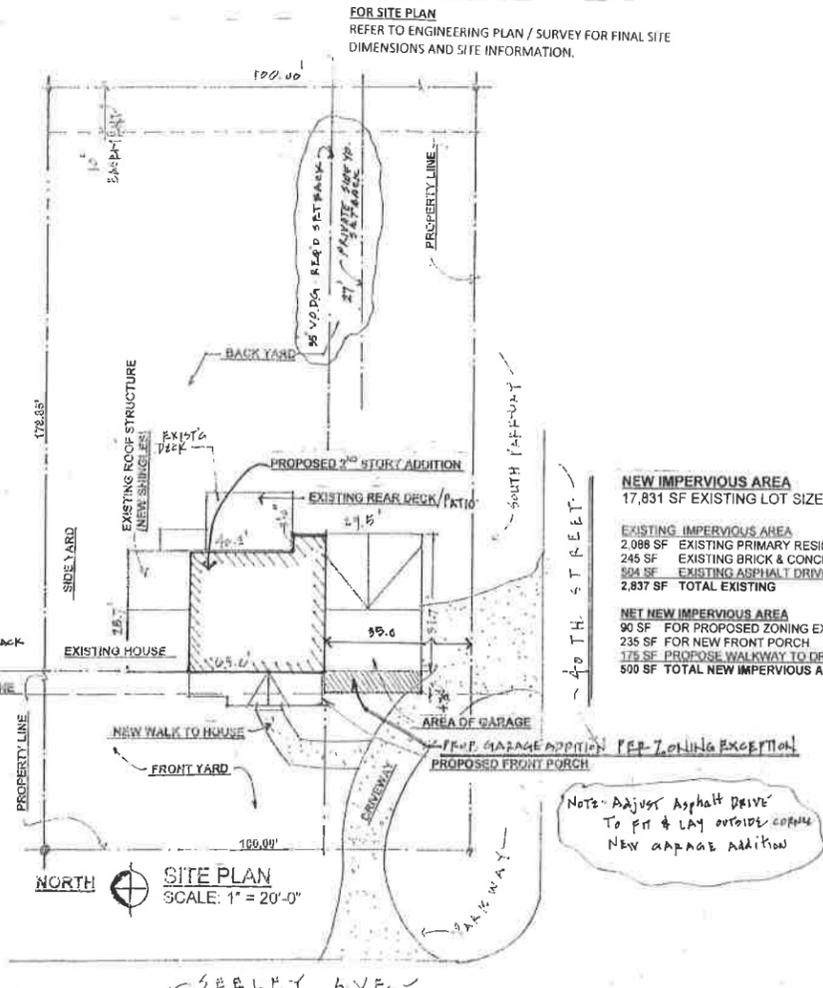
THIS HOUSE IS LOCATED IN THE AREA CLASSIFIED AS R-2
NOTE: THIS IS A CORNER LOT
THIS PROPERTY HAD MORE RESTRICTIVE PRIVATE BUILDING SETBACK REQUIREMENTS:
• FRONT YARD (PARALLEL WITH SEELEY) 40 FT
• SOUTH SIDE YARD (PARALLEL WITH 40TH STREET) 27 FT

THE HOMEOWNER IS REQUESTING THAT THE VILLAGE OF DOWNERS GROVE DRAFT A "HOLD HARMLESS AGREEMENT" TO BE RECORDED WITH DUPAGE COUNTY, AT THE TIME OF THE AGREEMENT BEING RECORDED, THE CURRENT DOWNERS GROVE ZONING REQUIREMENTS WILL BE MET, INCLUDING THE FRONT YARD (35 FT) & SIDE YARD (35 FT) SETBACKS

- EXISTING LOT AREA 178.85 X 100' (CORNER LOT) 17,831.0 SF
- FOOTPRINT OF EXISTING HOUSE 2,088 SF
- PROPOSED GARAGE EXTENSION (TO THE WEST) 4.75 FT X 24 FT 114 SF
• REFER TO THE APPLIED FOR FORMAL ZONING EXCEPTION
- PROPOSED NEW FRONT PORCH (AT WEST SIDE) 236.25 SF
• THE FRONT PORCH WILL EXTEND 7.5 FT TO THE WEST AND ENCR OACH INTO THE 35 FT. FRONT YARD SETBACK BY 2.5 FT
- FRONT YARD SETBACK: 35 FT - ACTUAL 40 FT
• THE FRONT PORCH ENCR OACHES ONTO THE FRONT YARD SETBACK AS PERMITTED BY 2.5 FT
- SIDE YARD SETBACK (SOUTH): 35 FT - ACTUAL 11.1 FT
- REQUIR ED SIDE YD. SETBACK (NORTH): 10 / 7 FT - ACTUAL 19.3 FT
- MAXIMUM BUILDING HT. REQUIRED 35 FT - ACTUAL 27 FT
- THE HOUSE CURRENTLY HAS AN ATTACHED GARAGE

STRUCTURAL NOTE:

THE ARCHITECT HAS EXAMINED THE EXISTING CRAWL SPACE, FOUNDATION AND FOOTING. THE EXISTING FOUNDATION AND FOOTING IS ADEQUATE TO SUPPORT THE LOADS AND FORCES FROM THE NEW 2ND FLOOR. THE NEW 2ND FLOOR LOADS WILL BE SUPPORTED BY THE PERIMETER FOUNDATION FOOTING AND THE EXISTING CENTER BEAM AND FOOTINGS PER R502.65 AND R502.9



DEMOLITION NOTES:

- AT KITCHEN AREA, REMOVE ALL APPLIANCES, CABINETS, COUNTERS, ETC. - PREPARE FOR NEW KITCHEN
- REMOVE EXISTING FRONT PORCH, PREPARE FOR NEW FRONT PORCH
- REMOVE EXISTING WINDOWS - PATCH WHERE WALL IS TO BE INSTALLED, DEMO AREAS WHERE NEW WINDOWS ARE SHOWN ON ELEVATIONS
- DEMO CHILING AREA - FOR NEW STAIR
- PREPARE REAR DOOR AND MUD ROOM FOR NEW WORK
- RE-WORK EXISTING FURNACE AND DUCTWORK FOR 1ST FLOOR CONSTRUCTION. NOTE THAT NEW FURNACE TO BE INSTALLED AT 2ND FLOOR - LOCATION TO BE DETERMINED.
- DEMOLISH ROOF AREA WHERE NEW 2ND FLOOR ADDITION IS TO BE CONSTRUCTED.

Zoning Exception Application
Horizontal Extension of Existing Wall
For: Rebecca Letourneaux
4025 Seeley Ave
847-550-2377
October 25, 2018

Ed Larson Architects
4919 Oakwood Avenue
Downers Grove, IL 60515
Phone: 630-880-3674
edlarsonarchitect@sbeglobal.net



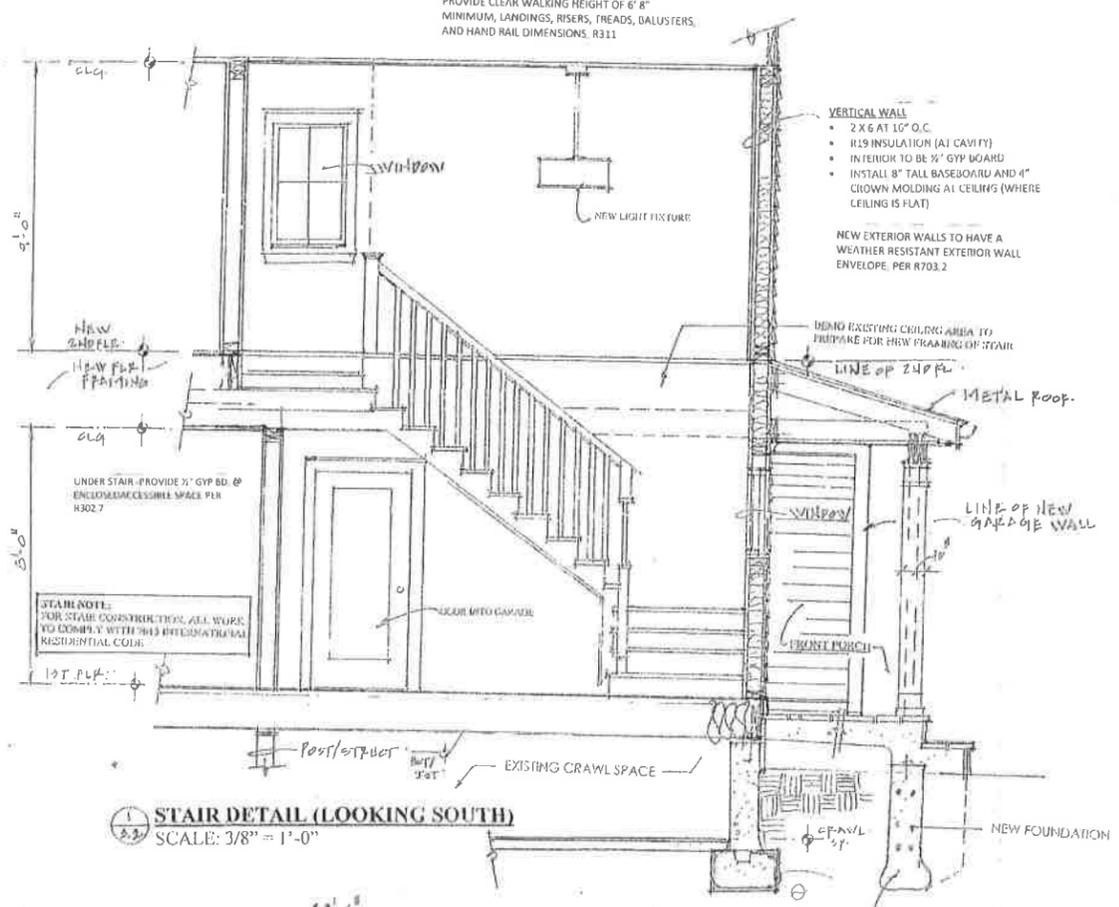
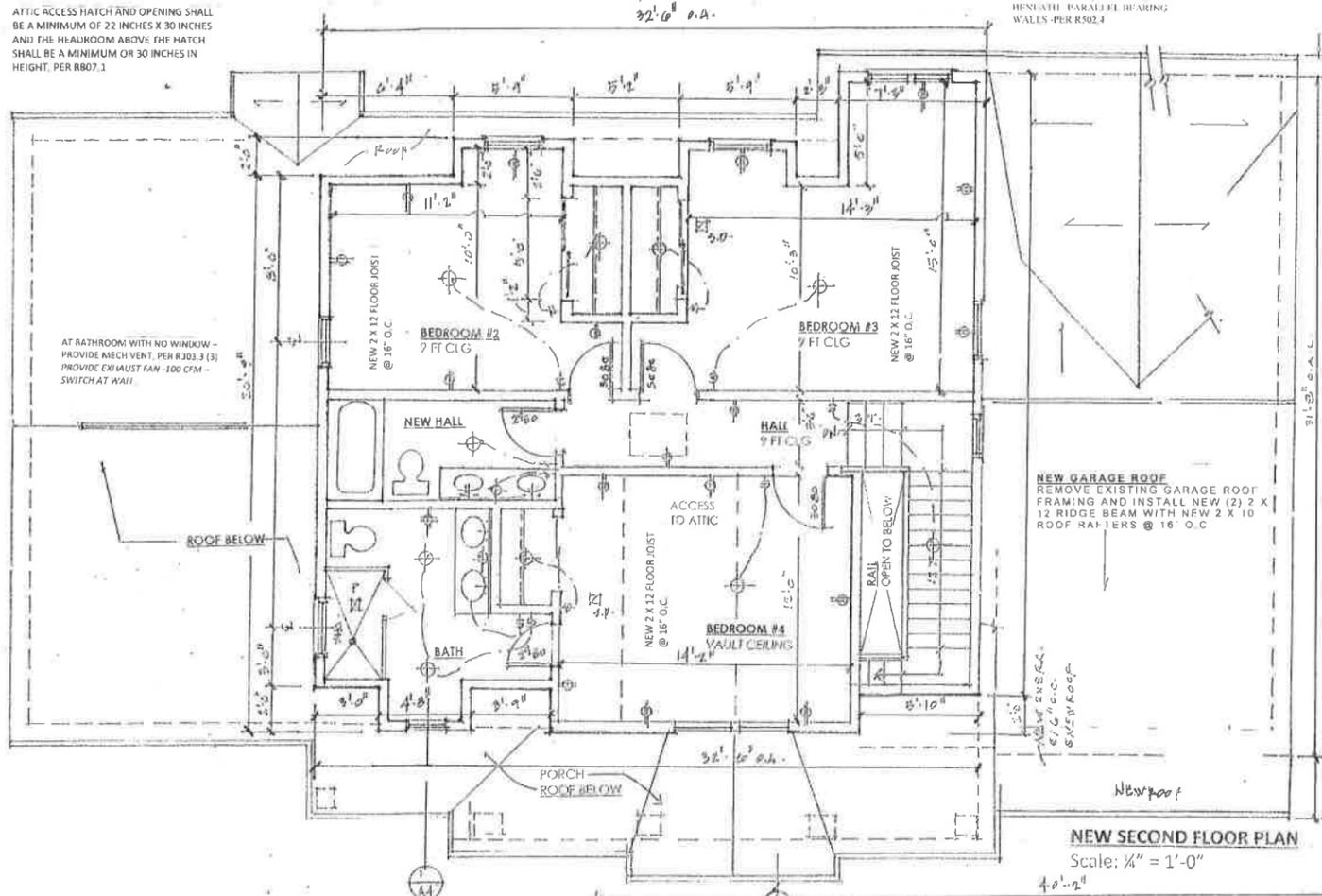
NEW 2ND FLOOR ADDITION & RENOVATION
FOR
4025 SEELEY AVE
DOWNERS GROVE, IL 60515
T-6 CONSTRUCTION & DEVELOPMENT

ISSUED WITH VILLAGE OF DOWNERS GROVE COMMENTS: 10-26-2018
2. OCT 11, 2018 - RE-SUBMITTED WITH VDDG COMMENTS
ISSUED FOR PERMIT - DOWNERS GROVE 9-27-2018

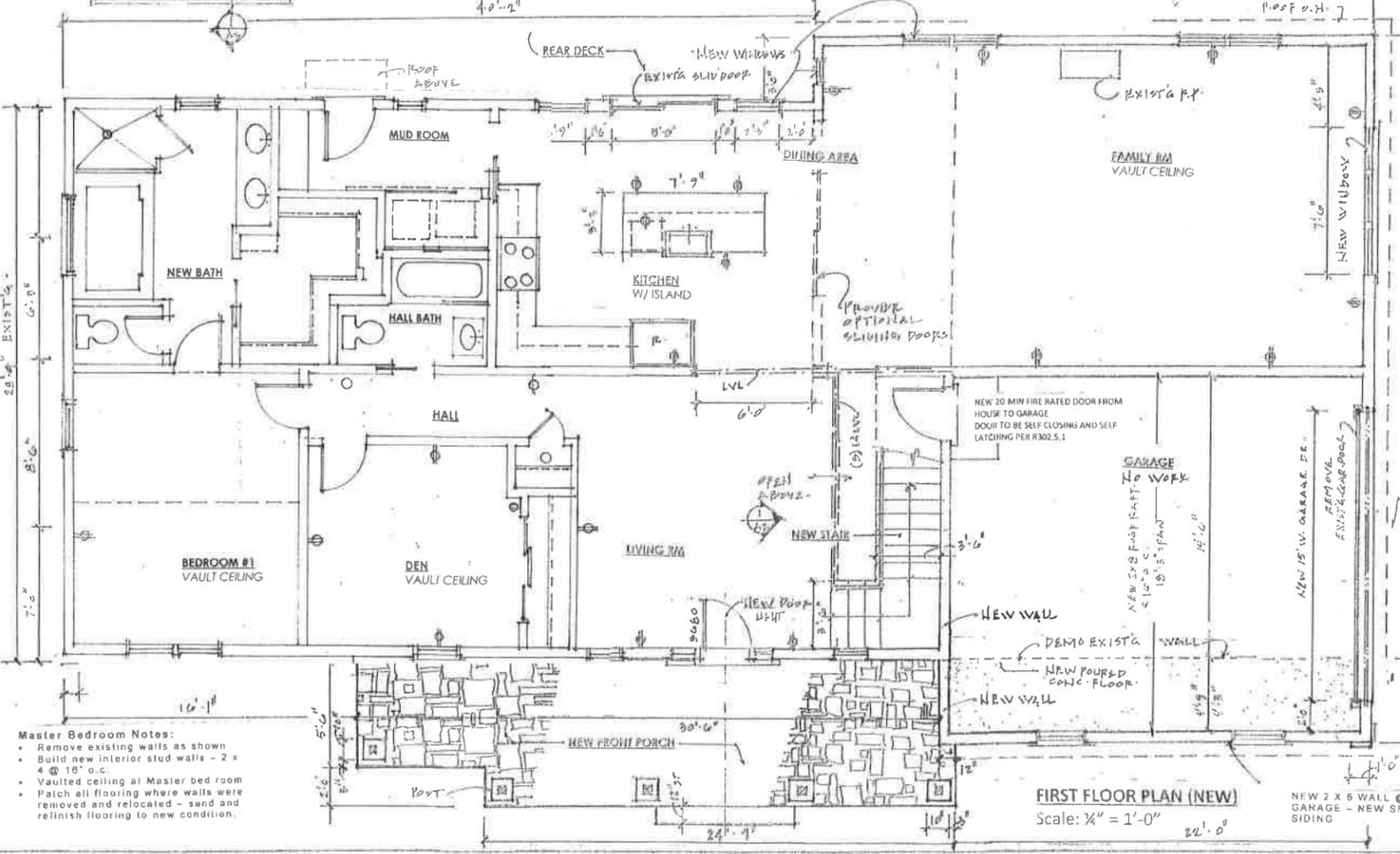
ATTIC ACCESS HATCH AND OPENING SHALL BE A MINIMUM OF 22 INCHES X 30 INCHES AND THE HEADROOM ABOVE THE HATCH SHALL BE A MINIMUM OF 30 INCHES IN HEIGHT, PER R807.1

PROVIDE DOUBLE FLOOR JOISTS BENEATH PARALLEL BEARING WALLS PER R502.4

PROVIDE CLEAR WALKING HEIGHT OF 6' 8" MINIMUM, LANDINGS, RISERS, TREADS, BALUSTERS, AND HAND RAIL DIMENSIONS, R311



- TEMPERED GLASS REQUIRED IN HAZARDOUS LOCATIONS:**
- WINDOWS WHERE THE NEAREST VERTICAL EDGE IS WITHIN 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 5 FT ABOVE THE FLOOR OR WALKING SURFACE. PER R308.4.2
 - AT BATH SHOWER & TUB WITH WINDOWS, IF IT IS LESS THAN 5 FT VERTICALLY FROM WALL SURFACE. GLASS TO BE TEMPERED. PER R308.4.3
 - GLAZING LESS THAN 5 FT ABOVE A WALKING SURFACE OF STAIR, LANDING, OR RAMP. PER R308.4.4
 - GLAZING LESS THAN 60 INCHES HORIZONTALLY FROM A BOTTOM STAIR LANDING MEASURED IN A 180 DEGREE ARC FROM THE LOWEST TREAD NOSING AND LESS THAN 18 INCHES ABOVE A LANDING. PER R308.4.7



- LEGEND**
- SINGLE POLE SWITCH
 - 3-WAY SWITCH
 - DUPLEX OUTLET
 - WATERPROOF GROUND FAULT INTERRUPTER
 - GFI
 - ARC FAULT CIRCUIT INTERRUPTER
 - EXHAUST FAN
 - FAN BOX
 - REINFORCEMENT BY OTHERS (DO NOT USE ELEC. BOX FOR SUPPORT)
 - SURFACE/WALL MTD. FIXTURE
 - RECESSED CAN FIXTURE
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - SA SUPPLY AIR REGISTER
 - RA RETURN AIR REGISTER
 - GAS LINE

LIGHT & VENT SCHEDULE

ROOM	AREA SF	LIGHT (REQ. 8%)	LIGHT ACTUAL	VENT (4%)	VENT ACTUAL	COMMENTS
1 ST FLR						
LIV RM	182	15	16.5	7.5	9	
MUD RM	45	3.68	6	1.9	3	NOT INCLUDING DOOR
KITCHEN	195	15.6	39	7.8	19.5	
BED 1	182	14.56	28	7.3	14	
NEW BATH	126	10.08	14	5.2	5.1	
DEN	97.5	7.8	8.75	3.9	4.3	
HALL BATH	33	2.64	NA	1.32	-	EXHAUST FAN - 100 CFM
FAMILY RM	464	37.12	96	18.6	38	
ATTACHED GARAGE	432	NA	13.5	NA	NA	
NEW 2 ND FLR						
BEDROOM #2	136.8	10.94	14	5.5	7	
BEDROOM #3	157	12.56	18	6.25	9	
BEDROOM #4	174	14	37	7	19.5	
BED #4 BATH	96	7.68	15.5	3.8	3.8	EXHAUST FAN - 100 CFM
HALL BATH	56	4.48	12.24	2.24	2.24	EXHAUST FAN - 100 CFM

Master Bedroom Notes:

- Remove existing walls as shown
- Build new interior stud walls - 2 x 4 @ 16" o.c.
- Vaulted ceiling at Master bed room
- Patch all flooring where walls were removed and relocated - sand and refinish flooring to new condition.

Zoning Exception Application
Horizontal Extension of Existing Wall
For: Rebecca Letourneux
4025 Seeley Ave
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October 25, 2018

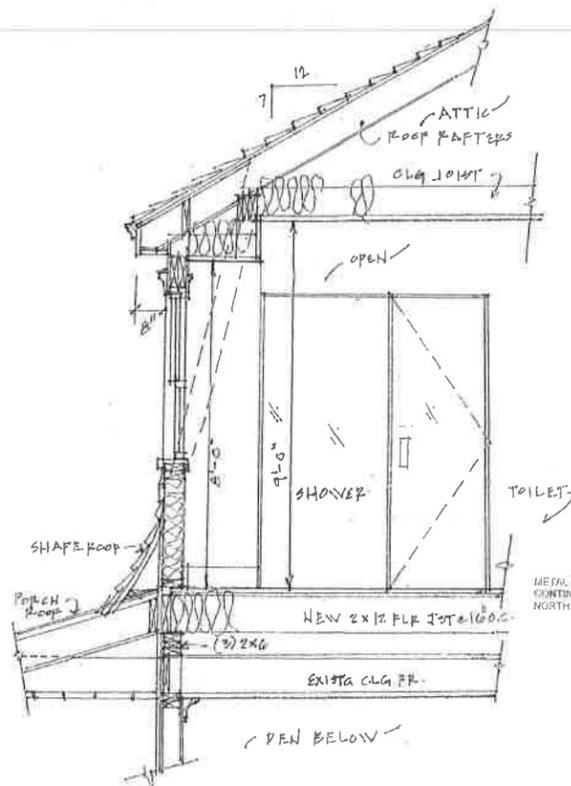
Ed Larson Architects
4919 Oakwood Avenue
Downers Grove, IL 60515
Phone: 630-880-3674
edlarsomarchitect@bogloball.net



NEW 2ND FLOOR ADDITION & RENOVATION FOR 4025 SEELEY AVE DOWNERS GROVE, IL 60515

T-6 CONSTRUCTION & DEVELOPMENT

ISSUED WITH VILLAGE OF DOWNERS GROVE COMMENTS: 10-26-2018
2-14-2018 - RE-SUBMITTED WITH VODG COMMENTS
ISSUED FOR PERMIT- DOWNERS GROVE 3-27-2018

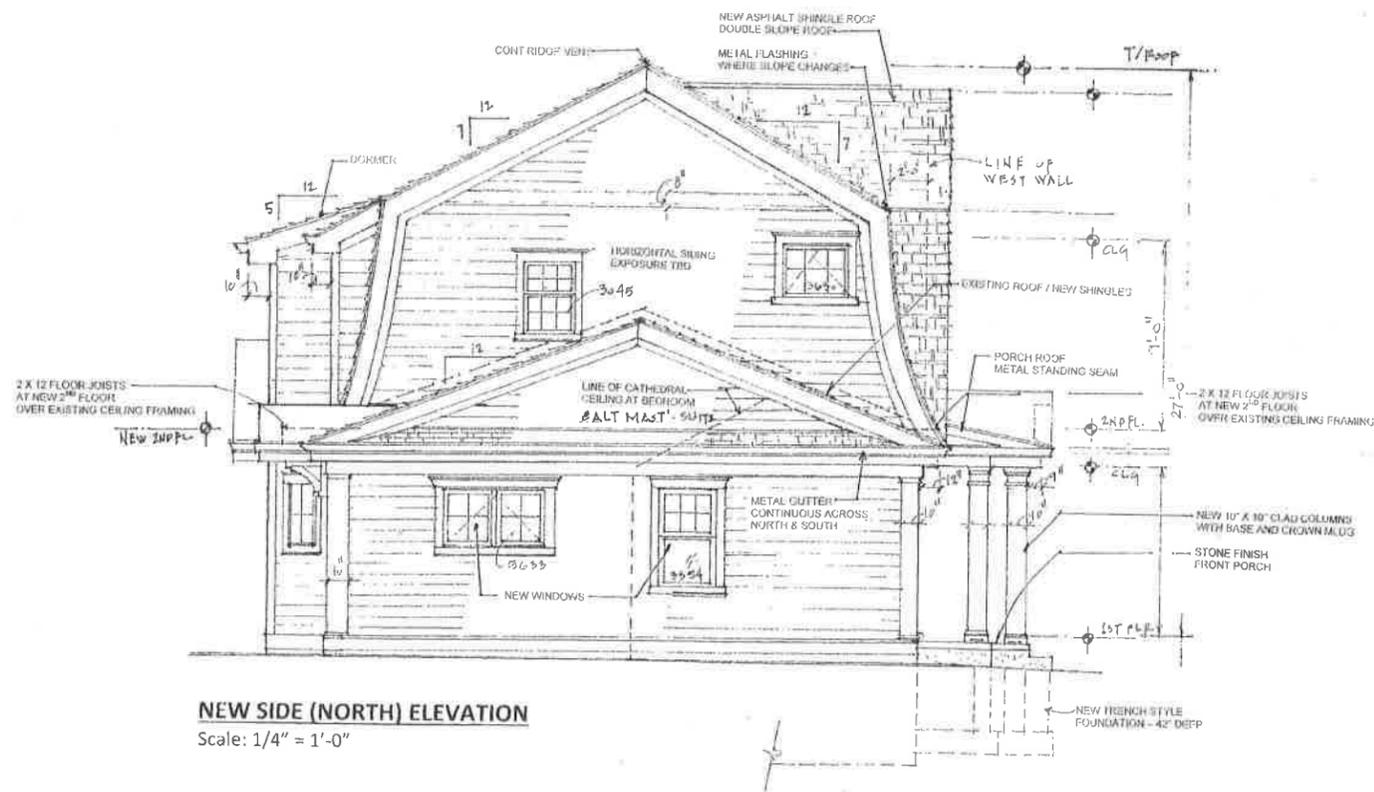


DETAIL @ BAY WINDOW
SCALE: 1/2" = 1'-0"

- AT ROOF**
- PROVIDE SUITABLE MEMBRANE FOR THE LOW SLOPED ROOFS 1/4": 12 PER R905.9.1, R905.11 - R905.15.1.23.
 - PROVIDE DOUBL UNDERLAYMENT AT ROOF WHERE SLOPE IS LESS OR EQUAL TO 4:12 PER R905.11.24.
 - PROVIDE MINIMUM 24-INCH ICE-DAM MEMBRANE FROM EDGL OF LAVL TO 24 INCHES INSIDE OF THE EXTERIOR WALL LINE OF HOUSE, PER R905.1.2
- ROOF FLASHING**
- PROVIDE SIDE WALL FLASHING BEHIND THE SIDING AND ASPHALT SHINGLES INSTALLED A MINIMUM OF 4 INCHES HIGH, PER R905.2.8.3.26.
 - PROVIDE DRIP EDGE FLASHING AT ROOF EAVES, DRIP EDGE FLASHING IS REQUIRED FOR ASPHALT SHINGLES AT ROOF EAVE, R905.2.8.5



NEW FRONT ELEVATION (WEST)
Scale: 1/4" = 1'-0"



NEW SIDE (NORTH) ELEVATION
Scale: 1/4" = 1'-0"

- Master Bedroom Notes:**
- Remove existing walls as shown
 - Build new interior stud walls - 2 x 4 @ 16" o.c.
 - Vaulted ceiling at Master bed room
 - Patch all flooring where walls were removed and relocated - sand and refinish flooring to new condition.

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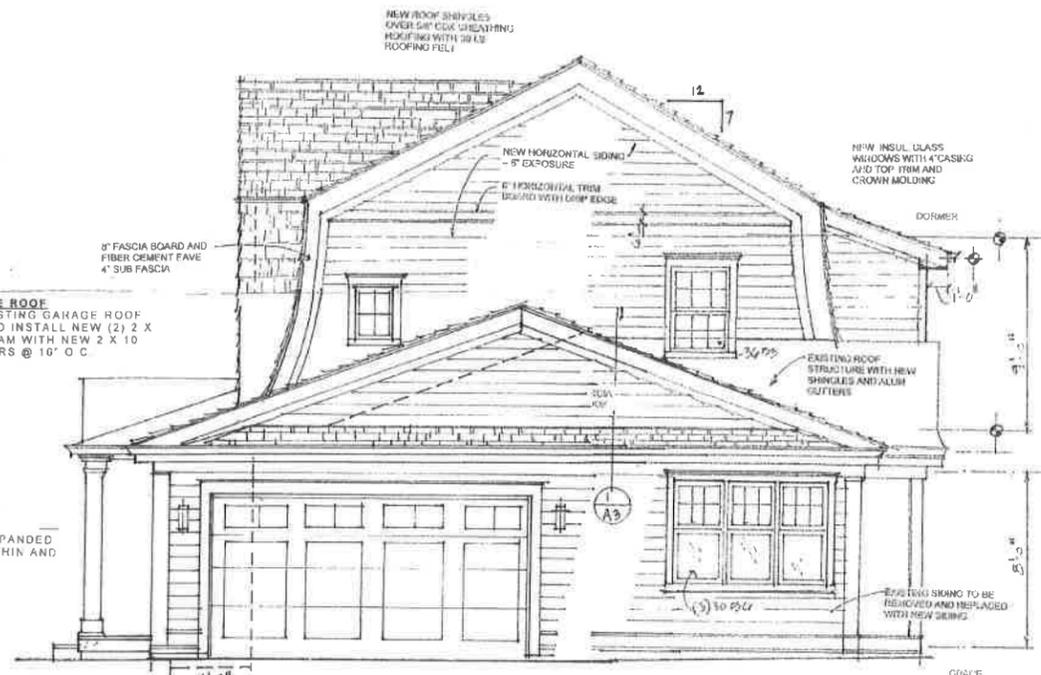


NEW 2ND FLOOR ADDITION & RENOVATION

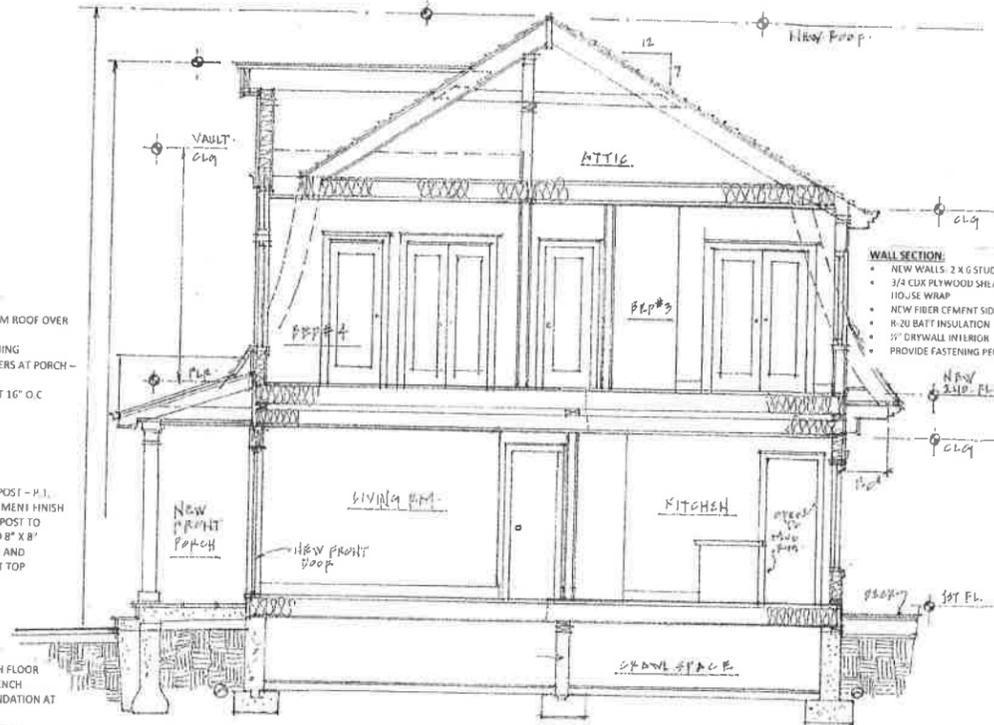
FOR
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DOWNERS GROVE, IL 60515

T-6 CONSTRUCTION & DEVELOPMENT

ISSUED WITH VILLAGE OF DOWNERS GROVE COMMENTS: 10-26-2018
2. OCT 1, 2018 - RE-SUBMITTED WITH VOOG COMMENTS EW
ISSUED FOR PERMIT: DOWNERS GROVE 3-27-2018



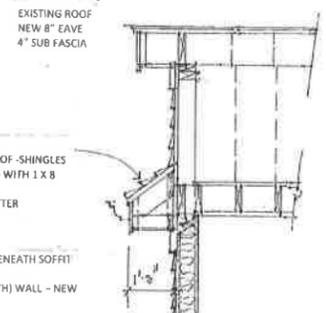
NEW SIDE (SOUTH) ELEVATION
 Scale: 1/4" = 1'-0"



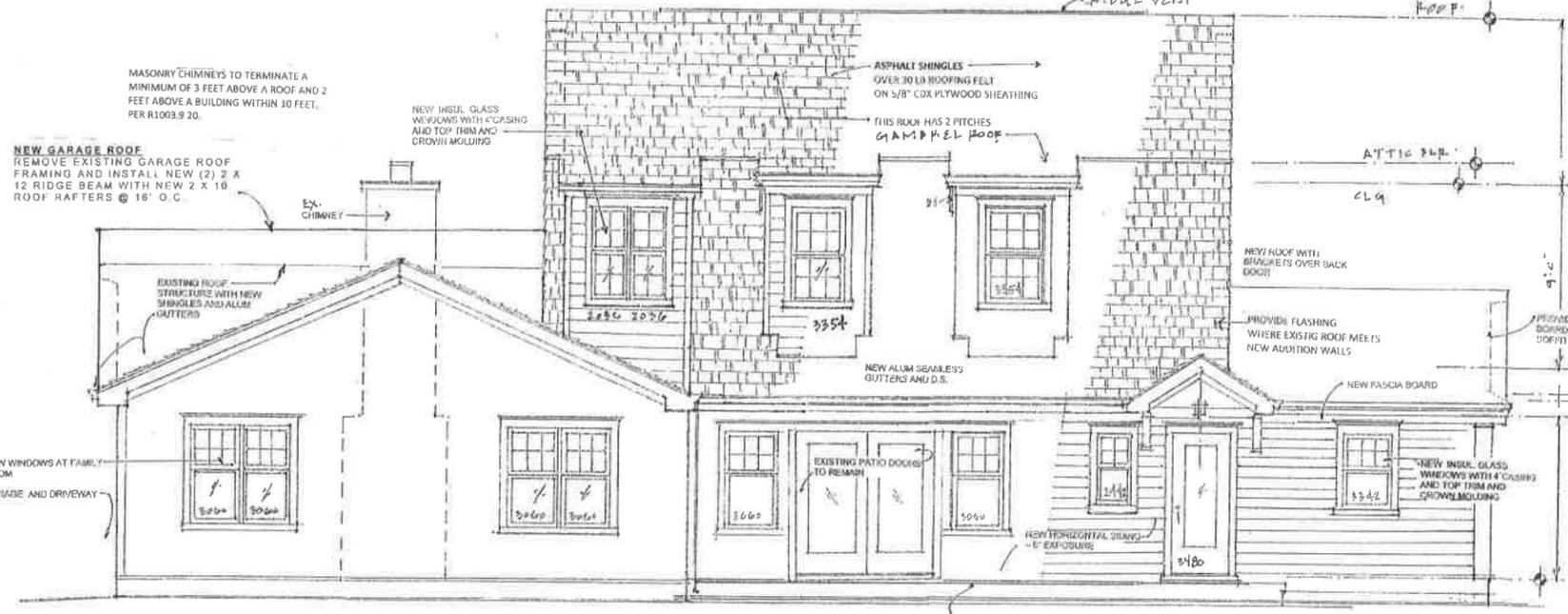
SECTION THROUGH HOUSE
 LOOKING NORTH
 SCALE: 1/4" = 1'-0"

STRUCT. NOTE:
 NOTCHING, BORING, AND CUTTING OF STRUCTURAL/NONSTRUCTURAL MEMBERS WILL NOT BE EXCEEDED. R TABLES 502.3.1 (2), 502.8.1, R602.6

EGRESS WINDOW:
 PROVIDE A CLEAR OPENING OF 5.7 SQUARE FEET FOR EACH EGRESS WINDOW WITH MINIMUM DIMENSIONS OF 20 INCHES WIDE AND 24 INCHES HIGH. AT 1ST FLOOR WHERE LESS THAN OR EQUAL TO 44 INCHES TO THE EXTERIOR GRADE CAN HAVE A CLEAR OPENING OF 5.0 SQUARE FEET.



DETAIL @ NEW SOFFIT
 @ NORTH & SOUTH SIDE
 SCALE: 1/2" = 1'-0"



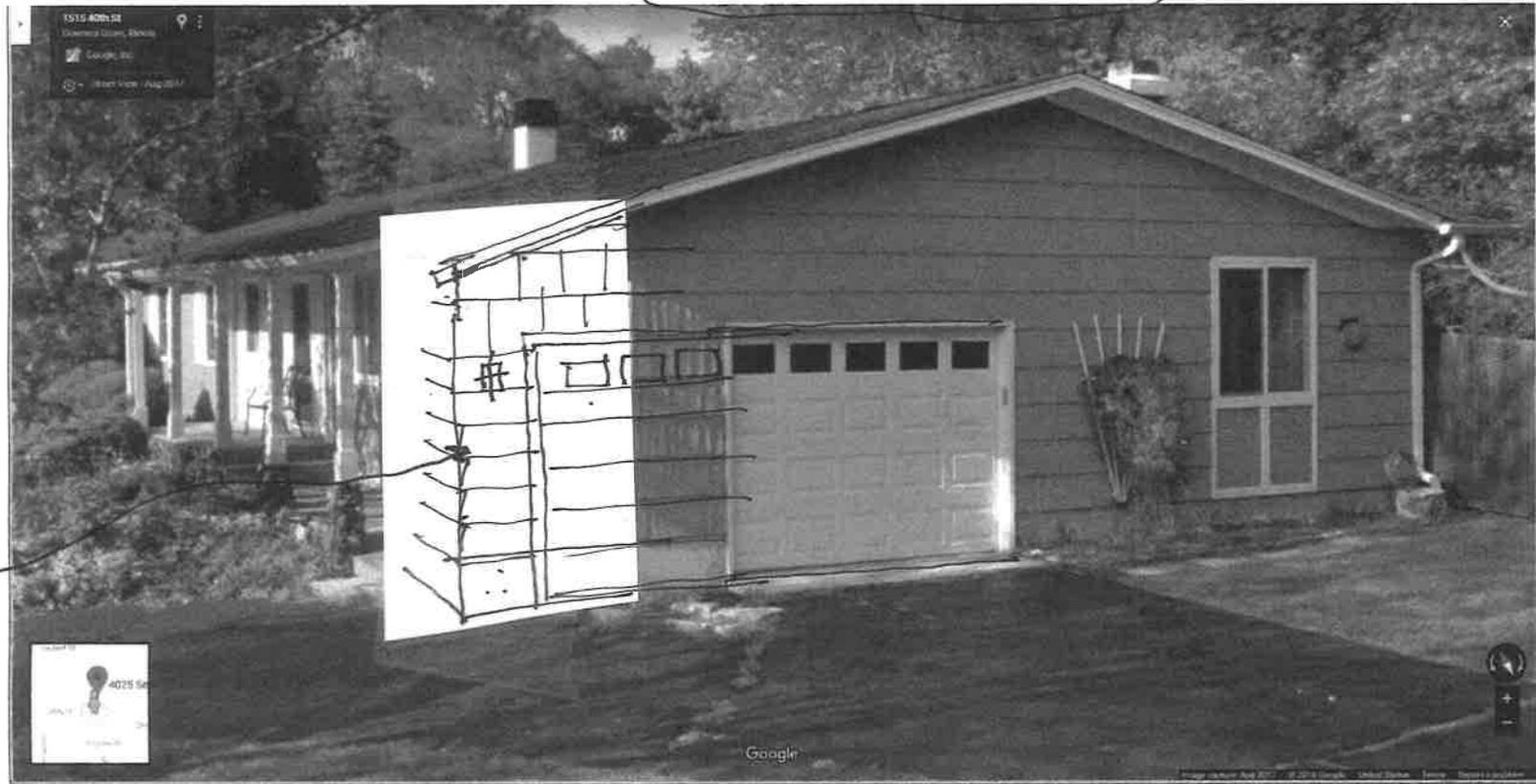
NEW REAR ELEVATION (EAST)
 Scale: 1/4" = 1'-0"

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GARAGE ROOF RAISED

4-75' EXTEND SOUTH WALL

Photos and Maps of Existing



VIEW OF CURRENT 1-CAR GARAGE AT SOUTH SIDE

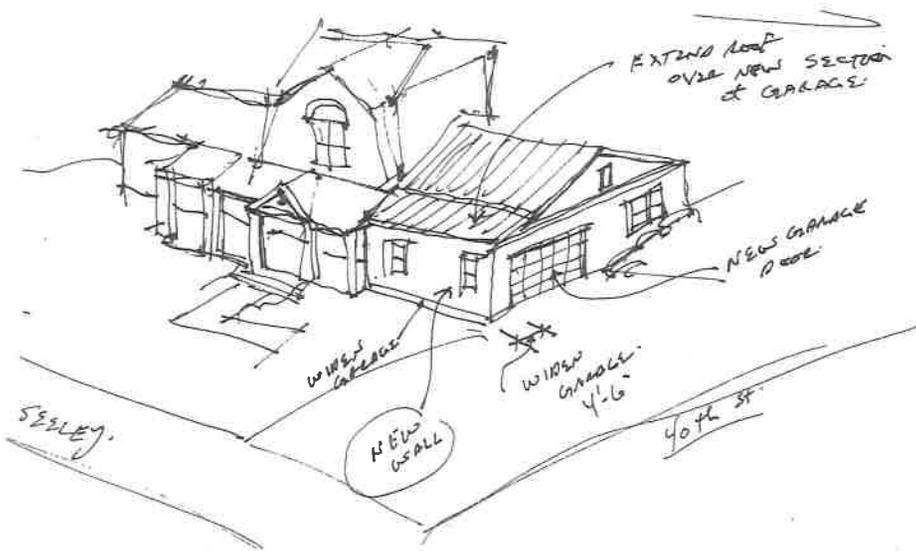
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ATTACHMENT A-1

Photos and Maps of Existing



SOUTH-WEST CORNER OF HOUSE
SHOWING 40TH STREET & SEELEY



Zoning Exception Application

Horizontal Extension of Existing Wall

For: Rebecca Letourneaux

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847-550-2377

October 25, 2018

ATT. A-2



SOUTH SIDE OF HOUSE

LINES SHOWING EXPANDING WALL – 4.75 FT TO THE WEST

Zoning Exception Application

Horizontal Extension of Existing Wall

For: Rebecca Letourneaux

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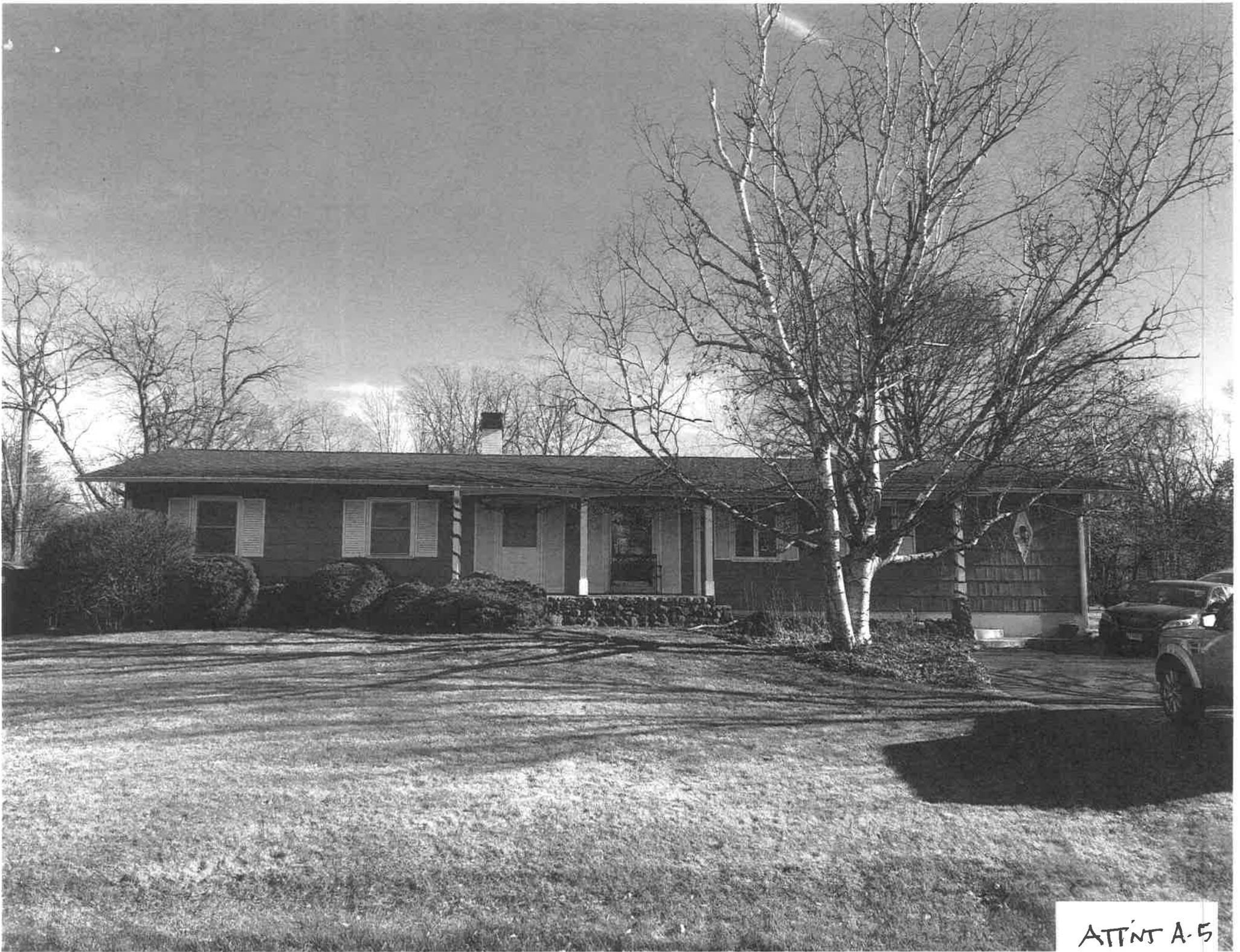
ATT. A-3



Parcel Navigator Map

Zoning Exception Application
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ATT. A-4



ATTN: A-5