

**VILLAGE OF DOWNERS GROVE
ZONING BOARD OF APPEALS**

VILLAGE HALL COUNCIL CHAMBERS
801 BURLINGTON AVENUE

May 22, 2019
7:00 p.m.

AGENDA

1. Call to Order

2. Roll Call

3. Approval of Minutes – January 23, 2019

4. Other Business

- a. **19-ZBA-0001:** A petition seeking a zoning exception for vertically extending a non-conforming wall. The property is located at the northeast intersection of Saratoga Avenue and Franklin Street, commonly known as 4835 Saratoga Avenue, Downers Grove, IL. (PIN 09-08-107-009). James and Juliana Peterson, Petitioner and Owner.
- b. **19-ZBA-0002:** A petition seeking a zoning exception for vertically extending a non-conforming wall. The property is currently zoned R-4, Residential Detached House 4. The property is located approximately 225 feet south of the intersection of Elm Street and 41st Street, commonly known as 4224 Elm Street, Downers Grove, IL (PIN 09-05-120-013). Kevin O'Reilly, Petitioner and Owner

5. Adjournment

THIS TENTATIVE REGULAR AGENDA MAY BE SUBJECT TO CHANGE

**VILLAGE OF DOWNERS GROVE
ZONING BOARD OF APPEALS MINUTES
January 23, 2019**

CALL TO ORDER:

Chairperson (Ch.) Michael McCann called the meeting to order at 7:01 PM.

ROLL CALL:

Present: Ms. Eberhardt, Mr. Frost, Mr. Maier, Mr. Steffes, Mr. Foernssler,
Ch. McCann

Absent: Mr. Werner

A quorum was established.

Staff: Jason Zawila, Planning Manager
Flora Ramirez, Village Planner

Also present: Gary Colby, Ashley Furniture

MEETING PROCEDURES:

Ch. McCann asked those in attendance to silence their phones for the duration of the meeting. He then reviewed the procedures to be followed during the public hearing, noting that there was one petition before the Board for consideration, the second petition having been withdrawn. He verified with staff that the proper notifications had been made regarding posting of the petition, and noted that members of the Zoning Board of Appeals have had an opportunity to review the materials provided by staff and in some cases have visited the site in question. In order for a requested variation to be approved there must be a majority of four votes in favor of approval. Ch. McCann called upon anyone intending to speak before the Board on the Agenda item to rise and be sworn in, as the public information portion of the meeting is an evidentiary hearing and comments made during this portion of the meeting are considered testimony. He explained that staff would make its presentation first, followed by comments by the petitioner. If anyone in the audience wishes to speak either in favor of or in opposition to the petition, they would have the opportunity to do so following the petitioner's presentation. When the public participation portion of the meeting is closed, the Board will deliberate on the information provided and vote to either approve or deny the petition.

APPROVAL OF MINUTES – Nov. 28, 2018

A Motion was made by Mr. Foernssler and seconded by Mr. Steffes to accept the minutes as presented.

AYES: Mr. Foernssler, Mr. Steffes, Ms. Eberhardt, Mr. Frost, Mr. Maier,
Ch. McCann

NAYS: None

The Motion carried 6:0.

18-ZBA-0009: A petition seeking a variation for the location of a wall sign along the Tollway. The property is currently zoned B-3, General Services and Highway Business. The property is located at the southwest corner of the intersection of Butterfield Road and Highland Avenue, just north of the Ronald Reagan Memorial Tollway (I-88), commonly known as 2900 Highland Avenue (PIN 06-29-302-004). Jones Sign c/o Kathleen Corvin, Petitioner, and Chicago 101, LLC, Owner.

Staff Presentation:

Village Planner Flora Ramirez stated that the petitioner is requesting a sign variation to permit 482.53 square feet of signage where 300 square feet is permitted, in lieu of installing a 225 square foot tollway monument sign. She displayed a location map of the property, which is zoned B-3. Ms. Ramirez indicated that the property is southwest of the intersection of Butterfield Road and Highland Avenue. She showed a slide of the site plan and existing signage at the location. There are two multi-tenant panels measuring about 73 square feet, which is not included in the total amount of signage square footage allowed to the tenant. It can be considered as “bonus” signage. There presently is a north façade wall sign facing Butterfield Road, as well as a wall sign facing the Tollway totaling 260 square feet for the two wall signs. The existing wall sign facing the Tollway will be removed and remounted to the eastern façade of the building. She noted that the south facade will have a new sign measuring 225.97 square feet. The total signage then would be 482.53 square feet, with 300 square feet allowed. However, since the property is by the tollway, the petitioner is proposing the wall sign in lieu of the allowed monument sign.

Ms. Ramirez outlined the criteria for approval of the variation, stressing the hardship the petitioner has expressed. The hardship is unique to this location as there is a notable grade variation of about 8 feet, in addition to the existence of dense vegetation lowering the visibility of any signage at that location. In addition there is a 9’ easement on the edge of the lot that would require setting any monument signage back further.

Based on the analysis, staff does recommend approval of the requested variation subject to the conditions listed on page five of staff’s report dated January 23, 2019. She noted a correction to staff’s report on page five, the first line stating the words “sign location” should be removed so that the phrase reads “criteria for granting variation,” and the words “sign location” at the beginning of condition one should also be removed.

Ch. McCann asked if the petitioner is in conformance right now, and Ms. Ramirez said they were. She added that the wall signage was part of a Planned Unit Development amendment to include additional square footage for signage.

In further clarification, Ms. Ramirez was asked if a standalone sign was put on the Tollway sign whether it would be setback to the property line. She replied that there should be no permanent structures on the utility easements. With regard to the position of the monument sign, Mr. Zawila added that it would be in the grass area near the parking lots due to the Nicor easements. He noted it is difficult to see the existing sign from the highway.

Petitioner’s Statement

DRAFT MINUTES

Gary Colby of Ashley Furniture said he was present to answer any questions. Ashley Furniture believes it would be ineffective for them to put up a Tollway monument sign, and they are searching out other ways to effectively “sign” their property for I-88. They want to transfer the square footage from the allowed Tollway monument sign to their building. He said that he has done this across the country for Ashley as there are many communities trying to avoid the number of monument signage poles along the highways. He referenced the photos shown from the Tollway area noting there exists an obvious grade change and a tree line. In order to position the monument sign from the other side of the tree line, they would have to request an increase in height for a monument sign to increase their visibility. They believe, however, that this petition is the most effective way to do this, by utilizing the total amount of square footage they are allowed to have, but merely transferring it to the building rather than along the Tollway as a monument sign.

In response to a question from the Board, Mr. Colby said that there is no photo showing the sign facing Butterfield because they didn’t have updated photos after the sign was installed.

Mr. Zawila referred the Board member to page 22 of the .pdf file that shows the relocated sign. He said the sign on the south side of the building is being moved over. The next page of the .pdf shows the new sign in question (F).

Ch. McCann asked why a monument sign would have to be so much higher, and Mr. Colby responded that it would have to be seen over the overpass. He added that there is a definite cost savings in placing a wall sign on the building over constructing a monument sign.

Ch. McCann asked staff about the potential number of other properties that might come in and request a wall sign in lieu of a monument sign. Mr. Zawila said that this is part of the PUD process for that property. There is only one other example in the corridor and that was Coopers Hawk located further west on the corridor. He noted that every case is reviewed on its specific merits. The Village boundary extends to slightly west of I-355 on I-88 for the western boundary. The eastern boundary would be primarily office properties going into Lombard.

Ms. Ramirez clarified that there are wall signs on the north and on the south face. The south sign will be removed and placed on the east façade. Mr. Colby said they are changing that sign because they want to take advantage of the traffic signal at the intersection.

There being no further comments, Ch. McCann closed the public portion of the meeting.

Deliberation

Mr. Maier referenced the uniqueness of the site based on its location at Butterfield Road and I-88, as well as its proximity to the overpass. The PGA Superstore next door has similar signage. He thinks it’s reasonable to put up the requested signage as it provides an opportunity to read the sign and drive safely. He said the Coopers Hawke situation is a very similar situation.

Ch. McCann said he understands Mr. Colby’s comments regarding the signage requested. They simply want to transition the amount of signage allowed from a monument sign to the wall sign, which they think, is reasonable.

DRAFT MINUTES

There were no dissenting comments.

Mr. Maier moved that the Board recommend approval of the requested variation subject to the following conditions listed on page 5 of Staff’s report dated January 23, 2019:

- 1. The variation shall substantially conform to the Staff report and sign package prepared by Jones Sign, dated September 2017 except as such plans may be modified to conform to the Village Codes and Ordinances.**
- 2. No additional wall or monument signs shall be permitted for this site that would result in an increase in overall sign area.**

Mr. Foernssler seconded the Motion.

AYES: Maier, Foernssler, Eberhardt, Frost, Steffes, McCann

NAYS: None

Motion carried 6:0

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18-ZBA-0010 – WITHDRAWN: A petition seeking a zoning exception to vertically extend a non-conforming wall. The property is currently zoned R-4, Residential Detached House 4. The property is located at the northeast intersection of Lincoln Street and Washington Street, commonly known as 4525 Washington Street, Downers Grove, IL (PIN 09-05-318-007). Adrian & Kimberly Rivera, Petitioner and Owner.

Per Planning Manager Jason Zawila, the petitioner has withdrawn Case 18-ZBA-0010, a petition seeking a zoning exception to vertically extend a non-conforming wall for the property commonly known as 4525 Washington.

New Business:

Mr. Zawila said that there are no meetings scheduled for next month. He announced that former Senior Planner, Scott Williams, has left the Village for another position. The Village is in the process of hiring another Planner and he will inform the Board as soon as any additional information is available.

Adjournment

Mr. Maier moved, seconded by Ms. Eberhardt, to adjourn the meeting.

Ch. McCann adjourned the meeting by voice vote at 7:37 PM.

Respectfully submitted,

Tonie Harrington
Recording Secretary
(transcribed from mp3 recording)



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE ZONING BOARD OF APPEALS
MAY 22, 2019 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
19-ZBA-0001 4835 Saratoga Avenue	Zoning Exception	Flora Ramirez Planner

REQUEST

The petitioner is seeking a zoning exception to allow for a second story addition to be 13.14 feet from the south property line, where 15 feet is required per Section 2.030 of the Zoning Ordinance.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER/ APPLICANT: James and Julianna Petersen
4835 Saratoga Avenue
Downers Grove, IL 60515

PROPERTY INFORMATION

EXISTING ZONING: R-4, Residential Detached House 4
EXISTING LAND USE: Single Family Detached House
PROPERTY SIZE: 6,609 square feet (.15 acres)
PINS: 09-08-107-009

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	R-4, Residential Detached House 4	Single Family Residential
SOUTH:	R-4, Residential Detached House 4 DT, Downtown Transition	Single Family Residential Downtown
EAST:	R-4, Residential Detached House 4	Single Family Residential
WEST:	R-4, Residential Detached House 4	Single Family Residential

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development and attached to the report as noted:

1. Application/Petition for Public Hearing
2. Location Map
3. Plat of Survey
4. Site Plan
5. Floor Plans

6. Elevations
7. Project Summary/Narrative

PROJECT DESCRIPTION

The petitioner is requesting a zoning exception to vertically extend a portion of the existing wall of a one-story home for a second story addition on the eastern half of the house. The existing southern wall is located in the required street setback. The property is located at the northeast corner of Franklin Street and Saratoga Avenue and is zoned R-4, Residential Detached House 4.

The building is considered a legal non-conforming structure as it was lawfully constructed, but has been deemed non-conforming due to Zoning Ordinance revisions. A 15-foot street yard setback is required along Franklin Street, while a 25-foot setback is required along Saratoga Avenue. On corner lots, street setbacks apply along both streets, but applicable street setback requirements may be reduced along one of the street frontages if necessary to allow a building width of 30 feet, hence the required reduced setback on Franklin Street.

In the petitioner's case, the existing one-story house is setback 13.14 feet from the south property line (Franklin Street). As such, the petitioner is requesting an exception to vertically extend a portion of the house along Franklin Street to allow for a second story addition. The second story addition is proposed for construction at the easternmost 26-foot portion of the home.

The exterior material of the proposed addition allows for a cohesive design throughout the entire exterior of the home and is compatible with neighboring single family properties. There are new windows proposed within the proposed extension, with windows that will face the adjacent right-of-way. Aside from the current legal non-conforming street yard setback, the new addition will meet all requirements within the Zoning Ordinance.

ANALYSIS

Exception from the Zoning Ordinance, vertical extension of existing walls in one required setback

As noted above, the petitioner is requesting an exception from the required street setback to construct a second story addition where it is prohibited per Section 2.030 of the Zoning Ordinance. To grant the exception, the exception must meet the Zoning Exception standards and review criteria in Section 12.080.G and also the nonconforming structure alterations criteria in Section 11.040.C.2 of the Zoning Ordinance.

As noted below, staff finds that all standards associated with the proposed vertical wall extension have been met. Based on the analysis below, staff recommends approval of the exception.

FINDINGS OF FACT

The petitioner has outlined the request in the attached narrative letter and supplemental documents. The petitioner will further address the proposal and justification to support the requested exception to the board at the public hearing.

Section 28.12.080.G Standards and Review Criteria

Zoning Exceptions require evaluation per Section 12.080 of the Zoning Ordinance, *Standards and Review Criteria*: "Zoning exceptions may be approved by the zoning board of appeals only when the board determines that any specific standards associated with the authorized zoning exception and the following general approval criteria have been met:"

- (1) ***The exception is consistent with all relevant purpose and intent statements of this zoning ordinance and general purpose and intent of the comprehensive plan.***

The purpose of the Zoning Ordinance (Section 1.060) is to protect and promote the public health, safety and general welfare and implement the policies and goals of the comprehensive plan. The proposed

addition will not cause harm to the health, safety and general welfare of the community or immediate neighborhood. The proposed addition will meet the Comprehensive Plan recommendations to provide a variety of housing types, re-invest in the current housing stock, and ensure that quality housing stock remains a staple of the community. This standard is met.

(2) *The exception will not have substantial or undue adverse effect on adjacent properties, character of the area, or public health, safety and general welfare.*

The proposed addition will not have an adverse impact on adjacent properties, the character of the area, or public health, safety and welfare. The proposed vertical extension meets all other bulk requirements of the Zoning Ordinance. The second story addition with windows will face an adjacent right-of-way and will not impact property owners across the right-of-way. The addition would complement the character of the area. This standard is met.

(3) *The exception will be constructed so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring properties in accordance with district regulations.*

The addition continues the existing structure vertically. The scale of the proposed addition is consistent with the surrounding homes in the vicinity. This standard is met.

(4) *The exception demonstrates high-quality design and uses construction materials and colors that are compatible with other structures on the property and other properties in the vicinity.*

The proposed addition will be constructed of typical residential construction materials. The overall renovation will lead to a cohesive high-quality design. The structure is compatible with other nearby single family residential properties. This standard is met.

(5) *Adverse impacts resulting from the exception will be mitigated to the maximum extent feasible.*

While the petitioner has included windows on the southern wall of the second floor, the proposed windows will face the adjacent right-of-way thus minimizing the adverse impacts of the addition. The proposed addition meets all other bulk requirements of the R-4 zoning district and mitigates any impacts to the maximum extent. This standard is met.

Section 28.11.040.C.2 Alterations and Expansions

Additionally, extensions of an existing building wall located within a required setback requires conformance with Section 11.040.C.2 of the Zoning Ordinance which states that “a structure with a nonconforming setback may not be expanded horizontally or vertically within the required setback area, except that the zoning board of appeals may approve either a horizontal or vertical extension of the nonconforming exterior walls of a detached house in accordance with the zoning exception procedures of Section 12.080. In order to approve such horizontal or vertical extension, the zoning board of appeals must find that all of the following criteria have been met”:

a) *The extended wall will comply with all other applicable lot and building regulations (other than the nonconforming setback).*

The proposed addition will comply with all other applicable lot and building regulations as identified in Section 2.030 of the Zoning Ordinance. This standard is met.

b) *The extension will not obstruct farther into the required setback than the existing exterior building wall and will not extend the horizontal length of the nonconforming building wall more than 15% of its existing length.*

The proposed addition is a vertical extension of an existing wall and will not obstruct farther into the required setback than the existing exterior building wall. The vertical extension will remain 13.14 feet from the south property line at its nearest point. This standard is met.

- c) ***The horizontal or vertical wall extension does not include windows that allow views onto an abutting lot occupied by a detached house.***

The proposed vertical extension includes windows that face the adjacent right-of-way. There is no direct view onto abutting properties. This standard is met.

- d) ***The appearance of the expansion will be compatible with the adjacent property and neighborhood.***

The proposed appearance will be compatible with the surrounding homes in the immediate vicinity and neighborhood. This standard is met.

- e) ***The expansion will not be detrimental to the existing character of development in the immediate neighborhood or endanger the public health, safety, or general welfare.***

The proposed vertical extension will not be detrimental to the existing character or endanger the public health, safety or general welfare. The proposed addition meets all bulk and building regulations, except the nonconforming setback. The proposed two-story home is consistent with the existing character of the neighborhood. This standard is met.

RECOMMENDATION

Based on the analysis above, staff believes the standards and criteria for granting the vertical exception have been met. As such, staff recommends ***approval*** of the requested exception subject to the following conditions:

1. The vertical wall exception shall substantially conform to the staff report and architectural drawings prepared by IJM Architects, dated March 27, 2019 except as such plans may be modified to conform to the Village codes and ordinances.

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development

SP:fr

-att

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4835 Saratoga - Location Map



4.12.2019

Re: 4835 Saratoga Ave.
Downers Grove, Il.

To whom it may concern:

Request for Exception:

Property Information:
Zoning District: R-4
Property Size: 6612.5 s.f.

On behalf of the owners of 4835 Saratoga Ave. we are writing to request an exception for the proposed work at their home which does not meet the current downers Grove zoning code:

Scope of Work:

The owners would like to increase the capacity of the home by adding an addition on the current home to better accommodate their family. We are proposing a second-story addition, directly above the existing main portion of the home. This proposed addition aligns with the existing outside faces of the building and thus would encroach on the current south setback requirements of the property. Therefore we are applying for a zoning exception for the vertical extension of the existing buildings non-conforming setbacks along the south/side of the property. The proposed addition will meet all other requirements of the downers grove zoning ordinance.

South/ Side setback: the current zoning ordinance setback for the corner side yard on the south is 15'. The existing home is located 13.14' off the property line at its closest location. The proposed addition will match this setback for a length of 26' along the south side of the existing building. The proposed overhang will match the existing overhang on the south façade, creating no further setback than what is existing.

Standards of review:

The following statements are how we feel the proposed construction addresses the standards of review set forth in both zoning code sections 11.040.c.2 and 12.080.g:

1. The proposed addition is consistent with all relevant purpose and intent statements of the zoning ordinance, and the extended wall will comply with all other applicable lot and building regulations.
 - a. The proposed addition will meet all other requirements of the downers grove zoning and ordinance and building codes.

2. The proposed addition will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.
 - a. The proposed 2-story home is compatible with the lot, considering the proposed work does not increase the building coverage
 - b. The proposed building is compatible with the neighborhood, as the two-story building is consistent with typical sizes of homes in the neighborhood
3. The proposed zoning exception will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of the neighboring property in accordance with the applicable district regulations.
 - a. The proposed addition is arranged to minimize the impact of the vertical extension, by locating the low point of the roof along the south façade while the high point will be located at the center of the addition
4. The proposed zoning exception demonstrates high-quality design and uses construction materials and colors that are compatible with other structures on the property and other properties in the vicinity.
 - a. The proposed addition is intended to enhance/improve the aesthetic of the existing home, and to enhance the neighborhood through its high-quality design and use of quality architectural materials to be compatible with the existing façade.
5. Any adverse impacts resulting from the zoning exception will be mitigated to the maximum extent feasible
 - a. The impact of the vertical extension at the south side encroachment is mitigated by arranging the low-point of the addition along that side. Also, the proposed roof eave will not project any further than the existing roof eave projection.
 - b. The impact to the vertical extension at the south façade is also mitigated by proposing an addition with a much lower than allowable building height of 25' to the eave. Our proposed eave height is 22'-3.
 - c. The impact to the vertical extensions will be further mitigated by keeping the existing roof line at the first-floor height so as to break up the two-story wall between the floors.
6. The vertical wall extension is flush with and equal to the existing home, thus not furthering the non-conformity horizontally (only vertical)
7. We believe that building an addition that complies with the setback requirements is impractical for the following reasons:
 - a. Building a second story addition that does not align with the exterior wall would require a new structure (beams and columns that extend all the way down to new footings underground) to support the new walls. This would have a spatial impact on the existing first and second levels, while also increasing the amount of renovation work required at the first and second levels.

I.J.M. Group, Inc.

708-404-4451 imcdonne@yahoo.com
82 S. La Grange Rd. Ste 205 La Grange Il. 60525

- b. We felt that complying with the setbacks would have created an aesthetic problem by creating an oddly shaped structure that would not be consistent with the neighborhood.

Attached please find the additional documents for your consideration:

Plat of survey
Architectural plans with proposed addition and existing conditions
Proposed site plan
Proposed building elevations

Respectfully Submitted,



Ian J. McDonnell
License # 001-020866
EXPIRES: 11/20

LEGEND

A = ASSUMED
 C = CALCULATED
 CH = CHORD
 CL = CENTERLINE
 D = DEED
 E = EAST
 F.I.P. = FOUND IRON PIPE
 F.I.R. = FOUND IRON ROD
 FT. = FEET/FOOT
 L = ARC LENGTH
 M = MEASURED
 N = NORTH
 NE = NORTHEAST
 NW = NORTHWEST
 P.O.B. = POINT OF BEGINNING
 P.O.C. = POINT OF COMMENCEMENT
 R = RECORD
 RAD = RADIUS
 R.O.W. = RIGHT OF WAY
 S = SOUTH
 S.I.P. = SET IRON PIPE
 S.I.R. = SET IRON ROD
 SE = SOUTHEAST
 SW = SOUTHWEST
 W = WEST

X-X = CHAIN LINK FENCE
 O-O = WOOD FENCE
 □-□ = METAL FENCE
 △-△ = VINYL FENCE
 --- = EASEMENT LINE
 - - - = SETBACK LINE
 - - - = INTERIOR LOT LINE

PLAT OF SURVEY
 OF

LOT 11 IN BLOCK 9 IN E. H. PRINCE AND CO'S ADDITION TO DOWNERS GROVE, BEING A SUBDIVISION IN SECTIONS 5, 6, 7 AND 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 30, 1890 AS DOCUMENT 43600, IN DUPAGE COUNTY, ILLINOIS.

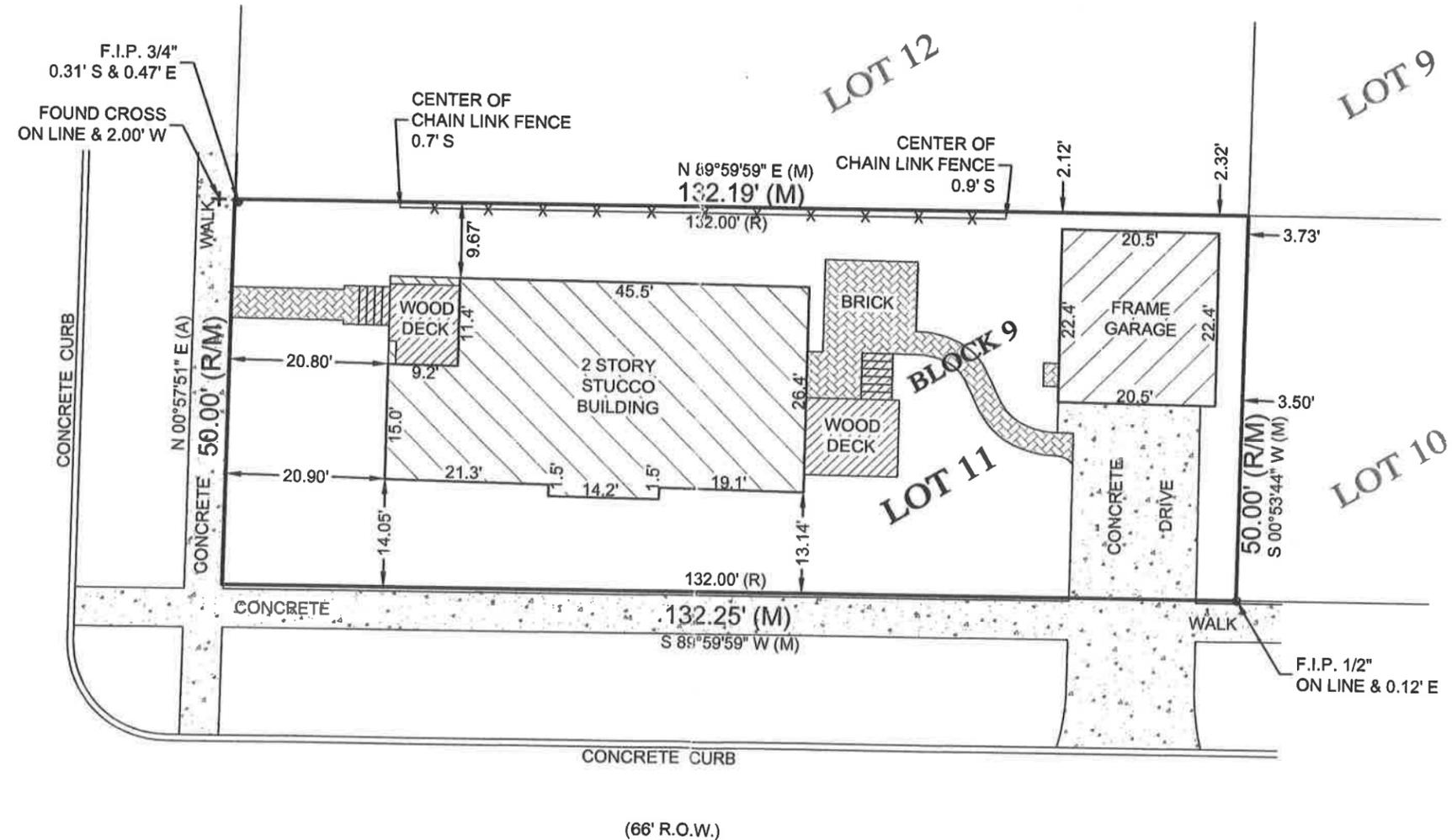
AREA OF SURVEY:
 "CONTAINING 6,609 SQ. FT. OR 0.15 ACRES MORE OR LESS"



BASIS OF BEARING:
 EAST LINE OF SARATOGA AVENUE AS FOUND MONUMENTED AND OCCUPIED PER RECORD SUBDIVISION.
 N 00°57'51" E (A)

RECEIVED
 MAR 28 2019

SARATOGA AVENUE
 (66' R.O.W.)



FRANKLIN STREET
 (66' R.O.W.)



Morris Engineering, Inc.
 515 Warrenville Road, Lisle, IL 60532
 Phone: (630) 271-0770
 FAX: (630) 271-0774
 WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS }
 COUNTY OF DUPAGE } SS
 I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.
 DATED, THIS 5TH DAY OF FEBRUARY, A.D., 2019,
 AT LISLE, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3253
 LICENSE EXPIRATION DATE NOVEMBER 30, 2020
 ILLINOIS BUSINESS REGISTRATION NO. 184-001245



NOTE: SOME IMPROVEMENTS MAY NOT BE SHOWN HEREON DUE TO SNOW COVER AT TIME OF SURVEY.

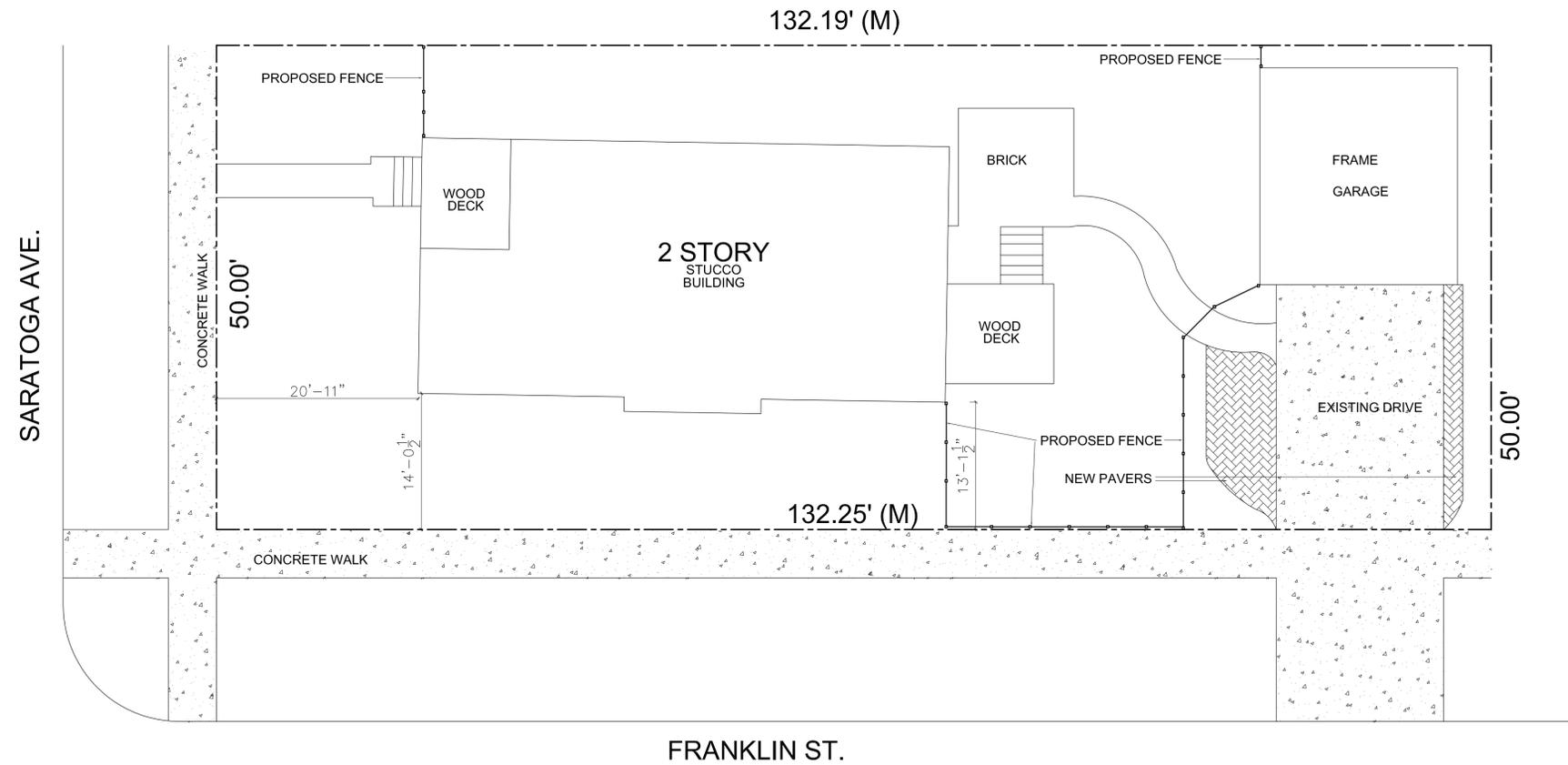
- NOTE:
1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
 2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
 3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
 4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 4835 SARATOGA AVENUE
 DOWNERS GROVE, ILLINOIS
 CLIENT LAW OFFICE OF ELIAS MANTZAVRAKOS, P.C.
 FIELDWORK DATE (CREW) 01/17/2019 (BV/AC)
 DRAWN BY: R.S. REVISED: JOB NO. 19-01-0102



82 S. La Grange Rd.
Suite 205
La Grange, IL. 60525
f:
708-469-7674
p:
708-404-4451

PROJECT	
A-1.0	EXTERIOR ELEVATIONS
A-2.1	FIRST FLOOR PLAN
A-2.2	SECOND FLOOR PLAN
A-3.0	DETAILS
E-1.0	ELECTRICAL PLANS



SITE PLAN

1/8" = 1'-0"

SECOND STORY ADDITION
FOR
4835 SARATOGA AVE
DOWNERS GROVE, IL 60515



EXP. DATE: 03.27.2019

CODE COMPLIANCE NOTES

- 2015 INTERNATIONAL RESIDENTIAL CODE & D.G. AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE & D.G. AMENDMENTS
- 2015 INTERNATIONAL FUEL GAS CODE & D.G. AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE w/ STATE OF ILLINOIS & D.G. AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE WITH STATE OF ILLINOIS & D.G. AMENDMENTS
- CURRENT STATE OF ILLINOIS PLUMBING CODE & D.F. AMENDMENTS
- 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE & D.G. AMENDMENTS
- DOWNERS GROVE ZONING ORDINANCE
- DOWNERS GROVE STORMWATER AND FLOODPLAIN ORDINANCE



EXP. 04.30.2019

CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT THEY, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES OF THE GOVERNING BODY HAVING JURISDICTION.

Ian James McDonnell
IAN MCDONNELL - ILLINOIS REGISTRATION NO. 001-020866

LICENSE EXPIRES: 11.30.2020 DATE SIGNED: 3/27/19

DATE: 03.27.2019

PROJECT: 2019-40

SHEET: A-0.0

GENERAL NOTES

- INCLUDED AS PART OF THESE DOCUMENTS IS THE "GENERAL CONDITIONS FOR CONSTRUCTION", AIA DOCUMENT A-201, ARTICLE 1 THRU 14 INCLUSIVE.
- GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH ALL CITY, STATE AND NATIONAL CODES AND ORDINANCES.
- MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS CLAUSE, PROTECTING THE OWNER AND ARCHITECT.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES AND PROCEDURES OF THE OWNER.
- ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, MAJOR ELEMENTS AND MATERIALS. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTOR SHALL FURNISH ALL OF THOSE ITEMS AND LABOR REQUIRED FOR THE FULL COMPLETION OF THIS PROJECT. ACCEPTANCE BY THE OWNER SHALL BE CONDITIONS OF THE CONTRACT.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATION, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
- DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
- THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE BUILDING OWNER AND ARCHITECT AND THEIR REPRESENTATIVES, AGENTS AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY OR GROWING OUT OF ANY OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE.
- THE CONTRACTOR MUST CHECK ALL DIMENSIONS, DETAILS, AND JOBSITE CONDITIONS AND BE RESPONSIBLE FOR THEM. THIS ARCHITECTURAL FIRM SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION METHODS OR MEANS BY THE CONTRACTOR AND OR ANY SUBCONTRACTOR AND THEIR TRADESMAN.
- ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES IMMEDIATELY. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- THE ARCHITECT WILL NOT SUPERVISE CONSTRUCTION, ANY DISCREPANCIES OR QUESTIONS ABOUT THE PLANS SHALL BE WRITTEN IN WRITING TO THE ARCHITECT. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY FIELD CHANGES. THE ARCHITECT HAS NO STOP WORK AUTHORITY. ANY SITE VISITS DO NOT CONSTITUTE WORK SUPERVISION.

- DIMENSIONS**
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL GOVERN. THESE DRAWINGS MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. DO NOT SCALE DRAWINGS.
 - THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL PARTITION LAYOUTS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY FRAMING.
 - THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTION OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.

- COORDINATION**
- REFER TO SITE SURVEY FOR SITE INFORMATION. CONTRACTOR TO VERIFY ALL INFORMATION.
 - THE GENERAL CONTRACTOR SHALL COORDINATE ADDITIONAL SUPPORT OR CONCEALED BLOCKING FOR INSTALLATION OF HANDRAILS, MILLWORK, WALL PANELS, WINDOW TREATMENTS, GRAB BARS AND ALL OTHER SURFACE MOUNTED COMPONENTS.
 - THE GENERAL CONTRACTORS SUBCONTRACTORS SHALL COMPLETELY HOOK-UP AND CONNECT ALL EQUIPMENT AND FURNISH ALL NECESSARY APPENDAGES. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL.
 - THE PREMISES SHALL BE KEPT IN A BROOM SWEEP FINISH CONDITION DURING ALL PHASES OF THE CONSTRUCTION. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFT OVER MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT IN A BROOM FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THIS PROJECT.
 - ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEAD ROOM AND AVOID OMISSIONS.
 - THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND BARRICADES AROUND THE ENTIRE SITE AS REQUIRED BY THE CITY TO BE PROTECTED AND AT ANY OPENINGS THAT MIGHT PRESENT A HAZARD.
 - THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL INCOMING UTILITIES.

FENESTRATION NOTES

- SEE PLANS & ELEVATIONS FOR DIRECTION OF OPERABLE DOORS & WINDOWS
- IT IS THE RESPONSIBILITY OF BOTH THE GENERAL CONTRACTOR (OR OWNER IF ACTING AS GENERAL CONTRACTOR) AND THE DOOR / WINDOW SUPPLIER TO VERIFY THAT ALL ROUGH / MASONRY OPENINGS AND DIMENSIONS ARE CORRECT AND ADEQUATE FOR THE PROPER INSTALLATION OF ALL DOORS / WINDOWS SUPPLIED.
- ANY ADDITIONAL WORK REQUIRED, INCLUDING CAULKING, PANNING, BUCKING, AND ADDITIONAL MASONRY OR CARPENTRY WORK TO PROVIDE A COMPLETELY FINISHED DOOR / WINDOW INSTALLATION IS THE RESPONSIBILITY OF THE SUPPLIER UNLESS THE ARCHITECT IS SPECIFICALLY NOTIFIED IN WRITING, OF ALTERNATE ARRANGEMENTS.
- NO ALTERATION TO THE DOORS OR WINDOWS THAT ALTER THE AMOUNT OF LIGHT OR VENTILATION PROVIDED ARE ALLOWED UNLESS APPROVED, IN WRITING, BY THE ARCHITECT. IT IS THE WINDOW SUPPLIER'S RESPONSIBILITY TO PROVIDE LIGHT AND VENTILATION INFORMATION FOR ALL WINDOWS UPON SUBMISSION FOR PROPOSAL.
- PROVIDE AND INSTALL BLOCKING AND PANNING AT ALL DOOR AND WINDOW HEADS, BLOCKING TO BE PRESERVATIVE TREATED TYP.
- EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH ANSI/AAMA/NWWDA. IT SHALL BE DESIGNED TO A MINIMUM DESIGNED PRESSURE OF 30 LBS./FT.
- ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQUARE FEET AND THE SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR. MINIMUM OPENING HEIGHT IS 24" AND MINIMUM OPENING WIDTH IS 20"
- UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI SPECS.
- ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
- ALL EXTERIOR DOORS AND WINDOWS OPENINGS IN THE MASONRY VENEER TO BE PROPERLY FLASHED (METAL OR PLASTIC) WITH WEEP HOLES ABOVE.
- ALL DOORS AND WINDOWS TO HAVE A MAX. U-VALUE OF .32.
- GLAZING SHALL BE MADE OF SAFETY GLAZING MATERIAL FOR THE BELOW LISTED LOCATIONS:
 - ALL GLAZED DOORS INCLUDING: SLIDING GLASS DOORS, STORM DOORS, SHOWER DOORS, AND BATHTUB ENCLOSURES.
 - ANY GLAZED PANEL MORE THAN 18" IN WIDTH, IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF THE GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR.
 - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMP WITHIN 36 INCHES (914 MM) HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- WINDOW NOTATION IN INCHES: DOOR NOTATION IN FEET-INCHES:

3068 = 30"x68" WINDOW SIZE	3068 = 3'-0"x68"-8" DOOR SIZE
C = CASEMENT	D = DOOR
DH = DOUBLE HUNG	SL = SIDELITE
SH = SINGLE HUNG	
P = PICTURE	
T = TRANSOM	
A = AWNING	
- PROVIDE MIN. OF ONE CODE-SIZED (30"x36" MIN.) BASEMENT EGRESS WINDOW WITH LADDER TO GRADE.
- ALL EXTERIOR DOORS SHALL BE IDENTICALLY KEYPED
- ALL EXTERIOR DOORS TO HAVE DEADBOLT WITH MIN. 1" THROW
- ALL EXTERIOR SLIDING DOORS TO HAVE SLIDING MEMBER LOCATED ON INTERIOR TRACK WITH AUXILIARY BAR PROVIDED.
- ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE "B" LABEL (1-1/2 HOURS OF FIRE PROTECTION) OR BETTER WITH SELF CLOSERS.
- WINDOW AND DOOR FLASHING SHALL BE A MULTILAYER COMPOSITE EMPLOYING POLYETHYLENE AND FIBERGLASS WITH AN INTEGRAL ADHESIVE STRIP THAT PRODUCES A PERM RATING OF LESS THAN .3 PERMS AND COMPLYING WITH ASTM E331. INFILTRATION BARRIER JOINT TAPE IS NOT ACCEPTABLE.
- WINDOWS AND DOORS TO BE INSTALLED IN ACCORDANCE WITH THE AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION (AAMA) GUIDELINES.

ENERGY AND INFILTRATION NOTES

- WHOLE HOUSE VENTILATION SYSTEM MUST BE INSTALLED IN COMPLIANCE WITH THE REQUIREMENTS OF 2015 IECC SECTIONS R 403.5 THOUGH R 403.5.1
- A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. CERTIFICATE SHALL BE COMPLETED BY THE BUILDER AND SHALL LIST THE ANALYSES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES
- ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES
- NEW WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR
- WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ON THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM MAINTAIN ZONE TEMPERATURES. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70 D AND A COOLING TEMPERATURE NO LOWER THAN 78
- SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8
- ALL DUCTS, AIR HANDLERS, FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M160.4.1 OF IRC
- BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS
- BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR
- INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR BEACING
- THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION
- CORNERS AND HEADERS SHALL BE INSULATED AND THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED
- KNEE WALLS SHALL BE SEALED
- RECESSED LIGHTING INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM/WING. WHEN TESTED IN ACCORDANCE WITH ASTM E-283 AT A 1.57 PSF PRESSURE DIFFERENTIAL, ALL RECESSED LIGHTING SHALL BE GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVER
- INSULATION FOR HOT WATER PIPE WITH A MINIMUM THERMAL RESISTANCE OF R-3 SHALL BE APPLIED TO THE FOLLOWING:
 - PIPING LARGER THAN 1/2"
 - PIPING SERVING MORE THAN ONE DWELLING UNIT
 - PIPING FROM THE WATER HEATER TO KITCHEN OUTLETS
 - PIPING LOCATED OUTSIDE THE CONDITIONED SPACE
 - PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD
 - PIPING LOCATED UNDER A FLOOR SLAB
 - BURIED PIPING
 - SUPPLY AND RETURN PIPING IN RECIRCULATING SYSTEMS
 - PIPING WITH RUN LENGTHS GREATER THAN THE MAXIMUM RUN LENGTHS FOR THE NOMINAL PIPE GIVEN:

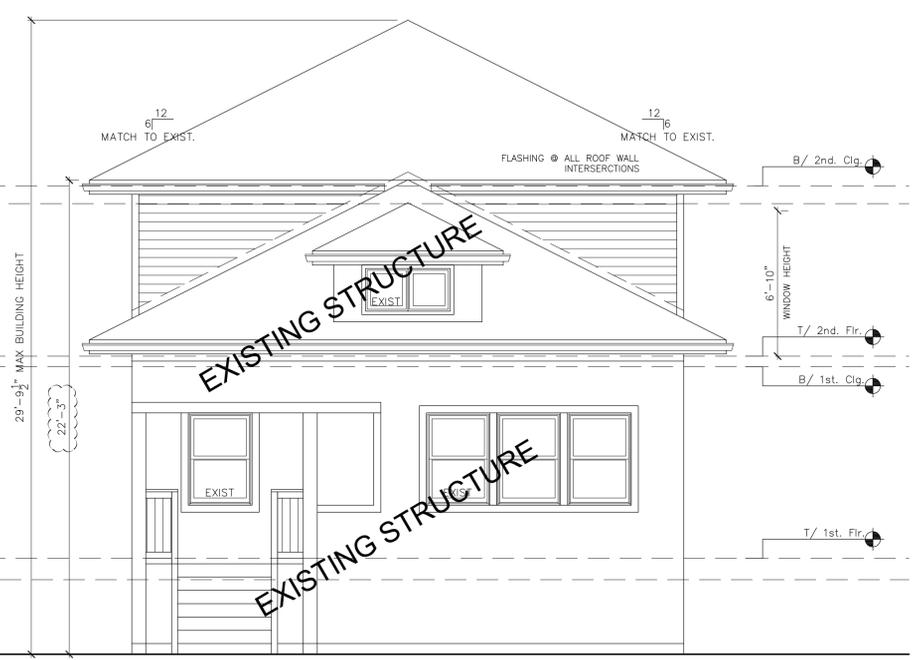
1/2" = 30'	3/4" = 20'	1" = 10'	1 1/2" = 5'
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- THE BUILDING THERMAL ENVELOPE AND DUCT SYSTEMS SHALL BE TESTED TO VERIFY AIR LEAKAGE IS IN COMPLIANCE WITH THE 2015 IECC. TEST TO BE WITNESSED BY INSPECTOR, AND RESULTS TO BE SUPPLIED TO COMMUNITY DEVELOPMENT DEPARTMENT
- ENERGY CODE VALUES:

A. CEILINGS:	R-49
B. WALLS:	R-20 OR R-13 CAVITY +5 CONT.
C. MASS WALLS:	R-17 CAVITY OR R-13 CONT.
D. VAULTED CEILING:	R-30 (500 S.F. OR 20X MAX)
E. FLOORS:	R-30
F. BASEMENT WALLS:	R-15 CONT./R-19 CAVITY
G. SLAB PERIMETER:	R-10, 2FT
H. CRAWL SPACE WALLS:	R-15 CONT./R-19 CAVITY
I. PENETRATION:	U-0.32
J. SKYLIGHTS:	U-0.55
- ENVELOPE MUST BE DURABLY SEALED TO CREATE AN AIR BARRIER TO LIMIT AIR INFILTRATION. THE BUILDING MUST BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RAT OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 2 INCHES (50 PASCALS) AND DONE BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTION THE TEST AND PROVIDED TO CODE OFFICIAL
- ALL DUCT WORK AND AIR HANDLERS INSTALLED WITHIN NON-CONDITIONED SPACE MUST BE TESTED FOR LEAKAGE IN ACCORDANCE WITH SECTION R403.2.2 OF THE 2015 IECC
- ALL DOORS AND WINDOWS TO HAVE A MAX. U-VALUE OF 0.32
- RECESSED FIXTURES AND CEILING LIGHTS MUST BE ENERGY APPROVED TYPE.
- THE REGISTERED DESIGN PROFESSIONAL OR CONTRACTOR SHALL PROVIDE A WHOLE-HOUSE AIR LEAKAGE TEST RESULTING IN A LEAKAGE RATE LESS THAN 3 AIR CHANGES PER HOUR. THE WRITTEN TEST REPORT SHALL BE SIGNED AND SUBMITTED PRIOR TO OCCUPANCY APPROVAL
- PROVIDE CONFIRMATION THAT OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT WORKING
- AN APPROVED PARTY, INDEPENDENT FROM THE INSTALLER OF THE INSULATION SHALL INSPECT THE AIR BARRIER AND INSULATION. THE DOCUMENT SHALL PROVIDE A DUCT AIR LEAKAGE TEST RESULTING IN A LEAKAGE RATE LESS THAN 4cfm PER 100sf. THE WRITTEN TEST REPORT SHALL BE SIGNED AND SUBMITTED PRIOR TO OCCUPANCY APPROVAL
- PROVIDE DUCT SEALANT(WELDS AND/OR SPRAY FOAM).
- THE INSULATION INSTALLER SHALL SIGN, DATE, AND POST THE CERTIFICATE LISTING THE PREDOMINANT INSULATION VALUE IN A CONSPICUOUS LOCATION IN THE ATTIC, BLOWN OR SPRAYED ROOF/CEILING INSULATION THICKNESS SHALL BE IDENTIFIED IN WRITEN INCHES, AFFIXED TO THE TRUSS OR JOIST EVERY 300' FOR INSPECTION.
- SIMULATED PERFORMANCE ALTERNATIVES ARE ACCEPTABLE. REVIEW SECTION R405 AND SUBMIT NECESSARY INFORMATION.
- ALL COMMON WALLS BETWEEN GARAGE AND LIVING AREAS SHALL BE CONSTRUCTED WITH THE SAME INSULATION STANDARDS AS WALLS BETWEEN THE EXTERIOR AND LIVING AREAS.
- ALL BATH, SHOWER ROOMS, AND AREAS OF MOISTURE NOTED ON PLAN SHALL BE PROVIDED WITH WATER RESISTIVE DRYWALL.
- BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
- EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED AND THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS AND TUBS.
- BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION WITH A SUITABLE MATERIAL BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL 'S' AS CALCULATED IN ACCORDANCE WITH ACCA
- DUCTWORK SHALL BE SEALED AND INSULATED APPROPRIATELY BASED IN ITS LOCATION AS PER IECC.

- ROOF NOTES**
- USE CANADIAN SPRUCE-PINE FIR NO.1/NO.2 FOR ROOF RAFTERS THRU 2X10'S. 2X12'S ROOF RAFTERS SHALL BE HEM-FIR(N) PER "THE U.S. SPAN BOOK FOR MAJOR LUMBER SPECIES" 2008 EDITION. SNOW REGION, MEDIUM ROOF COVERING, NO CEILING; 30 PSF LIVE, 15 PSF DEAD:

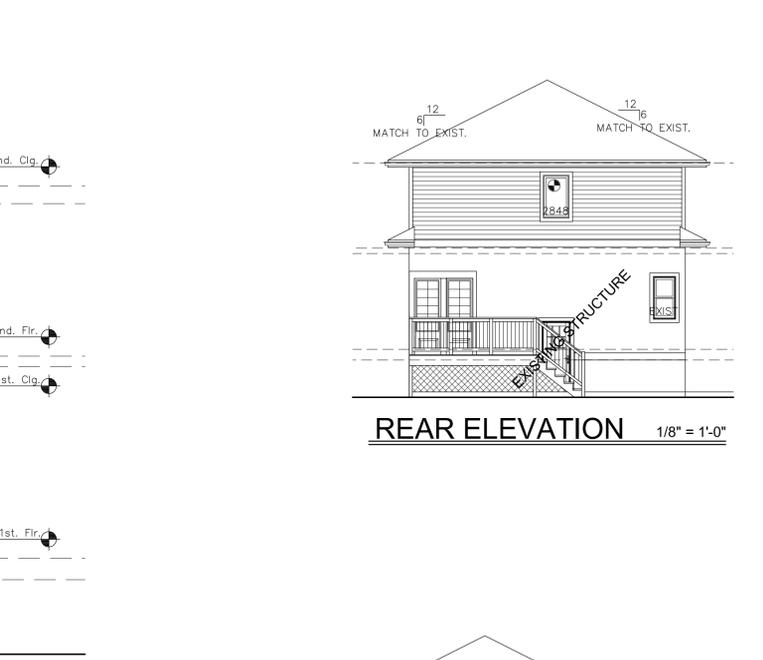
SPAN TABLES FOR SPRUCE-PINE-FIR NO.1/NO.2 FOR NORTHERN LUMBER:	
2x6 @ 16" O.C.	= 11'-3"
2x8 @ 16" O.C.	= 14'-3"
2x10 @ 16" O.C.	= 17'-5"
2x6 @ 12" O.C.	= 13'-0"
2x8 @ 12" O.C.	= 16'-5"
2x10 @ 12" O.C.	= 20'-1"
 - SPAN TABLES FOR HEM-FIR(N) NO.1/NO.2 FOR NORTHERN LUMBER:

2x12 @ 16" O.C.	= 21'-7"
2x12 @ 12" O.C.	= 24'-11"
 - CARPENTER CONTRACTOR NOTE: THE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPAN. IF SUBCONTRACTOR IS ABLE TO SHORTEN THE SPAN BY USE OF PURLINS OR OTHER METHODS, HE IS ALLOWED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY CODE. FURTHERMORE, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAXIMUM SPAN TO A LESSOR SPAN, THE CONTRACTOR MAY MAKE THAT ADJUSTMENT (I.E. 2X10'S TO 2X8'S) BY ADJUSTMENT IN THE BIRD MOUTH CUT.
 - HIP OR VALLEY RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS X RAFTER DEPTH PLUS 2" DEEP.
 - ALL HIP VALLEY CRIPPLE JOISTS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER.
 - VERTICAL RIDGE SUPPORT USED FOR START OF FRAMING AS MARKED BY SHALL BE LEFT IN PLACE AND SHALL BE MADE UP OF 2-2X6'S IN T-FRAME MODE. IT SHALL BEAR ON FLAT 2X8'S EXTENDED OVER BEARING WALL OR OVER 6 CEILING JOISTS.
 - PROVIDE COLLAR TIES FOR ROOF RAFTERS @ 48" O.C. COLLAR TIES SHALL BE INSTALLED PER LOCAL GOVERNING BUILDING CODES
 - WHERE HIP RAFTERS FRAME PERPENDICULAR TO CEILING JOISTS PROVIDE SOLID BLOCKING AT 8'-0" O.C. BETWEEN JOISTS FOR A DISTANCE OF 10'-0" FROM EXTERIOR WALL.
 - ALL FLASHING SHALL COMPLY WITH SMACNA RECOMMENDATIONS FOR FLASHING
 - CONTRACTOR SHALL LOCATE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED
 - CONTRACTOR TO PROVIDE FLASHING AT ALL ROOF VALLEYS
 - ANY RAFTER SPANS OVER 15' SHALL BE 2X10'S OR PURLIN WALL SHALL BE BUILT TO SUPPORT RAFTERS
 - VENTILATION OPENING SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/8" MIN. TO 1/2" MAX OPENINGS.
 - GUTTERS AND DOWNSPOUTS MUST DISCHARGE A MINIMUM OF FIVE FEET(S) AWAY FROM THE BUILDING IN ACCORDANCE WITH THE APPROVED GRADING PLANS OR TO AN APPROVED DRAINAGE SYSTEM
 - PROVIDE ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYOLEFIN MEMBRANE THAT EXTENDS FROM THE EAVES EDGES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
 - ALL ROOF COUNTER FLASHING MUST BE BENT AND CUT INTO BRICK MORTAR JOINTS.
 - PROVIDE ROOF RAFTER AREA, CATHEDRAL & VAULTED CEILINGS, AND SKYLIGHTS WITH ADEQUATE AIR CIRCULATION
 - PROVIDE MIN. 26 GA. G.I. FLASHING IN THE LISTED LOCATIONS OR AS SPECIFIED BY PRODUCT MANUFACTURERS:
 - AT ALL EXT. DOOR AND WINDOW SILLS AND HEADS
 - AT ALL THROUGH WALL OPENINGS
 - AT ALL WALL - ROOF INTERSECTIONS
 - AT ALL ROOF VALLEYS
 - AT ALL ROOF PENETRATIONS



FRONT ELEVATION 1/4" = 1'-0"

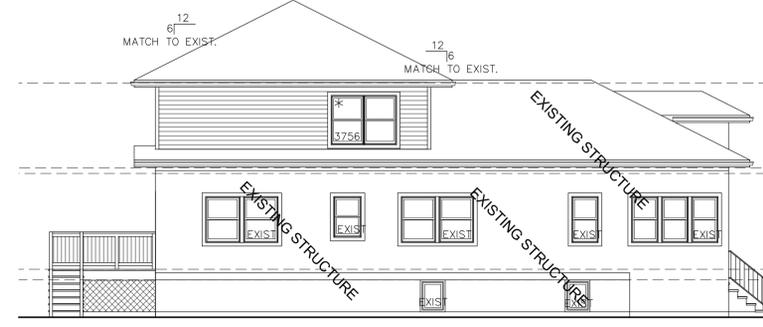
- SAFETY GLAZED
- EGRESS WINDOW



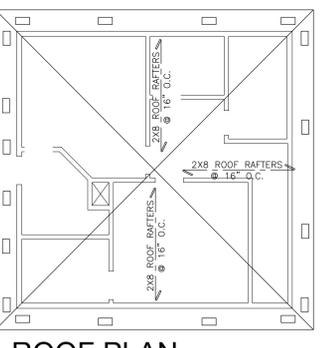
REAR ELEVATION 1/8" = 1'-0"



RIGHT ELEVATION 1/8" = 1'-0"



LEFT ELEVATION 1/8" = 1'-0"



ROOF PLAN 1/8" = 1'-0"

RAFTER SCHEDULE

- | | |
|----------|---------------------------------|
| A | 2 x 12 @ 16" O.C. (HEM-FIR (N)) |
| | MAX SPAN OF 22'-3" |
| B | 2 x 12 @ 12" O.C. (HEM-FIR (N)) |
| | MAX SPAN OF 25'-9" |
| C | 2 x 10 @ 16" O.C. (S.P.F. #2) |
| | MAX SPAN OF 18'-5" |
| D | 2 x 10 @ 12" O.C. (S.P.F. #2) |
| | MAX SPAN OF 21'-4" |
| E | 2 x 8 @ 16" O.C. (S.P.F. #2) |
| | MAX SPAN OF 15'-1" |
| F | 2 x 8 @ 12" O.C. (S.P.F. #2) |
| | MAX SPAN OF 17'-5" |
| G | 2 x 6 @ 16" O.C. (S.P.F. #2) |
| | MAX SPAN OF 11'-11" |
| H | 2 x 6 @ 12" O.C. (S.P.F. #2) |
| | MAX SPAN OF 13'-9" |

- NOTE:
- ALL FLASHING SHALL COMPLY WITH SMACNA RECOMMENDATIONS FOR FLASHING
 - CONTRACTOR SHALL LOCATE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED
 - INSTALL ICE AND WATER SHIELD 2'-0" FROM INTERIOR OF WALL TO GUTTER
 - FLASHING AT ALL ROOF VALLEYS
 - ANY RAFTER SPANS OVER 15' SHALL BE 2x10'S OR PURLIN WALL SHALL BE BUILT TO SUPPORT RAFTERS
 - PROVIDE COLLAR TIES FOR ROOF RAFTERS @ 48" O.C.
 - VENTILATION OPENING SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/8" MIN. TO 1/2" MAX OPENINGS

CODE COMPLIANCE NOTES

- 2015 INTERNATIONAL RESIDENTIAL CODE & D.G. AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE & D.G. AMENDMENTS
- 2015 INTERNATIONAL FUEL GAS CODE & D.G. AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE w/ STATE OF ILLINOIS & D.G. AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE WITH STATE OF ILLINOIS & D.G. AMENDMENTS
- CURRENT STATE OF ILLINOIS PLUMBING CODE & D.F. AMENDMENTS
- 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE & D.G. AMENDMENTS
- DOWNERS GROVE ZONING ORDINANCE
- DOWNERS GROVE STORMWATER AND FLOODPLAIN ORDINANCE



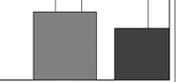
CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT THEY, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES OF THE GOVERNING BODY HAVING JURISDICTION.

Jan James McDonnell
IAN MCDONNELL - ILLINOIS REGISTRATION NO. 001-020866

LICENSE EXPIRES: 11.30.2020 DATE SIGNED: 3/27/19

IJM ARCHITECTS



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La Grange, IL. 60525
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PROJECT

A-1.0	EXTERIOR ELEVATIONS
A-2.1	FIRST FLOOR PLAN
A-2.2	SECOND FLOOR PLAN
A-3.0	DETAILS
E-1.0	ELECTRICAL PLANS

SECOND STORY ADDITION
FOR
4835 SARATOGA AVE
DOWNERS GROVE, IL 60515



EXP. DATE: 03.27.2019

DATE: 03.27.2019

JOB# 2019-40

SHEET A-1.0



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE ZONING BOARD OF APPEALS
MAY 22, 2019 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
19-ZBA-0002 4224 Elm Street	Zoning Exception	Devin Kamperschroer Planning Intern

REQUEST

The petitioner is seeking a zoning exception to allow for a second story addition to be 4.64 feet from the north property line, where 5.5 feet is required per Section 2.030 of the Zoning Ordinance.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER/ APPLICANT: Kevin and Joy O'Reilly
4224 Elm Street
Downers Grove, IL 60515

PROPERTY INFORMATION

EXISTING ZONING: R-4, Residential Detached House 4
EXISTING LAND USE: Single Family Detached House
PROPERTY SIZE: 7,318 square feet (0.17 acres)
PINS: 09-05-120-013

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	R-4, Residential Detached House 4	Single Family Residential
SOUTH:	R-4, Residential Detached House 4	Single Family Residential
EAST:	R-4, Residential Detached House 4	Single Family Residential
WEST:	R-4, Residential Detached House 4	Single Family Residential

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development and attached to the report as noted:

1. Application/Petition for Public Hearing
2. Location Map
3. Plat of Survey
4. Site Plan
5. Floor Plans
6. Elevations
7. Project Summary/Narrative

PROJECT DESCRIPTION

The petitioner is requesting a zoning exception to vertically extend the existing wall of a one-story home for a second-story addition. The existing northern wall is 28.5 feet wide, but a portion of the existing wall (23.9 feet) is currently located in the required side (interior) setback. The property is located south of the intersection of 41st Street and Elm Street and is zoned R-4, Residential Detached House 4.

The building is considered a legal non-conforming structure as it was lawfully constructed, but has been deemed non-conforming due to Zoning Ordinance revisions. As the house is not parallel to the north property line, a portion of the existing one-story house is setback 4.64' from the north property line, where a 5.5' interior yard setback is required per Section 2.030 of the Zoning Ordinance. The petitioner is proposing a second floor addition over the entire footprint of the existing house. As such, the petitioner is requesting an exception to allow a vertical extension for the portion of the house that is within the required side (interior) setback.

The exterior material of the proposed addition is uniform throughout the entire exterior of the home and is compatible with neighboring single family properties. Aside from the current non-conforming setback, the new addition will meet all requirements within the Zoning Ordinance.

ANALYSIS

Exception from the Zoning Ordinance, vertical extension of existing walls in one required setback

As noted above, the petitioner is requesting an exception from the required side (interior) setback to construct a second story addition where it is prohibited per Section 2.030 of the Zoning Ordinance. To grant the exception, the exception must meet the Zoning Exception standards and review criteria in Section 12.080.G and also the nonconforming structure alterations criteria in Section 11.040.C.2 of the Zoning Ordinance.

As noted below, staff finds that all standards associated with the proposed vertical wall extension have been met. Based on the analysis below, staff recommends approval of the exception.

FINDINGS OF FACT

The petitioner has outlined the request in the attached narrative letter and supplemental documents. The petitioner will further address the proposal and justification to support the requested exception to the board at the public hearing.

Section 28.12.080.G Standards and Review Criteria

Zoning Exceptions require evaluation per Section 12.080 of the Zoning Ordinance, *Standards and Review Criteria*: "Zoning exceptions may be approved by the zoning board of appeals only when the board determines that any specific standards associated with the authorized zoning exception and the following general approval criteria have been met:"

(1) The exception is consistent with all relevant purpose and intent statements of this zoning ordinance and general purpose and intent of the comprehensive plan.

The purpose of the Zoning Ordinance (Section 1.060) is to protect and promote the public health, safety and general welfare and implement the policies and goals of the comprehensive plan. The proposed addition will not cause harm to the health, safety and general welfare of the community or immediate neighborhood. The proposed addition will meet the Comprehensive Plan recommendations to provide a variety of housing types, re-invest in the current housing stock, and ensure that quality housing stock remains a staple of the community. This standard is met.

(2) The exception will not have substantial or undue adverse effect on adjacent properties, character of the area, or public health, safety and general welfare.

The proposed addition will not have an adverse impact on adjacent properties, the character of the area or the public health, safety and welfare. The proposed vertical extension meets all other bulk requirements of the Zoning Ordinance, including height. The addition would complement the character of the area. This standard is met.

(3) *The exception will be constructed so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring properties in accordance with district regulations.*

The addition continues the existing structure vertically. The addition will comply with the Zoning Ordinance's height regulation, and the scale of the proposed addition is consistent with the surrounding homes in the vicinity. This standard is met.

(4) *The exception demonstrates high-quality design and uses construction materials and colors that are compatible with other structures on the property and other properties in the vicinity.*

The proposed siding, trim and roofing materials will be constructed of typical residential construction materials and will match the existing in size, character and colors. The structure is compatible with other nearby single family residential properties, and is intended to enhance/improve the aesthetic of the existing house. This standard is met.

(5) *Adverse impacts resulting from the exception will be mitigated to the maximum extent feasible.*

In order to minimize adverse impacts of the addition, the petitioner has not included any windows on the north wall of the second floor. The proposed addition meets all other bulk requirements of the R-4 zoning district and mitigates any impacts to the maximum extent. This standard is met.

Section 28.11.040.C.2 Alterations and Expansions

Additionally, extensions of an existing building wall located within a required setback requires conformance with Section 11.040.C.2 of the Zoning Ordinance which states that "a structure with a nonconforming setback may not be expanded horizontally or vertically within the required setback area, except that the zoning board of appeals may approve either a horizontal or vertical extension of the nonconforming exterior walls of a detached house in accordance with the zoning exception procedures of Section 12.080. In order to approve such horizontal or vertical extension, the zoning board of appeals must find that all of the following criteria have been met":

a) *The extended wall will comply with all other applicable lot and building regulations (other than the nonconforming setback).*

The proposed addition will comply with all other applicable lot and building regulations, including building height, as outlined in Section 2.030 of the Zoning Ordinance. This standard is met.

b) *The extension will not obstruct farther into the required setback than the existing exterior building wall and will not extend the horizontal length of the nonconforming building wall more than 15% of its existing length.*

The proposed addition is a vertical extension of an existing wall and will not obstruct farther into the required setback than the existing exterior building wall. The vertical extension will remain 4.64 feet from the north property line at its nearest point. This standard is met.

c) *The horizontal or vertical wall extension does not include windows that allow views onto an abutting lot occupied by a detached house.*

The proposed vertical extension does not include any windows that provide a direct view onto abutting properties. This standard is met.

d) *The appearance of the expansion will be compatible with the adjacent property and neighborhood.*

The proposed appearance will be compatible with the surrounding homes in the immediate vicinity and neighborhood. This standard is met.

e) The expansion will not be detrimental to the existing character of development in the immediate neighborhood or endanger the public health, safety, or general welfare.

The proposed vertical extension will not be detrimental to the existing character or endanger the public health, safety or general welfare. The proposed addition meets all bulk and building regulations, except the nonconforming setback. The proposed two-story home is consistent with the existing character of the neighborhood. This standard is met.

RECOMMENDATION

Based on the analysis above, staff believes the standards and criteria for granting the horizontal exception has been met. As such, staff recommends **approval** of the requested exception subject to the following conditions:

1. The vertical wall exception shall substantially conform to the staff report and architectural drawings prepared by Brian McNichols Architect, dated May 7, 2019, except as such plans may be modified to conform to the Village codes and ordinances.

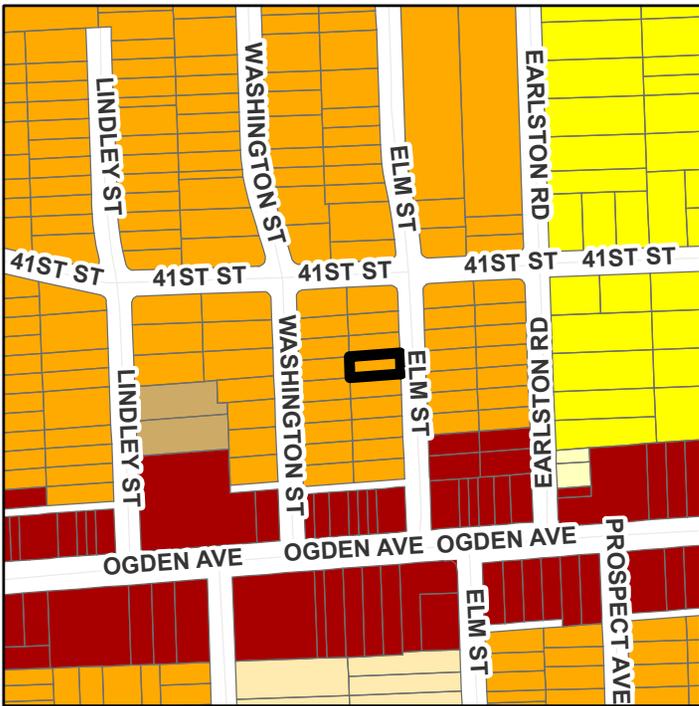
Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development

SP:dk
-att

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4224 Elm St Location Map - 19-ZBA-0002



BRIAN MCNICHOLS ARCHITECT
5825 W. Arthington St
Chicago, IL 60644-5402

Tel: 708 612 8068
Email: brianmcnarch@yahoo.com

REQUEST FOR EXCEPTION

4224 Elm Street, Downers Grove, IL

April 18, 2019
Updated May 7, 2019

PROPERTY INFORMATION

Zoning District: R-4
Property Size: 7318 s.f.

Village of Downers Grove Zoning Board of Appeals

On behalf of the Owners at 4224 Elm Street, Kevin and Joy O'Reilly, I am writing to request an exception for the proposed work at their home which does not meet the current Downers Grove Zoning Code:

Scope Description of proposed Zoning Exception

At the north facade and a portion of the west facade of the single family residence at 4224 Elm Street, the existing home encroaches into the current required setback. The Owners would like to increase the capacity of the home to better accommodate their family. We are proposing a second-story addition, directly above the existing main portion of the home; however, this proposed addition aligns with the existing outside faces of the building and thus would encroach on the current setback requirements of the property. Therefore, we are applying for a **Zoning Exception for the Vertical Extension of the existing building's non-conforming setbacks** along the north side and a portion of the west side of the property. The proposed addition will meet all other requirements of the Downers Grove Zoning Ordinance.

- North setback: Existing building is set back a minimum of 4.64' from the property line, while the Zoning Ordinance requires a minimum 5.5' setback. The proposed addition would match the length of the existing 28'-6" building with an additional 2'-0" cantilever at the east/front of the house in a non-encroaching area. The proposed addition would match the existing building's setback of at least 4.64' with an additional 1'-3" overhang and 4" gutter. The proposed roof overhang is less than the existing 2'-2" overhang and 4" gutter. Also please note that no windows are proposed on the north face of the addition. The encroaching portion of the addition on the west face of the building proposes the same overhang dimensions as the proposed overhang dimensions on the north face of the addition.

Standards of Review

The following statements are how we feel the proposed construction addresses the Standards of Review set forth in Zoning Code Sections 11.040.C.2 and 12.080.G:

1. The proposed addition is consistent with all relevant purposed and intent statements of the zoning ordinance, and the exstended wall will comply with all other applicable lot and building regulations(other than the non-conforming setbacks).
 - a. The proposed addition will meet all other requirements of the Downers Grove Zoning Ordinance and Building Code.
2. The proposed addition will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.
 - a. The proposed 2-story home is compatible with the lot, considering the proposed work increases the lot coverage minimally. The proposed front cantilevers add 52 sq ft of lot coverage which increases the lot coverage from an existing 27% to 28%, still below the allowable 32%.
 - b. The proposed building is compatible with the neighborhood, as the 2-story building is consistent with typical sizes of homes in the neighborhood.
3. The proposed zoning exception will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.
 - a. The proposed addition is arranged to minimize the impact of the vertical extension by locating the low point of the roof along the encroaching north side of the building, while the high point of the roof is at the center of the residence.
4. The proposed zoning exception demonstrates high quality design and uses construction materials and colors that are compatible with other structures on the property and other properties in the vicinity.
 - a. The proposed addition intends to enhance/improve the aesthetic of the existing home, and to enhance the neighborhood through its high quality contemporary design and the use of quality architectural materials to be compatible with the existing siding.
5. Any adverse impacts resulting from the zoning exception will be mitigated to the maximum extent feasible.
 - a. The impact of the vertical extension at the encroachment area is mitigated by arranging the low point of the addition along the north side. Also, the proposed roof overhang is to be 11" less than the existing roof overhang(proposed 1'-3" in lieu of existing 2'-2").
6. The vertical wall extension does not include windows that allow views onto the abutting north property/residence.
7. The vertical wall extension is flush with and equal to the existing home, thus not furthering the nonconformity horizontally(only vertically).
8. We believe that building an addition that complies with the setback requirements is Impractical for the following reasons:

- a. Building a second story addition that does not align with the exterior walls would require a new structure (beams and columns that extend all the way down to new footings underground) to support those new walls. This would have a spatial impact on the existing levels and increase the amount of renovation work required on those levels.
- b. We felt that complying with the setbacks would have created an aesthetic problem by creating an oddly shaped structure that would not be consistent with the neighborhood.

Attached please find additional documents for your consideration of this proposal:

- Plat of Survey
- Existing/Demolition Site Plan and Floor Plans
- Proposed Site Plan and Floor Plans
- Proposed Building Elevations

Thank you very much for your consideration of this application.

Sincerely,

Brian McNichols Architect

On behalf of Kevin and Joy O'Reilly, 4224 Elm Street, Downers Grove, IL

Associated Surveying Group, LLC

Illinois Prof. Design Firm No. 184-004973

P.O. Box 810

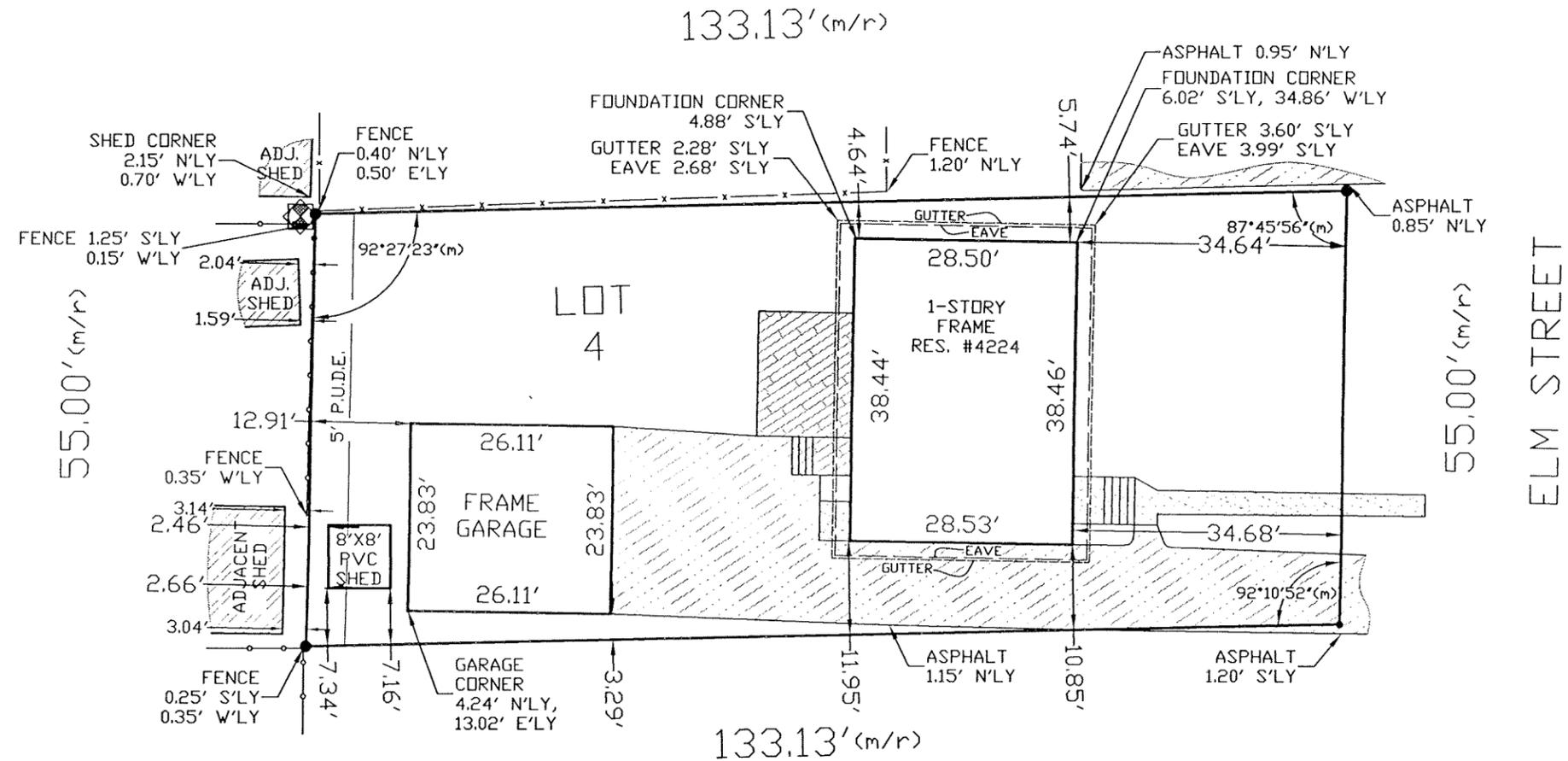
Bolingbrook, IL 60440

PH: 630-759-0205

FAX: 630-759-9291

PLAT OF SURVEY

LOT 4 IN BLOCK 4 IN LYMAN PARK, BEING A SUBDIVISION OF PART OF SECTION 5, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1926 AS DOCUMENT 213564, IN DUPAGE COUNTY, ILLINOIS.



State of Illinois }
County of Will } SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 16TH day of APRIL, A.D., 2019 at Bolingbrook, IL.

FIELDWORK DATE: APRIL 16, 2019

CLIENT: LJH PROPERTIES LLC

JOB NO.: 81926-19

Illinois Professional Land Surveyor No. 35-002900
License Expires: November 30, 2020

NOTES:
1. COMPARE THE LEGAL DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO, COMPARE ALL FIELD MEASURED LOT CORNERS & BUILDING TIES WITH THIS PLAT BEFORE CONSTRUCTION AND REPORT ANY DIFFERENCE AT ONCE. 2. NO IMPROVEMENTS SHOULD BE CONSTRUCTED ON THE BASIS OF THIS PLAT ALONE. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF CONSTRUCTION. 3. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO DEPICTED ON THE RECORDED SUBDIVISION PLAT. REFER TO YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE FOR ADDITIONAL ENCUMBRANCES. 4. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. MEASURED LOT DIMENSIONS ARE SHOWN ONLY WHEN THEY DIFFER FROM RECORD DIMENSIONS BY 0.15 FEET OR MORE. 5. CURVED LINES DENOTED WITH ARC LENGTHS UNLESS OTHERWISE NOTED. ALSO, ALL ARCS ARE TANGENT UNLESS OTHERWISE NOTED. 6. AREA IS BASED ON MEASURED DISTANCES AT TIME OF SURVEY.

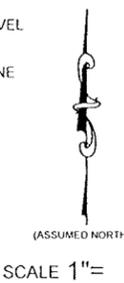
ABBREVIATIONS:

A = ARC LENGTH
R = RADIUS
CH = CHORD LENGTH
(i) = RECORD VALUE
(m) = MEASURED VALUE
B.S.L. = BUILDING SETBACK LINE
P.U.E. = PUBLIC UTILITY EASEMENT
P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
V.E./C.E. = VILLAGE/CITY EASEMENT

LEGEND:

(NOT TO SCALE)

	BRICK		ASPHALT		ADJACENT BLDG
	WALL		CONCRETE		GRAVEL
	WOOD/ PVC		ENCLOSED COVERED		STONE
	SET IRON PIPE		IRON PIPE		CROSS
	MAG NAIL		PK NAILS AS NOTCH		UTILITY POLE CATCH BASIN
	CHAIN LINK FENCE		WOOD FENCE		ALL OTHER FENCE TYPES



SCALE 1" = 20'

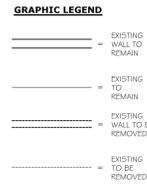
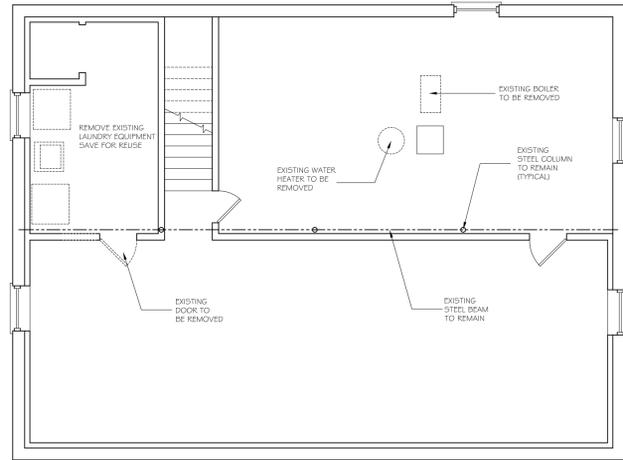
2ND FLR ADDITION/INTERIOR ALTERATIONS 4224 ELM STREET DOWNERS GROVE, ILLINOIS

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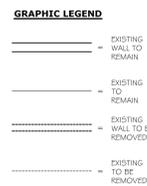
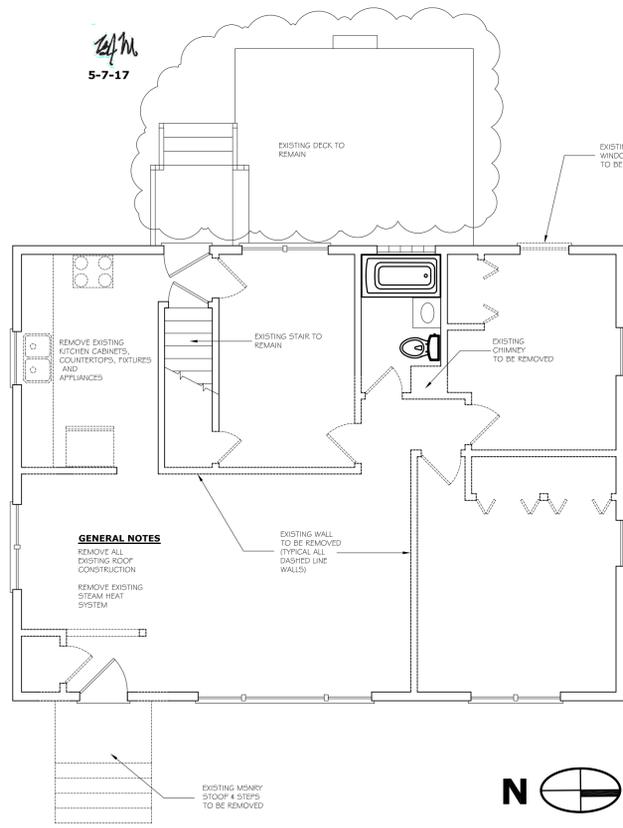
REVISIONS
5-7-19

2ND FLR ADDITION/INTERIOR ALTERATIONS
4224 ELM STREET
DOWNERS GROVE, ILLINOIS

SHEET NO.
A-1



BSMT EXSTG/DEMO PLAN SCALE: 3/16"=1'-0"



1st FLOOR EXSTG/DEMO PLAN SCALE: 3/16"=1'-0"

INDEX TO DRAWINGS

- A-1 SITE PLAN, EXSTG/DEMO PLANS
- A-2 ELEVATIONS
- A-3 PLANS
- A-4 SECTION, NOTES, DETAILS, FDN PLAN
- M-1 MECHANICAL PLANS
- E-1 ELECTRICAL PLANS
- P-1 PLUMBING PLANS, RISERS, SCHEDULES

CONSTRUCTION TYPE: V-B

OCCUPANCY CLASS: R-3

- 2015 INTERNATIONAL RESIDENTIAL CODE w/amendments
- 2014 NATIONAL ELECTRICAL CODE w/amendments
- 2015 INTERNATIONAL MECHANICAL CODE w/amendments
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE w/Downers Grove & state of IL amendments
- 2014 ILLINOIS PLUMBING CODE
- 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE

CURRENT ZONING ORDINANCE VILLAGE OF DOWNERS GROVE
CURRENT STORMWATER AND FLOOD PLAIN ORDINANCE VILLAGE OF DOWNERS GROVE

I CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY W/THE BUILDING CODE OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS.

SIGNED *Brian J. McNichols* DATE 5-7-19

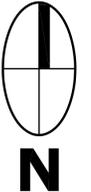
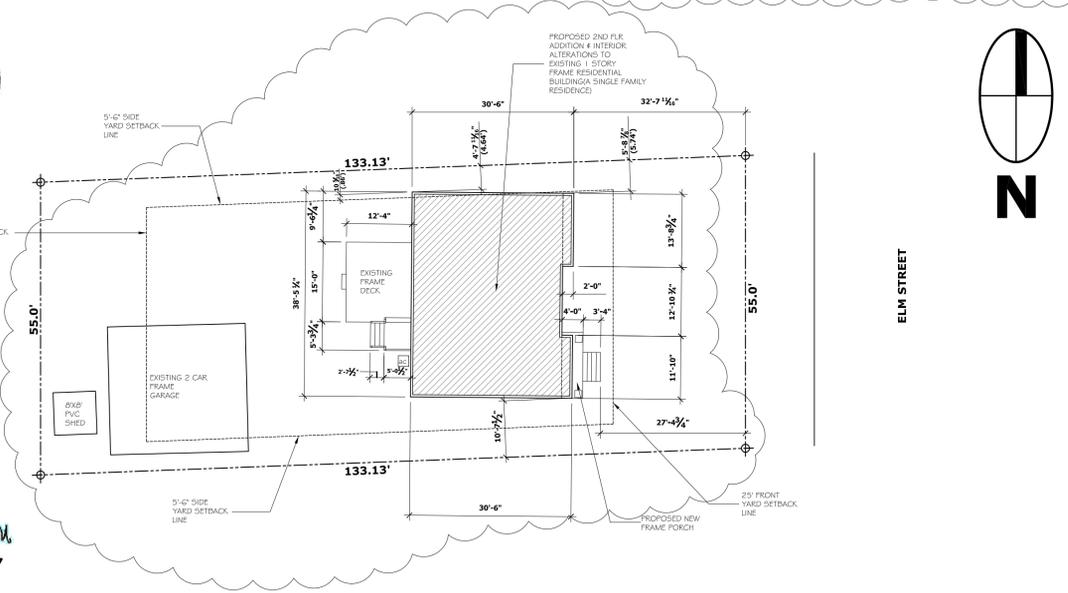


BUILDING PLANNING INFO

DESIGN LOADS	
FLOOR LL (SLEEPING RMS)	40 PSF
FLOOR LL (SLEEPING RMS)	30 PSF
ROOF LL	25 PSF
CLG JOIST LL	10/20 PSF
BALCONY LL	40 PSF
GROUND SNOW LOAD	25 PSF
BASIC WIND SPEED	115 MPH
SEISMIC DESIGN CATEGORY	A
WEATHERING	SEVERE
FROST LINE DEPTH	42"
TERMITE AREA	MODERATE TO HEAVY
DECAY AREA	MODERATE TO HEAVY
WINTER DESIGN TEMP	-4 DEGREES F
ICE BARRIER UNDERLAY	REQUIRED
FLOOD HAZARD	SEE CHAPTER 26 D.G. MUNICIPAL CODE
AIR FREEZING INDEX	1750
MEAN ANNUAL TEMP	49.4 DEGREES



LOT COVERAGE		
ITEM	EXISTING	PROPOSED
GARAGE	623 sq ft	623 sq ft
SHED	64 sq ft	64 sq ft
REAR DECK, LANDING & STAIR	225 sq ft	225 sq ft
AC UNIT	7 sq ft	7 sq ft
HOUSE FOOTPRINT	1098 sq ft	1098 sq ft
SOUTH CANTILEVER	24 sq ft	24 sq ft
NORTH CANTILEVER	28 sq ft	28 sq ft
TOTAL	2010 sq ft	2069 sq ft
LOT AREA	7318 sq ft	
% COVERAGE	28%	29%



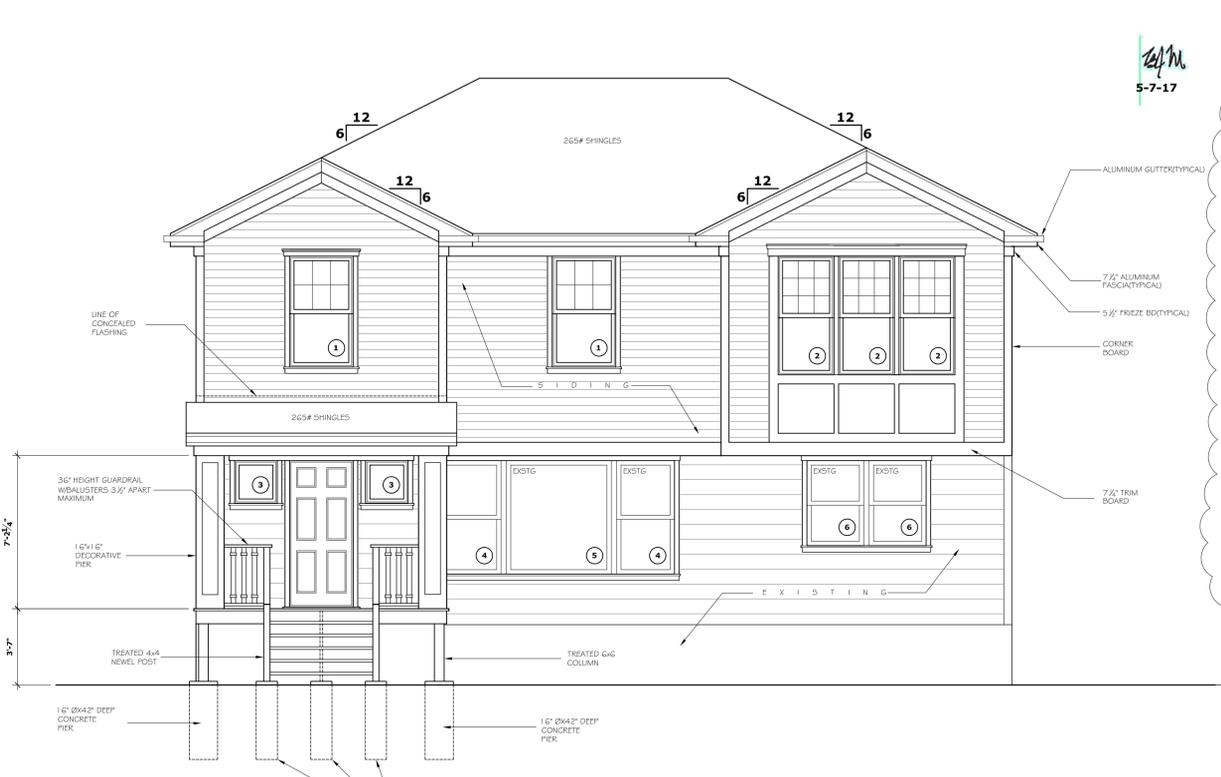
SITE PLAN

VERIFY ALL DIMENSIONS W/PLAT OF SURVEY

SCALE: 1/8"=1'-0"

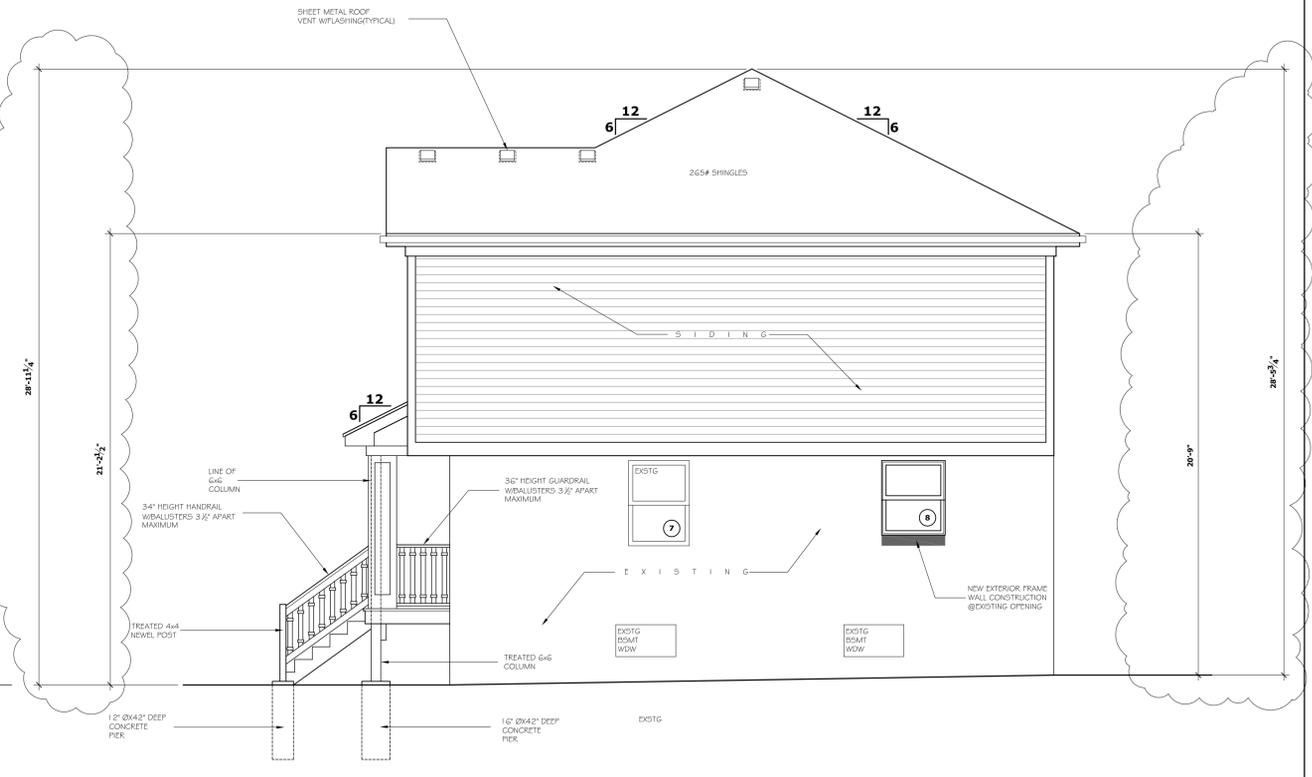
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EAST ELEVATION

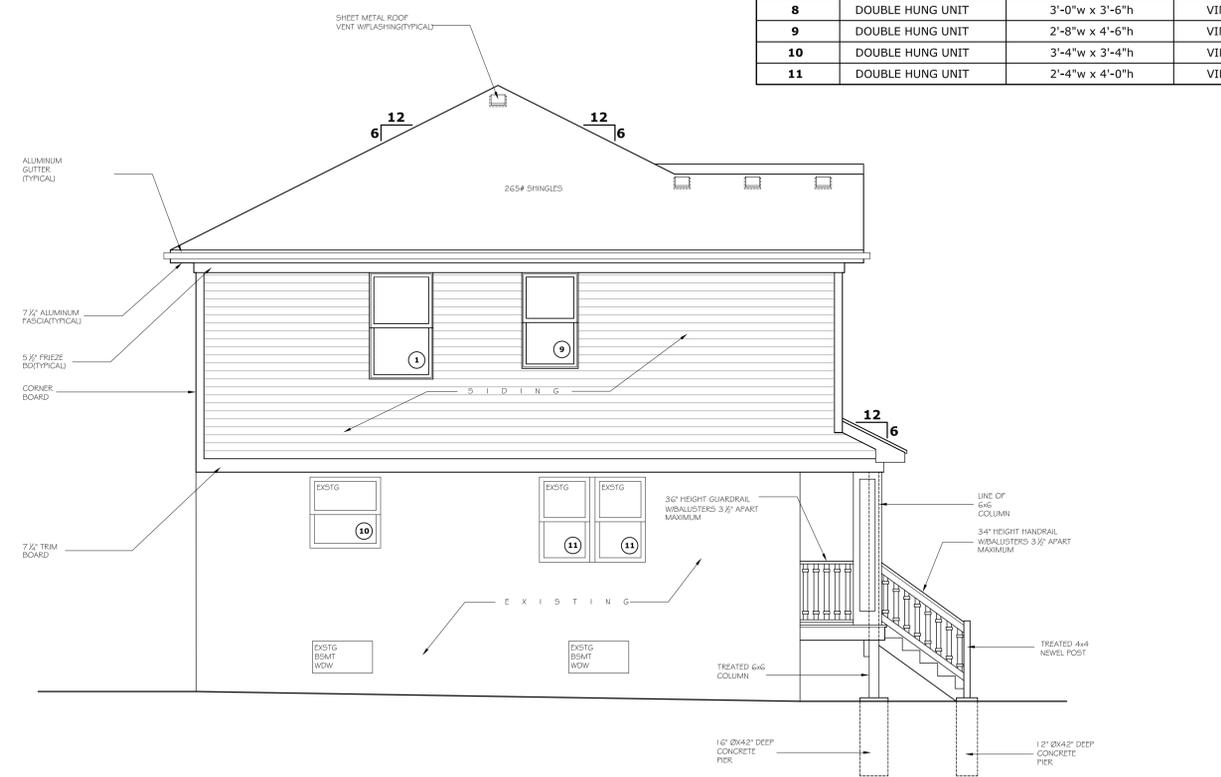
SCALE: 1/4"=1'-0"



NORTH ELEVATION

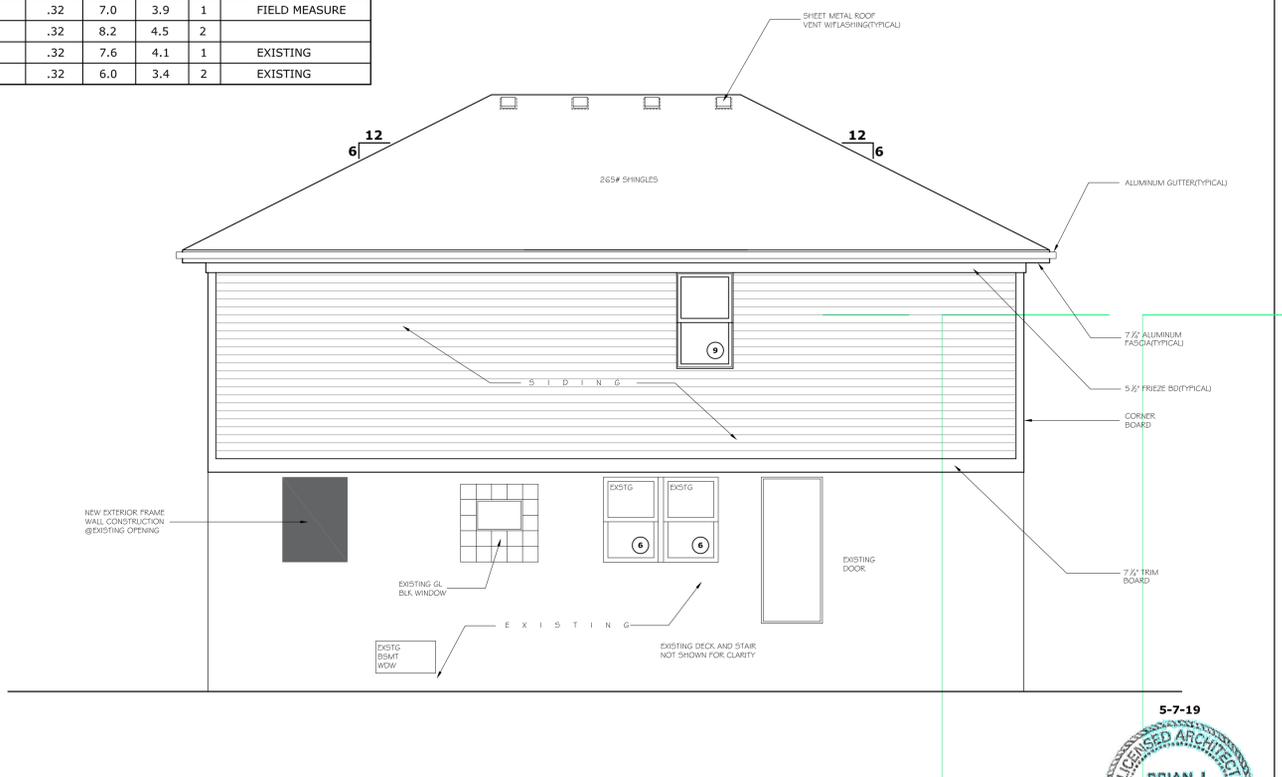
SCALE: 1/4"=1'-0"

WINDOW SCHEDULE								
ITEM #	DESCRIPTION	ROUGH OPENING DIMS	MATERIAL	U-VALUE	LIGHT	VENT	QTY	REMARKS
1	DOUBLE HUNG	3'-0" w x 5'-2" h	VINYL	.32	11.2	6.1	3	EGRESS
2	DOUBLE HUNG	2'-8" w x 5'-7" h	VINYL	.32	10.6	5.8	3	EGRESS
3	FIXED	2'-0" w x 2'-0" h	VINYL	.32	2.8	-	2	
4	DOUBLE HUNG	2'-8" w x 5'-4" h	VINYL	.32	10.0	5.5	2	EXISTING
5	FIXED	5'-0" w x 5'-4" h	VINYL	.32	23.6	-	1	EXISTING
6	DOUBLE HUNG UNIT	2'-8" w x 4'-0" h	VINYL	.32	7.2	4.0	4	EXISTING
7	DOUBLE HUNG UNIT	2'-10" w x 4'-0" h	VINYL	.32	7.7	4.3	1	EXISTING
8	DOUBLE HUNG UNIT	3'-0" w x 3'-6" h	VINYL	.32	7.0	3.9	1	FIELD MEASURE
9	DOUBLE HUNG UNIT	2'-8" w x 4'-6" h	VINYL	.32	8.2	4.5	2	
10	DOUBLE HUNG UNIT	3'-4" w x 3'-4" h	VINYL	.32	7.6	4.1	1	EXISTING
11	DOUBLE HUNG UNIT	2'-4" w x 4'-0" h	VINYL	.32	6.0	3.4	2	EXISTING



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

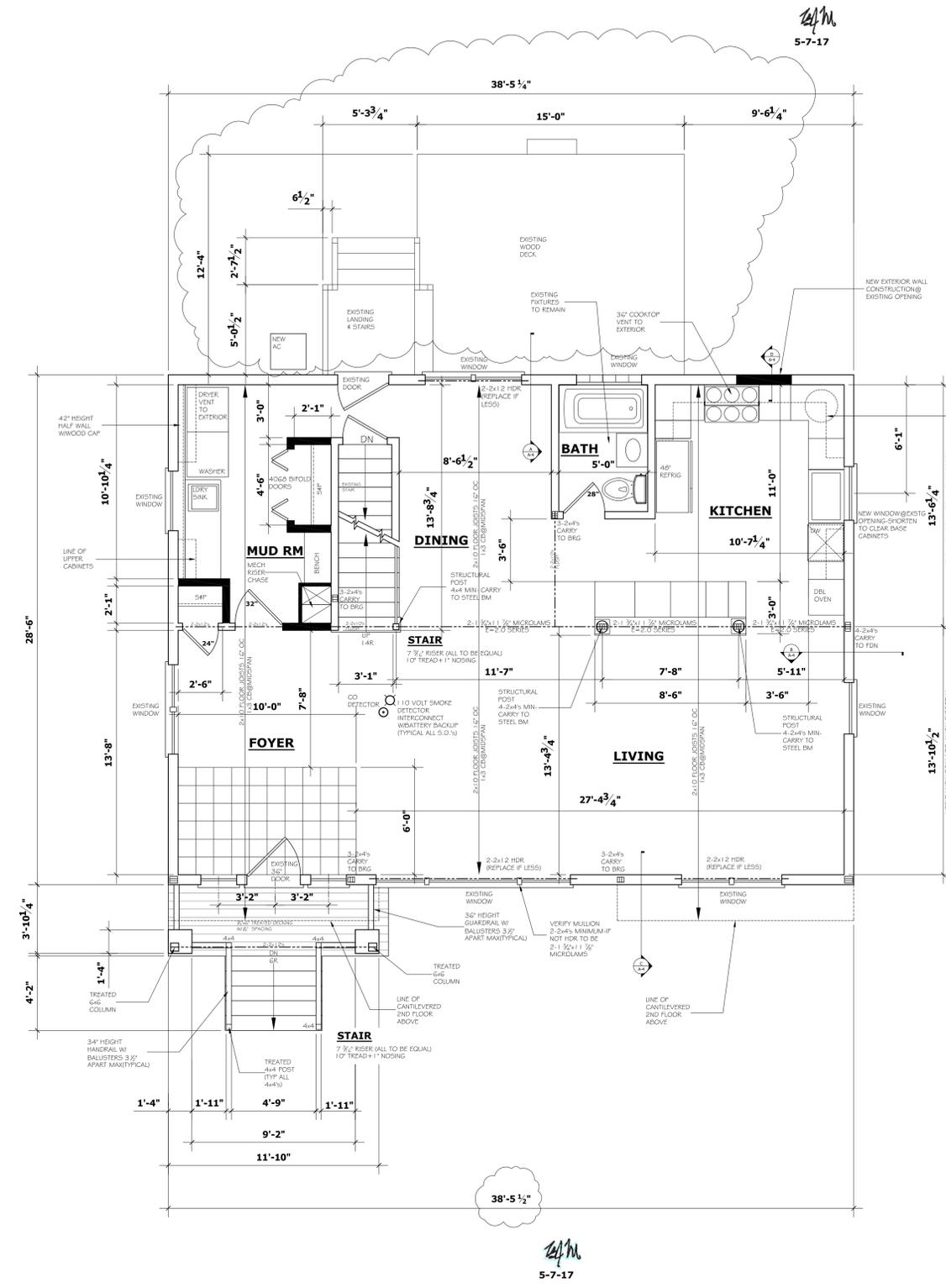


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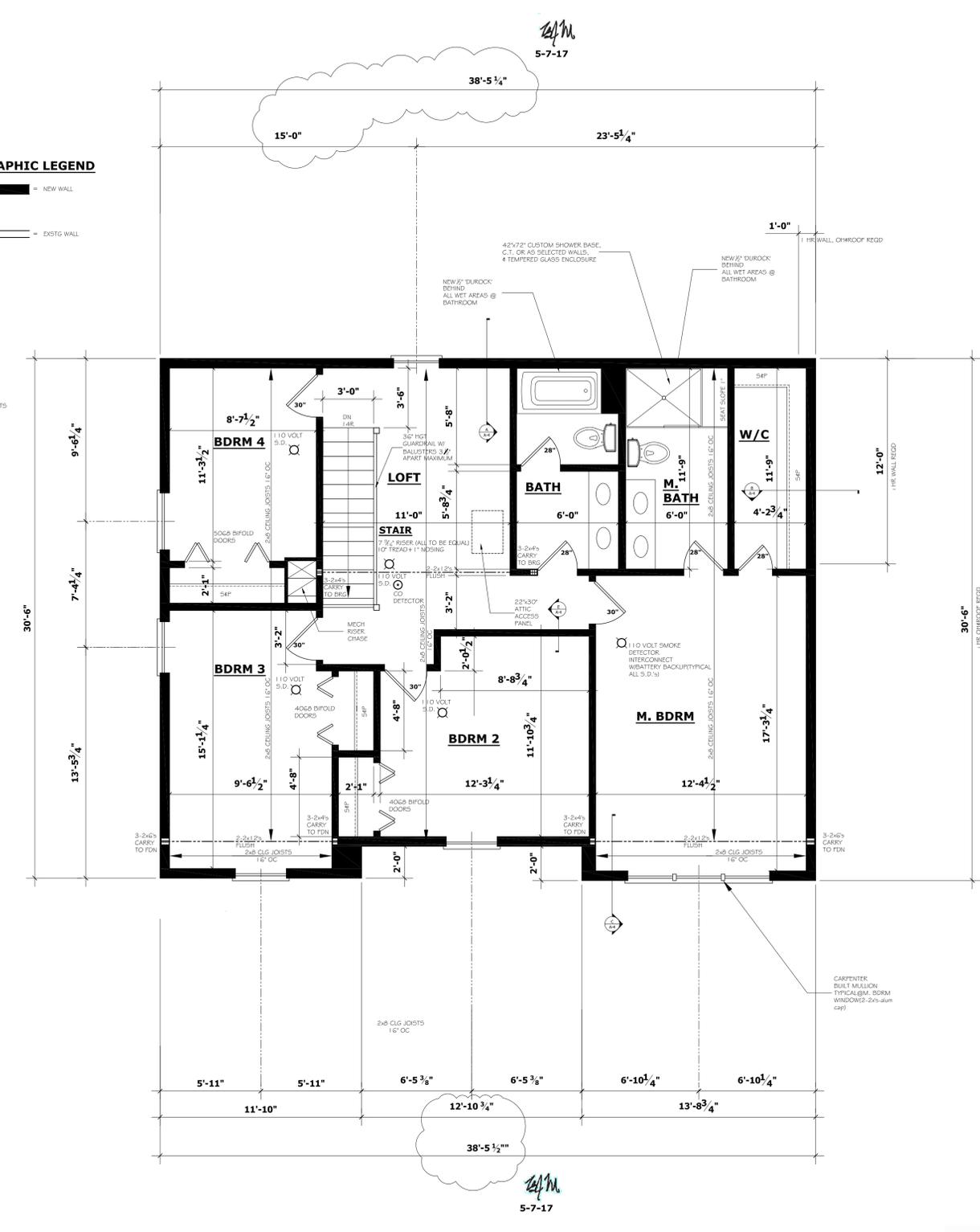
2ND FLOOR ADDITION/INTERIOR ALTERATIONS
4224 ELM STREET
DOWNERS GROVE, ILLINOIS

SHEET NO.
A-2
EXPIRES 11-30-20



1st FLOOR PLAN
1098 sq ft

SCALE: 1/4" = 1'-0"



2nd FLOOR PLAN
1147 sq ft

SCALE: 1/4" = 1'-0"



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REVISIONS
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2ND FLOOR ADDITION/INTERIOR ALTERATIONS
4224 ELM STREET
DOWNERS GROVE, ILLINOIS

SHEET NO.
A-3