

**VILLAGE OF DOWNERS GROVE
PLAN COMMISSION**

VILLAGE HALL COUNCIL CHAMBERS
801 BURLINGTON AVENUE

October 1, 2018
7:00 p.m.

AGENDA

1. Call to Order

a. Pledge of Allegiance

2. Roll Call

3. Approval of Minutes – September 10, 2018

4. Public Hearings

- a. **18-PLC-0027:** A petition seeking approval of 1) a rezoning of 17 parcels from R-4, Residential Detached House to INP-1, Neighborhood-Scale Institutional and Public District; 2) a Special Use with variations to construct a school gymnasium addition; and 3) a Plat of Vacation to vacate public alleys. The properties are currently zoned R-4 Residential Detached House 4. The properties are located on either side of Prairie Avenue, between Fairview Avenue and Douglas Road, commonly known as 428 Prairie, 440 Prairie Avenue, 445 Prairie Avenue, 444 Wilson Avenue, 4733 Douglas Road, 4737 Douglas Road, 4809 Douglas Road and 445 Gierz Avenue (PINs 09-08-221-001, -002, -014, -015, -016, -027, -028, -029, 09-08-222-001, -002, -003, -004, -005, -006, -007, -008, -018, -022, -024, 025). Diocese of Joliet, Owner; St. Mary of Gostyn Parish, Petitioner.
- b. **18-PLC-0029:** A petition seeking approval of an amendment to P.D. #31 Esplanade for a new freestanding restaurant. The property is currently zoned O-R-M, Office-Research-Manufacturing/P.D. #31. The property is located on the south side of Butterfield Road approximately 227 feet east of the intersection of Esplanade Road and Butterfield Road, commonly known as 1801 Butterfield Road, Downers Grove, IL (PIN 06-30-304-002). Hamilton Partners, Inc. Owner; Daniel Bernatek, Petitioner.
- c. **18-PLC-0030:** A petition seeking approval of a Special Use Amendment to expand an existing automobile dealership outdoor display area. The property is currently zoned B-3, General Services and Highway Business.

The property is located directly southeast of the intersection of Ogden Avenue and Cross Street, commonly known as 2501 Ogden Avenue, Downers Grove, IL (PIN 08-01-306-024). AJZ-Downers Grove II, LLC, Owner; Ziegler Auto Group, Inc., Petitioner.

5. Adjournment

THIS TENTATIVE REGULAR AGENDA MAY BE SUBJECT TO CHANGE

**VILLAGE OF DOWNERS GROVE
PLAN COMMISSION MEETING**

MINUTES FOR SEPTEMBER 10, 2018

In the absence of Chairman Rickard, Ms. Gassen served as Chairperson Pro Tem (Ch.) and called the September 10, 2018 meeting of the Plan Commission to order at 7:00 p.m. She led in reciting the Pledge of Allegiance.

ROLL CALL:

PRESENT: Ms. Gassen, Mr. Kulovany, Mr. Maurer, Mr. Quirk, Ms. Rollins

ABSENT: Ch. Rickard, Mr. Boyle, Ms. Johnson, Ms. Majauskas, Ex. Officio members Davenport, Livorsi & Menninga

STAFF: Stan Popovich, Director, Community Development
Scott Williams, Sr. Planner

Ch. Gassen reminded everyone present to silence any electronic devices during the meeting, and noted that copies of the Agenda are available on the shelves at either side of the Chamber.

VISITORS: Scott Richards, 1130 Warren, Downers Grove
Jim Krusenosky, 853 Maple, Downers Grove
Kathleen Owens, 940 Maple Ave., Downers Grove
Don Zamborsky, 940 Maple Ave., Downers Grove
Joe Svoboda, 5147 Main St., Downers Grove
Mark Mauer, 217 White Fawn Trail, Downers Grove
Cathy Davidson, 916 Summit, Downers Grove
Glenn Hoffman, 840 Maple Ave., Downers Grove
Marilyn & Dave Weiher, 935 Curtiss St., Downers Grove
Dan McCormick, 5205 S. Washington St., Downers Grove
Jan Hessler, 2215 Durand Dr., Downers Grove
Willis Johnson, 603 Rogers, Downers Grove
Maxine Ekl, 930 Curtiss, Downers Grove
Diane Crisp, 4624 Highland Ave., Downers Grove
Stephen A. Frost, 945 Burlington, #405, Downers Grove
Kevin Beasley, Foto Houze, LLC, 5155 Main St., Downers Grove
Lydia Forbes, 907 Curtiss, #506, Downers Grove
Dave Humphreys, First Congregational Ch., 1047 Curtiss, Downers Grove
Byron Holtzen, 5226 Carpenter St., Downers Grove
David Gassen, 5320 Benton, Downers Grove

APPROVAL OF MINUTES: July 23, 2018 meeting

Mr. Kulovany moved, seconded by Ms. Rollins to approve the minutes for the July 23, 2018 meeting.

The Motion to approve the minutes passed, with Ch. Gassen abstaining.

Ch. Gassen reviewed the procedures to be followed for the meeting, explaining that the Plan Commission is a recommending body for the petition on the Agenda. Staff will make its presentation on behalf of the Village, which is the Petitioner in this case. The Commission will raise questions or comment on the petition, and then the public will be given an opportunity to comment. Once the Public Hearing portion of the meeting is closed, the Plan Commission members will deliberate to recommend approval, recommend approval with conditions, or recommend denial of the individual petition. That recommendation will be forwarded to the Village Council with the minutes, exhibits and all documentation from the public hearing on the specific petition. The Village Council will make final decisions at a future date. She reviewed the subject matter of the petition on the Agenda, and then asked all individuals intending to speak during the public hearing to rise and be sworn in.

18-PLC-0027: A petition seeking a rezoning of 11 parcels from DB, Downtown Business to DT, Downtown Transition and a rezoning of 66 parcels from DB, Downtown Business to DC, Downtown Core. The subject properties are located in various locations throughout the downtown. A map of the proposed rezonings is available online at this location: <http://www.downers.us/downtown-rezoning> Village of Downers Grove, Petitioner; Various Owners.

Mr. Stan Popovich, Director of Community Development for the Village, made the presentation requesting approval of zoning map amendments in the Village's downtown area. Seventy-seven properties are proposed for rezoning. The petition implements the vision for the downtown area as identified in the June 2017 update to the Village's Comprehensive Plan. There are three subareas in the Comprehensive Plan including the Core, the Edge and the Transition areas. The map amendments center around Main and Curtiss Streets and include the rezoning of 66 properties from Downtown Business to the Downtown Core (DC) zoning district, and 11 properties from Downtown Business to the Downtown Transition (DT) zoning district. He explained that the Village has held 32 meetings to discuss the downtown since 2016. Those meetings included discussions on bulk requirements, land uses, zoning classifications, Comprehensive Plan approvals, downtown regulatory framework, and the Zoning Ordinance update.

Director Popovich explained that currently the downtown has two business zoning districts: Downtown Business (DB) and Downtown Transition (DT). He showed a map displaying the area with the proposed changes in classifications. He noted that Staff's report dated September 10, 2018 states that all standards have been met for rezoning. Those properties proposed for the Transition area are principally homes that have been converted to office uses. The Comprehensive Plan's recommendation to rezone the 77 properties increases the welfare of the community to maintain the downtown as a symbolic heart of the Village and keep it as a focal point of the community as identified in the Comprehensive Plan. The proposed rezonings are based on the recommendations of the Comprehensive Plan's Downtown Focus Area Plan. It envisions the Core to maintain and enhance the vibrancy downtown, while the

DRAFT MINUTES

Transition area plays an important part in assisting with the transition from more intense uses to the single family neighborhood surrounding the downtown. Staff recommends a positive recommendation from the Plan Commission to the Village Council.

Mr. Popovich responded to a question stating that the major differences between downtown Core, Business and Transition is density and building height, and the height for the Core area is three stories. He said the bulk standards have already been approved by the Village Council as a Zoning Ordinance Text Amendment and have already been codified.

Regarding public comments received by Staff, Mr. Popovich said that phone calls were received inquiring about the notification sign downtown with regard to the Library and the cemetery. Mr. Popovich said Staff informed those callers about the potential rezonings, and said there was no involvement in either of those two sites. Comments from previous meetings were included in the Plan Commission's packet for tonight's meeting.

Ch. Gassen asked whether neighborhood meetings are required for rezoning. Mr. Popovich said they are required by the Zoning Ordinance, and Staff also wanted to inform the public about the potential zoning classification changes. Mr. Popovich reviewed how property owners were informed of the neighborhood meetings. In further response, Mr. Popovich clarified that the alley to the east of the library is a public right-of-way and would not be rezoned and that the walkway immediately south of Ballydoyle is part of the parking deck lot and would not be rezoned either.

There being no further comments at this time, Ch. Gassen called upon the public for any comments or questions.

1. Scott Richards of 1130 Warren Avenue asked about the cemetery that falls into the rezoning area, and asked whether these changes would make the cemetery vulnerable. He wanted to know if the cemetery could be protected in some way.
2. Willis Johnson of 603 Rogers Street said his concern is the Downtown Transition, and particularly the six lots on Rogers Street being included in the Downtown Transition area. He thinks the setback requirements are unrealistic. The lots are only 100' deep and all of them back up to a concrete wall that is 15' high. It seems unrealistic to use up 30' of a property to satisfy the setback requirements.
3. Dan McCormick said that he and his wife own 5205 S. Washington Street, which is being rezoned to Downtown Transition. He echoed Mr. Johnson's sentiments regarding the setback requirements that are excessive. He asked if the Board has had an opportunity to walk the property on Washington between Maple and Curtiss. Mr. McCormick said that there is no physical way they could ever put a building such as the one on Maple and Main on those parcels. The parcels are too small and irregularly shaped. He has no problem with the height requirement, but he and his neighbors have problems with the setbacks.

DRAFT MINUTES

4. Jim Krusenoski of 853 Maple Avenue urged the Commission to continue to move forward with the rezoning of the properties on Washington Street. He has no issue with the setbacks but his concern is with the height restrictions going through on this rezoning.

5. Scott Richards asked about the Core and whether it would be limited to three stories, and if so, would there be exceptions granted. He has seen too many local towns cave in to developers and grant variations in lieu of being sued by the developers. He supports the three story height restrictions. He said none of the residents in the area want to see a repeat of what is being done at Main and Maple. They have to live with that. Mr. Richards said his concern is, if this is passed, that the Village will stick to its guns and not give in to developers. The Core maximum should be three stories.

6. George Swimmer of 4905 Main Street asked what other communities similar to Downers Grove have in terms of height restrictions. He thinks having height restrictions that other communities do not have would result in diminishing the Downers Grove property values. He also commented that he's been coming to these meetings for years. This is the first time he's been asked to take an oath and he felt uncomfortable doing it.

7. Byron Holtzen of 5226 Carpenter Street said he would like to see the Downtown Core extend all the way down to Maple Avenue. He would hate to see another big building go across the street from the Maple and Main building. He asked if that could happen, as he understood that area had a 70' height limitation. He thinks that would be a disaster, as it already is a disaster.

There being no further testimony from the public, Ch. Gassen closed the opportunity for further public comment.

Director Popovich said that the Village owns the cemetery property and the only way to protect it would be to landmark that property or put a permanent easement on it. There are no plans for that property to be sold. With regard to concerns about larger buildings coming in, there is an alignment now between the Comprehensive Plan and the Zoning Ordinance and Zoning Map. Other towns vary their height requirements based on individual community visions for their downtown areas.

Director Popovich was asked to address the question raised by a member of the public concerning how the Zoning Ordinance might restrict property values. He replied that opportunities for reinvestment in those properties are still moving forward. Any diminishment of property values would be offset by the opportunities to redevelop and the welfare of the community. There are still many permitted uses in those areas. None of the zoning changes would prevent someone for applying for a variance. That application would come before the Plan Commission and the Village Council for approval.

Director Popovich then responded to the question regarding the oath, and said he has been with the Village for 12 years and the oath has always been part of testimony for a public hearing. It is a legal statement.

DRAFT MINUTES

Mr. Quirk said he supports the Downtown Core and the height limits. He is concerned with the outlying properties going from Business to Transition on Rogers, south on Washington, and he doesn't think it is the Village's place to restrict zoning on those properties. He thinks they should hear from those property owners before levying a major restriction on their parcels. He thinks a lot of rights would be taken away from those property owners.

Mr. Kulovany asked about the thought process for the Rogers property. Director Popovich replied the Comprehensive Plan identified that area as Transition because of the single-family residence proximity to those properties. In further response, Director Popovich said that a petitioner could apply for a variance on setbacks.

Ch. Gassen said the Transition area is a change from higher density use to single-family residential.

Ms. Rollins said any time they are combining lots and doing a larger building, the proposal would have to come before the Commission. Director Popovich said hypothetically they would have to come in and seek approval. All three zoning districts require a Special Use approval for any apartment or condo proposals. If someone wanted to build a detached house, attached house or duplex, that would be a permitted use in the DT zoning district and not require a public hearing. An attached house and duplex are special uses in the DB zoning district. Ms. Rollins noted these transition areas are what was envisioned in the Comprehensive Plan

Mr. Maurer commented on the turnout for the meeting, and thanked the people for expressing their opinions. He also noted the lack of comment on the change in the zoning district around Main and Curtiss, which is the center of the downtown. He asked about some of the comments received earlier. Director Popovich said the Comprehensive Plan fleshed out the desire to maintain the feel of the downtown area and limited the height to three stories. At the August meetings, people asked about the driving force behind the changes and that was the Comprehensive Plan. There were discussions about what happened to allow the construction at Main and Maple, as well as an explanation about the lack of alignment between the Comprehensive Plan and the Zoning Ordinance. Some property owners agreed with the proposed changes and others did not.

Mr. Quirk asked whether any properties in the Downtown Core would not be in compliance with current zoning standards. Director Popovich said none that he is aware of, because the tallest building was the former U.S. Bank Building at the corner of Burlington and Main Street at 40'.

Mr. Kulovany expressed that this has been a two-year exercise covering 32 public meetings. Some people think there should not be higher buildings while others say we need more people to support the businesses. He believes the Comprehensive Plan does a great job at addressing concerns to leave the Central Core at a lower height of 40'. There is the issue of transit-oriented development, tracking people who don't want to drive to work but who want to walk to the train station, shops, restaurants and bars. If the Village allows 70' at the sidewalk it might make businesses happy but single-family

DRAFT MINUTES

owners would be opposed to that. The Village doesn't have the luxury of a large footprint for our downtown such as they have in Naperville. He thinks they have to work with the canvas they have, and he thinks the Comprehensive Plan does a good job to meet what exists. He is in favor of supporting the petition.

Ch. Gassen said looking at the approval criteria, and the Comprehensive Plan, the petition is doing what the Plan calls for as far as the vision for the community. She would also support what Staff is proposing.

There being no further comments, Ch. Gassen called for a Motion.

Mr. Kulovany said based on the Staff report and testimony presented, I find that the proposed rezonings meet the standards of Section 12.030.I of the Zoning Ordinance. Therefore, I move that the Plan Commission recommend that the Village Council approve 18-PLC-0027. Ms. Rollins seconded the Motion.

AYES: Mr. Kulovany, Ms. Rollins, Mr. Maurer, Mr. Quirk, Ch. Gassen

NAYS: None

The Motion carried unanimously.

Director Popovich said that this will probably go before the Village Council the second meeting in October. Additional information can be found at www.downers.us. He said there would be no meeting on September 24th, and the next Plan Commission meeting will be on October 1, 2018.

Mr. Maurer expressed his appreciation to the public for attending the meeting. He explained that the Plan Commission is a recommending body. The Village Council will still listen to their concerns and they should attend that meeting. The Village Council is the final decision maker.

There being no further business, Ch. Gassen called for a Motion to Adjourn.

**Ms. Rollins moved to adjourn the meeting, seconded by Mr. Kulovany.
The Motion carried unanimously by voice vote.**

Ch. Gassen adjourned the meeting at 7:40 PM.

Respectfully submitted,

Tonie Harrington,
Recording Secretary
(transcribed from mp3 recording)



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLAN COMMISSION
OCTOBER 1, 2018 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
18-PLC-0023 St. Mary of Gostyn	Rezoning, Special Use with Variations, Alley Vacations	Scott Williams, AICP Senior Planner

REQUEST

The petitioner is requesting approval of the following items: 1) Rezoning from R-4, Residential Detached House 4 to INP-1, Neighborhood-Scale Institutional and Public District; 2) Special Use with Variations to construct a school gymnasium addition; and 3) A Plat of Vacation for adjacent right-of-ways (alleys).

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER: Diocese of Joliet
16555 Weber Road
Crest Hill, IL 60403

APPLICANT: St. Mary of Gostyn Parish
445 Prairie Avenue
Downers Grove, IL 60515

PROPERTY INFORMATION- NORTH CAMPUS

EXISTING ZONING: R-4, Residential Detached House 4
EXISTING LAND USE: Private School
PROPERTY SIZE: 48,233 square feet (1.11 acres)
PINS: 09-08-221-001, -002, -006, -007, -008, -009, -014, -015, -016, -027, -028, & -029

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	R-4, Residential Detached House 4	Single Family Detached
SOUTH:	R-4, Residential Detached House 4	Institutional/Public
EAST:	R-4, Residential Detached House 4	Single Family Detached
WEST:	R-4, Residential Detached House 4	Single Family Detached

PROPERTY INFORMATION- SOUTH CAMPUS

EXISTING ZONING: R-4, Residential Detached House 4
EXISTING LAND USE: Religious Assembly and Offices

PROPERTY SIZE: 116,900 square feet (2.68 acres)
PINS: 09-08-222-001, -002, -003, -004, -005, -006, -007, -008, -018, -022, -024 & -025

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	R-4, Residential Detached House 4	Institutional/Public
SOUTH:	R-4, Residential Detached House 4	Institutional/Public Single Family Detached
EAST:	R-4, Residential Detached House 4	Institutional/Public Park/Open Space
WEST:	R-4, Residential Detached House 4	Single Family Detached Single Family Detached Institutional/Public

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Application/Petition for Public Hearing
2. Plats of Survey
3. Project Summary
4. Proposed Site Plan
5. Engineering Plans
6. Architectural Plans
7. Traffic Memorandum
8. Neighborhood Meeting Invitation and Summary
9. 435 Gierz Alley Letter
10. Alley Outreach Documentation

PROJECT DESCRIPTION

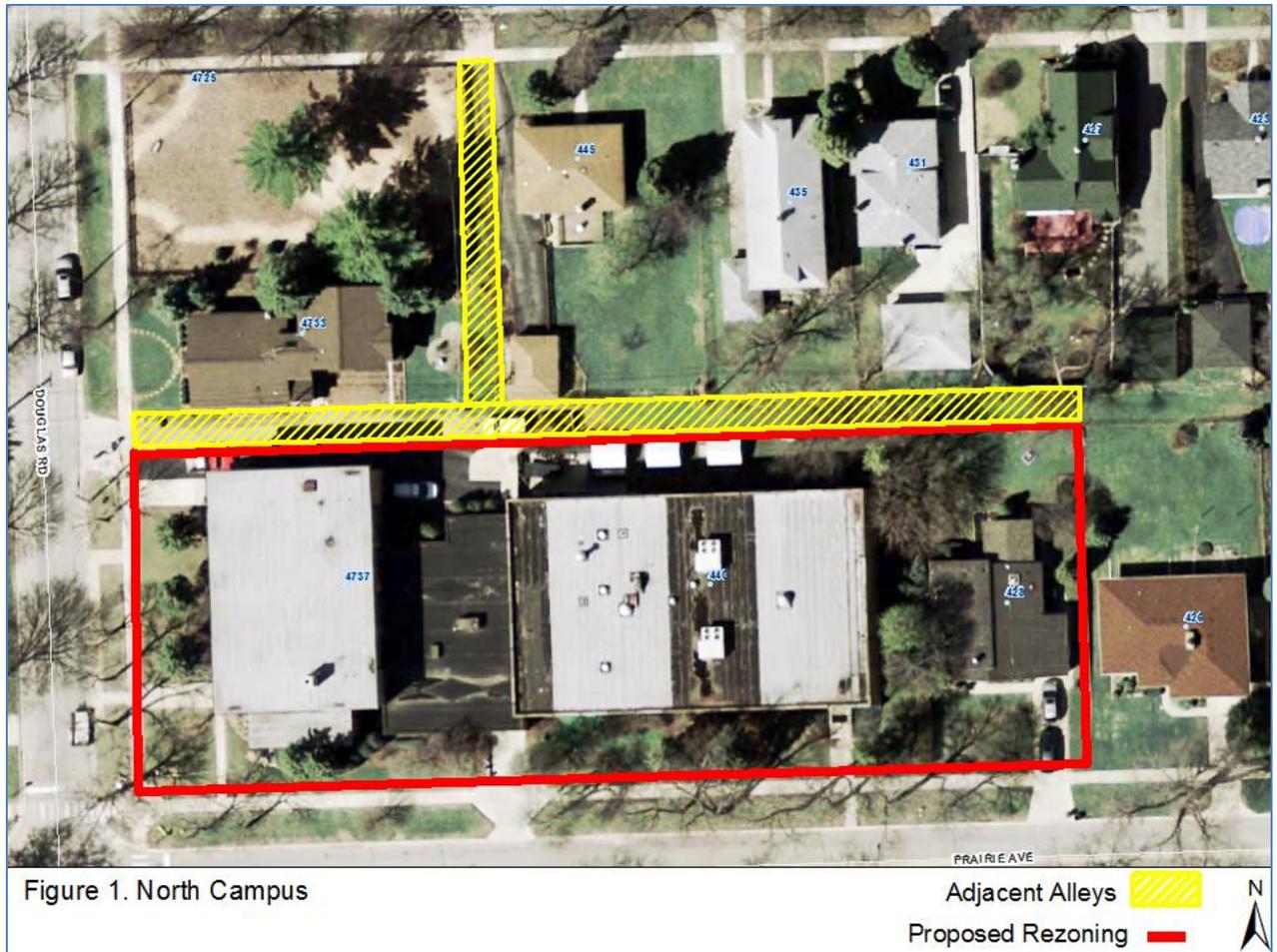
The St. Mary of Gostyn Parish and School (SMG) consists of a school, three residential properties and a vacant lot on the north side of Prairie Avenue between Fairview Avenue and Douglas Road (North Campus) and a church, parking lot and vacant lot on the south side of Prairie Avenue between Fairview Avenue and Douglas Road (South Campus). SMG is proposing to construct a 5,900 square foot addition onto the existing school that would expand the existing activity center to include a full size gymnasium, new entrance, and additional storage spaces.

SMG is requesting the following approvals to facilitate the North campus improvements:

1. A rezoning of both campuses from R-4, Residential Detached House 4 to INP-1, Neighborhood-Scale Institutional and Public District;
2. Special Use with Variations to construct the school gymnasium addition on the North Campus; and
3. A Plat of Vacation to vacate right-of-ways (alleys) adjacent to both campuses.

North Campus

The North Campus, consisting of the existing private school, the adjacent school-owned single-family home at 428 Prairie Avenue, and two alleys, is shown in the reference map in Figure 1:



The proposed school addition will extend the school’s footprint to the east to include the property at 428 Prairie Avenue. This will expand the activity center of the school with added handicap accessibility, another entrance, multi-purpose/dining space, gymnasium and storage. The proposed expansion will not result in additional students and with site circulation remaining the same, no traffic study was required. The expanded gymnasium and new entrance will be mainly used after-hours for sporting events.

The addition will be placed so that it will meet the street setback along Prairie Avenue and the rear (east setback). Based on the location of the proposed addition, the petitioner is requesting the following variations:

1. A side yard setback variation along the north property line. The one-story section of the addition is proposed to be located adjacent to the existing east-west alley. Assuming this alley is vacated, the required setback would be 13.2 feet and petitioner is providing 7 feet.
2. A street yard setback variation for architectural features, including wing walls, a canopy and roof overhangs. The required setback is 23 feet and the petitioner is providing 19.78 feet.
3. An elevated patio area between the handicap ramp and the front wall. The required setback is 20 feet and the petitioner is providing 17.47 feet.

Foundation landscaping and entranceway planters are proposed. Additional landscape screening is shown to the north of the addition. The building material consists mostly of masonry and will match the existing facades. Storefront and curtainwall systems are present throughout the second-story. The main addition is approximately 30 feet in height, and the one-story portion is approximately 18 feet in height at its tallest point (north-east corner).

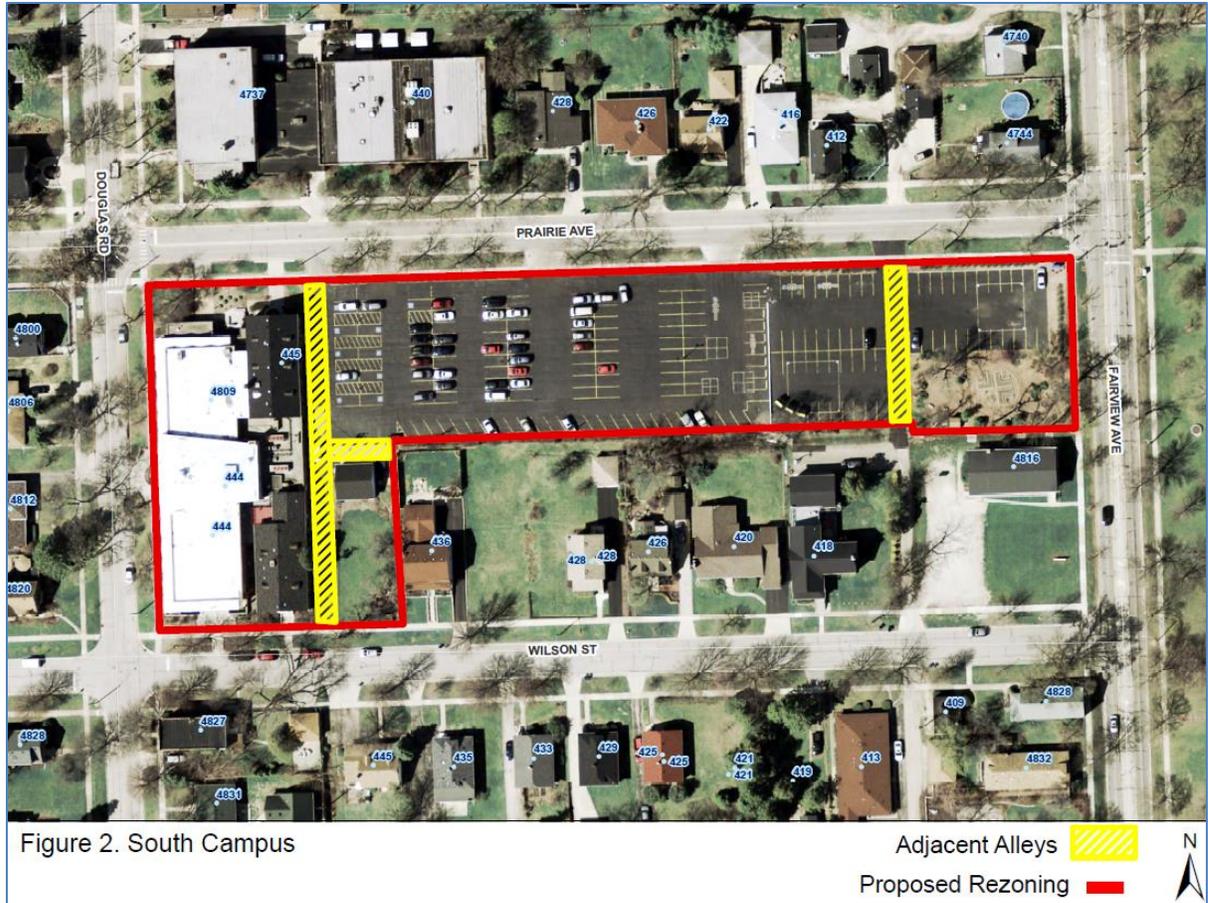
The petitioner is requesting the east-west alley be vacated to facilitate the school addition. The north-south alley is proposed to be vacated because the adjacent 445 Gierz Street driveway currently utilizes the alley for its driveway. The two alleys proposed to be vacated by the petitioner are summarized in the below table:

North Campus Alleys	Dimensions	Total Area	Petitioner Adjacent Properties	Non-petitioner Adjacent Properties
East – West Alley	14 ft. by 347 ft.	4,858 sq. ft.	4733 Douglas 4737 Douglas 445 Gierz 428 Prairie 440 Prairie	427 Gierz 431 Gierz 435 Gierz
North – South Alley	14 ft. by 125 ft.	1,750 sq. ft.	4733 Douglas 445 Gierz Vacant park lot	N/A

The rezoning request is only for the school properties along Prairie Avenue. Properties along Douglas and Gierz may be eventually sold or not used for church purposes and are not included, but the adjacent vacated alleys would be distributed to them. The proposed INP-1 designation is intended for small, institutional scale developments that abut residentially zoned properties.

South Campus

The South Campus is made up of the existing church, parking lot, open space/park areas and a detached garage as shown below in Figure 2's reference map:



There are no physical changes proposed for the south campus and the uses would remain the same. The underlying zoning would change from R-4 to INP-1. By rezoning both the north and south campus, the property would follow the Future Land Use Plan. The alleys to be vacated are adjacent to petitioner owned properties and are used exclusively by the petitioner for access to their parking areas.

The table below summarizes the vacation request:

North Campus Alleys	Dimensions	Total Area	Petitioner Adjacent Properties	Non-petitioner Adjacent Properties
East – West Alley	14 ft. by 50.3 ft.	700.42 sq. ft.	Parking Lot Detached Garage lot	N/A
E. North – South Alley	14 ft. by 125.27 ft.	1,753.78 sq. ft.	Parking lot Park Area	N/A
W. North-South Alley	14 ft. by 264.46 ft.	3,702.44 sq. ft.	4809 Douglas 445 Prairie 444 Wilson Parking lot Detached Garage lot	N/A

Alley Vacations

The petitioner has requested that a total of 12,764.64 square-feet be vacated. The owners of 435 Gierz Street have provided written consent subject to purchasing half of the alley that abuts their property. No

other adjacent property owners have requested the portion of the alley adjacent to their property by the north campus's east-west alley.

Per the Village's Right-of-Way Vacation Policy (Resolution #2003-58), staff contacted the utility companies, outside public agencies and other Village departments to determine if any rights to the public right-of-ways should be retained. The utility providers and the Village do not object to the vacation of the right-of-ways as long as a public drainage, utility and access easements are retained along the entire width and length of the alleys. The easements will provide adequate space for any future utility needs. A public drainage, utility and utility access easement will be retained over all sections of the vacated alleys as shown on the plat of vacation.

COMPLIANCE WITH COMPREHENSIVE PLAN

The existing church, private school, and accessory parking are institutional uses. A goal of the comprehensive plan is for the Village to support the continued operation and improvement of schools while mitigating negative impacts on the adjacent residential area. Another goal is to ensure the provision of high-quality public facilities, including educational facilities, for all residents of the Village. The rezoning request would bring the entire campus up to meet Future Land Use Plan.

COMPLIANCE WITH ZONING ORDINANCE

The subject property is proposed to be rezoned INP-1. The Special Use is required due to the proposed increase in building coverage and decrease in open space. Per Section 4.020.B.3 of the Zoning Ordinance, buildings and structures in the INP-1 district shall follow the setbacks of the most restrictive abutting zoning district. The R-4, Residential Detached House 4 zoning designation is the most restrictive abutting zoning district. The proposed bulk requirements for the school addition are summarized below:

School Addition	Required	Proposed
South Setback (Street Yard)	25 ft.	25.02 ft.
Arch. Building Features	23 ft.	19.78 ft.*
Entranceway Patio	20 ft.	17.47 ft.*
East Setback (Rear Yard)	20 ft.	20 ft.
North Setback (Interior Side Yard)	13.2 ft.	7 ft.*
Height (street elevation)	35 ft.	30 ft.
Building Coverage	40%	31.45%

***Indicates variation**

The petitioner is proposing building mounted lighting that meets the Zoning Ordinance requirements. Additional parking is not required because the proposed addition will not result in an increase in enrollment.

ENGINEERING/PUBLIC IMPROVEMENTS

Post Construction Best Management Practices are required because the total impervious area will increase by approximately 7,676 square feet. An infiltration basin for the new impervious areas will be located to the south of the addition and will tie into the existing storm water sewer located in the alley north of the existing school. All improvements will comply with the provisions of the Stormwater Ordinance. New internal pedestrian connections with adjacent public sidewalks are depicted on the site plan. There are no other public improvements proposed.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division has reviewed the proposed plans and has adequate access to the proposed building. The proposed addition will be fully sprinkled and equipped with a manual and automatic fire alarm system.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property lines in addition to posting the public hearing notice signs and publishing the legal notice in Enterprise Newspapers, Inc. (The Bugle). Staff has not received any neighborhood comments/inquiries regarding the proposal at this time.

As required by the Zoning Ordinance for a Rezoning petition, the petitioner held an onsite neighborhood meeting on Wednesday, July 18, 2018. General questions were asked about the applicant's future plans, the incorporation and function of the alleys and traffic impact. A summary of the meeting is attached.

The petitioner has been in communication with the neighbors on Gierz Street (427-435) adjacent to the east-west alley to the north of the school and proposed addition. The neighbor at 435 Gierz Street has formally requested their half of the alley. Staff has not received any other requests regarding this alley, and documentation detailing outreach efforts is attached.

STANDARDS OF APPROVAL

The petitioner is requesting approval of the following items: 1) Rezoning from R-4, Residential Detached House 4 to INP-1, Neighborhood-Scale Institutional and Public District; 2) Special Use with Variations to construct a school gymnasium; and 3) A Plat of Vacation for adjacent right-of-ways (alleys). The review and approval criterion for each request is listed below.

The petitioner has submitted a narrative that attempts to address all the standards of approval. The Plan Commission should consider the petitioner's documentation, the staff report and the discussion at the Plan Commission meeting in determining whether the standards for approval have been met.

Section 12.030.I. Zoning Map Amendment Review and Approval Criteria

The decision to amend the zoning map is a matter of legislative discretion that is not controlled by any single standard. In making recommendations and decisions about zoning map amendments, review and decision-making bodies must consider at least the following factors:

1. *The existing use and zoning of nearby property.*
2. *The extent to which the particular zoning restrictions affect property values.*
3. *The extent to which any diminution in property value is offset by an increase in the public health, safety and welfare.*
4. *The suitability of the subject property for the zoned purposes.*
5. *The length of time that the subject property has been vacant as zoned, considering the context of land development in the vicinity.*
6. *The value to the community of the proposed use.*
7. *The comprehensive plan.*

Section 28.12.050.H Special Use Approval Criteria

No special use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:

1. *That the proposed use is expressly authorized as a Special Use in the district in which it is to be located.*
2. *That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*
3. *That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.*

Section 28.12.090.G Variance Approval Criteria

Variations require evaluation per Section 28.12.090 of the Municipal Code, *Standards and Review Criteria*: “No variation may be approved unless the variation to be approved is consistent with the spirit and intent of this zoning ordinance and that strict compliance with the subject provisions would result in practical difficulties or particular hardships for the subject property owner. The consideration of whether a variation request has met the standards of practical difficulties or particular hardships must include all of the following findings from the evidence presented:”

1. *The subject property cannot yield a reasonable return if required to comply with the regulations that apply to it.*
2. *The plight of the owner is due to unique circumstances.*
3. *The variation, if granted, will not alter the essential character of the locality.*
4. *That the particular physical surroundings, shape, or topographical conditions of the subject property would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.*
5. *That the conditions leading to the need of the requested variation are not applicable, generally, to other properties within the same zoning classification.*
6. *That the alleged difficulty or hardship was not created by the current property owner.*
7. *That the proposed variation will not impair an adequate supply of air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety, or substantially diminish or impair property values within the neighborhood.*
8. *That the proposed variation will not alter the essential character of the area.*
9. *That the granting of the variation will not confer on the subject property owner any special privilege that is not available to other properties or structures in the same district.*

Compliance with the Procedure to be followed in the Vacation of Streets, Alleys, and Public Rights-of-Way (Resolution #2003-58)

The Village’s alley vacation policy asks the following questions when it comes to determining if an alley can be vacated. The combined square-footage of the proposed vacated alleys is 12,764.64 square feet. The Village Council is solely responsible for determining the amount and type of compensation, if any. These questions are listed below:

1. *Is there written consent of at least two property owners who abut the proposed parcel to be vacated?*
2. *Whether the Parcel or portion thereof, is no longer necessary for public use and whether the public interest will be served by such vacation request.*
3. *Whether the Parcel or portion thereof, should be vacated and whether public utility easements and any ingress-egress easements are to be maintained.*
4. *The amount and type of compensation, if any, to be required as a condition to the effectiveness of the vacation of the parcel.*

DRAFT MOTION

Staff will provide a recommendation at the October 1, 2018 meeting. Should the Plan Commission find that the requests meets the standards of approval for a Rezoning, Special Use with Variations and Alley Vacations, staff has prepared a draft motion that the Plan Commission may make for the approval of 18-PLC-0023:

Based on the petitioner's submittal, the staff report and the testimony presented, I find that the petitioner has met the standards of approval for a Rezoning, Special Use, Variations and Alley Vacations as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 18-PLC-0023, subject to the following conditions:

1. The Rezoning, Special Use with Variations and alley vacations shall substantially conform to the staff report dated October 1, 2018, the drawings prepared by DLA Architects, Ltd. dated August 31, 2018, and engineering and landscape drawings prepared by W-T Civil Engineering, LLC dated September 19, 2019, except as such plans may be modified to conform to Village Codes and Ordinances.
2. An administrative lot consolidation of the lots being rezoned shall be completed prior to the issuance of a building permit.
3. The addition shall be equipped with an automatic suppression and an automatic and manual fire alarm system.
4. All proposed signage shall comply with the sign regulations.
5. A hold harmless agreement indemnifying the Village for the addition to encroach past the 35' private building setback line per the Plat of Consolidation.

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development

SP:sw
-att

P:\P&CD\PROJECTS\PLAN COMMISSION\2018 PC Petition Files\18-PLC-0023 - St. Mary's Addition-Rezoning, Special Use, Alley Vacation\18-PLC-0023 Staff Report.docx



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • est. 1891

August 9, 2018

Stan Popovich, AICP
c/o Community Development
801 Burlington Avenue
Downers Grove, IL 60515

Dear Mr. Popovich,

St. Mary of Gostyn Church is requesting consideration for the following changes to our campus:

1. Rezoning our properties at 444 Wilson, 4809 Douglas, 445 Prairie, 440 Prairie, 428 Prairie and 4806 Fairview from R-4, Residential Detached House 4 to INP-1, Neighborhood-Scale Institutional and Public District. This will better align our zoning with the ultimate uses of the campus.
2. We are asking that these properties, separated by Prairie Avenue, be consolidated into two lots, with one designated as our "Church" and one designated as our "School". The lots to be considered are designated on the enclosed plat of consolidation.

We are asking to maintain our 4744 Douglas, 4733 Douglas, and 445 Gierz properties with their current zoning and current designated lot assignments, as separate properties, pending future plans for their potential sale.

3. Vacation of the alleys adjacent to and within these properties to St. Mary of Gostyn Parish. These applicable alleys are designated on the enclosed plat of vacation.

This is a recommendation to St. Marys from the Village of Downers Grove, given the locations of these alleys within our current properties. Also, the vacation, specifically, of half of the alley north of our current school/gym property will allow both northern and eastern expansion of the current building, making it possible to add the desired additional square footage for this project.

Respectfully submitted,

Reverend James A. Schwab
Pastor



September 19, 2018

Stan Popovic, AICP
c/o Community Development
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

Dear Mr. Popovich:

Saint Mary of Gostyn Catholic School
Activity Center Expansion
DLA Project No. 2018.41

DLA Architects, Ltd., on behalf of Saint Mary of Gostyn Catholic Parish, is requesting the following of the Village Plan Commission:

1. Special Use of the properties at 428 & 440 Prairie Avenue.

A request is being made to update the special use at 440 Prairie Avenue to allow for construction of an expansion to the activity center of Saint Mary of Gostyn Catholic School. The addition, which will reach onto the Parish-owned property at 428 Prairie, will be 5,900 SF and add handicap accessibility, an after-hours public entrance, a multi-purpose/dining space, an expanded gymnasium, and storage. The project will not increase enrollment.

2. Building setback variance of the properties at 428 & 440 Prairie Avenue.

A request is being made for multiple variances to the building setback for the Activity Center Expansion and those requests are outlined below.

Variance #1 – To reduce the side yard setback along the north property line from 13'-2" to 7'-0". This would allow for construction of a one-story storage room(s) volume between the existing building and the alley directly north of the gymnasium addition. It must be noted that the above information assumes vacation of the south half of the alley to Saint Mary of Gostyn. The Parish is only able to receive half the alley which makes the setback variance request necessary in order to provide for the proper size and clearance of athletic courts inside the gymnasium portion of the addition. The current use of the facility and many of the setbacks for the property being worked within for the design are existing which makes meeting the required sizes for the gym and associated spaces/uses impossible. The existing courts are not regulation size for the student age attending the school and, even at a smaller size, clearance between the courts and walls does not meet industry standards creating a space that presents a potential hazard to users. An existing storm water vault and storm



water line north of the existing gymnasium does not allow for placement of the storage volume directly north of the existing building, which would fit within the prescribed side yard setback. Instead, the larger courts, coupled with proper clearance, and the storm water vault, do not allow for adequate storage space within the boundaries established by the current zoning setbacks, necessitating the construction of the one-story storage addition described.

Variance #2 – To allow for construction of architectural features within the setback along Prairie Avenue. Three wing walls extend into the setback 5'-2" and a raised concrete patio space extends 8'-0" into the setback. The wing walls hold a canopy and roof overhang as part of a shading system to allow as much natural light into the activity center and gymnasium spaces while reducing potential glare in an effort to provide the most sustainable environment for occupants and lower operating costs and HVAC system sizes. The wing walls align with portions of the existing building that do not meet the setback requirements but have, presumably, been grandfathered in. The patio serves three purposes, acting as a security buffer between the public way and the glass curtain wall of the activity center, providing relief from the face of the curtain wall for installation of the ADA ramp so as to avoid interference conditions with rails and window framing, and finally as "front porch" for the building, again in an attempt to break down the scale and fit within the neighborhood context. The building proper will meet the current setback requirements.

If you have any questions or need additional information please contact me at 847.742.4063.

Sincerely,

A handwritten signature in black ink, appearing to read 'Brian Scully', written in a cursive style.

Brian Scully, AIA
Project Architect, Parishioner

c Terri O'Dekirk, Parish Manager/Development Director,
St. Mary of Gostyn Catholic Parish



**Project Narrative
Saint Mary of Gostyn Catholic School
East Wing Expansion**

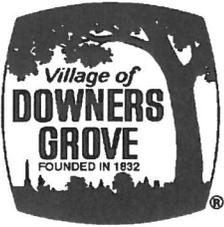
Saint Mary of Gostyn Parish intends to improve the east portion of its lot at 440 Prairie Avenue and the adjacent lot at 428 Prairie Avenue in Downers Grove, IL in order to expand the existing Saint Mary of Gostyn Catholic School. The improvements include razing the existing house on the 428 lot in order to accommodate expansion of the school building. Further improvements include a 5,900 SF addition with corresponding stormwater detention work to comply with the DuPage County Stormwater and Flood Plain Ordinance.

St. Mary's occupies numerous contiguous individual lots which equal approximately 3.02 acres. The new building addition is being proposed on a 1-acre piece of that property north of Prairie Avenue. The property consists of the existing parish school and a residence that is owned by church. The project is located in a residential neighborhood at the intersection of Prairie Avenue and Douglas Road.

There have been multiple additions made to the church campus site since it was built. Most notably are the 1977 building addition, 1993 parking lot addition, and the 2000 building addition. 5,880 cubic feet of detention were provided in a 8' wide, by 7' high, by 105' long concrete chamber located along the north property line for the 1977 addition. The parking lot addition was designed and built according to the 1992 DuPage County Stormwater and Flood Control Ordinance. The 2000 building addition took advantage of 435 cubic feet that was extra from the 1977 building addition. The rest of the detention is located in an 8' wide, by 18' long, by 3' high concrete chamber constructed on top of the existing chamber.

Based on Article 15-72.A.1 of the DuPage County Stormwater and Flood Plain Ordinance, as the proposed development will not create 25,000 sq. ft. of additional impervious area versus the February 15, 1992 condition and the previous improvement have provided detention, this project will be exempt from providing stormwater runoff storage.

However, per the DuPage County Stormwater and Flood Plain Ordinance, Article 15-63.A.1, a Post Construction BMP will be required for this development, as it will create more than 2,500 sq. ft. of new impervious area. A total of 7,676 square feet of impervious area will be constructed as part of this project, which equates to a required infiltration volume of 800 cubic feet (1.25" x 7,676 square feet). Infiltration of 1.25" for all new impervious surfaces will be provided in an 8-foot wide by 60-foot long by 5-foot deep infiltration basin located south of the new addition.



Review and Approval Criteria
ZONING MAP AMENDMENTS

Plan Commission Number & Title: _____

A DETAILED RESPONSE TO ALL OF THE STANDARDS SHALL BE PROVIDED, SPECIFYING HOW EACH STANDARD IS OR IS NOT MET.

Section 28.12.030.I. Review and Approval Criteria (Zoning Map Amendments - Rezoning)

The decision to amend the zoning map is a matter of legislative discretion that is not controlled by any single standard. In making recommendations and decisions about zoning map amendments, review and decision making bodies must consider at least the following factors.

(1) *The existing uses and zoning of nearby property.*

St. Mary of Gostyn School and Church are located within a residential neighborhood to the north, south and west of the properties and Hummer Park, a Downers Grove Park District property to the east. To the far south east corner of the Church property sits Calvary Church. +

(2) *The extent to which the particular zoning restrictions affect property values.*

Re-zoning of this property will not change the property values within the area.

(3) *The extent to which any diminution in property value is offset by an increase in the public health, safety and welfare.*

No changes will occur to property values in the area.

(4) *The suitability of the subject property for the zoned purposes.*

INP-1 designation is intended for small, public, civic and institutional scale developments that reside in residential neighborhoods. As a Not for Profit institution, within a residential area, this designation is appropriate.

(5) *The length of time that the subject property has been vacant as zoned, considering the context of land development in the vicinity.*

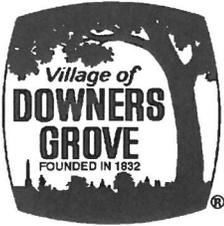
N/A

(6) *The value to the community of the proposed use.*

The existing church, private school and parking are all institutional uses. As such, the INP-1 designation better defines the ultimate use of the property.

(7) *The Comprehensive Plan.*

A goal of the Plan is for the Village to support the continued operation and improvement of schools while mitigating negative impacts on the adjacent residential area. The Future Land Use Map already shows the proposed rezoned properties as Institutional/Public Land Use, so use of this land as religious assembly and private school aligns with the Comprehensive Plan. +



Review and Approval Criteria SPECIAL USES

Plan Commission Number & Title: _____

A DETAILED RESPONSE TO ALL OF THE STANDARDS SHALL BE PROVIDED, SPECIFYING HOW EACH STANDARD IS OR IS NOT MET.

Section 28.12.050.H Approval Criteria (Special Uses)

No special use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:

1. *That the proposed use is expressly authorized as a Special Use in the district in which it is to be located.*

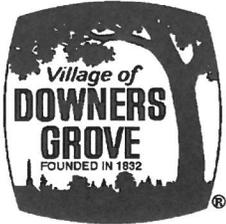
This project is an expansion of our current School facility to add a multi-purpose space for eating, expansion of our current gymnasium to a regulation sized space to accommodate the ages of our students, addition of a new entrance and storage spaces and as such is authorized as a Special Use.

2. *That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.*

This expansion will help improve the security of our facility, provide additional safety for those using the gymnasium, improve the outside appearance of our school both from the north side and the south side. The additional landscaping that will be added to the south and east sides of the building will enhance the facade of the building from the street, contributing to the residential feel of the neighborhood. The expansion will not add any enrollment to the school nor additional traffic in the area.

3. *That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.*

As stated above, this use will not negatively impact safety or welfare of anyone in the area or in the building. It will actually improve the safety and security of those using the building.



Review and Approval Criteria
VARIATIONS (page 1 of 2)

Plan Commission Number & Title: _____

A DETAILED RESPONSE TO ALL OF THE STANDARDS SHALL BE PROVIDED, SPECIFYING HOW EACH STANDARD IS OR IS NOT MET.

Section 28.12.090.G Approval Criteria (Variations)

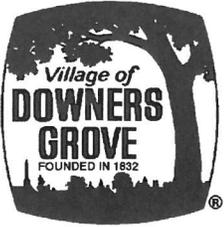
Variations require evaluation per Section 28.12.090 of the Municipal Code, *Standards and Review Criteria*: “No variation may be approved unless the variation to be approved is consistent with the spirit and intent of this zoning ordinance and that strict compliance with the subject provisions would result in practical difficulties or particular hardships for the subject property owner. The consideration of whether a variation request has met the standards of practical difficulties or particular hardships must include all of the following findings from the evidence presented:”

(1) The subject property cannot yield a reasonable return if required to comply with the regulations that apply to it.

See ADDENDUM attached

(2) The plight of the owner is due to unique circumstances.

(3) The variation, if granted, will not alter the essential character of the locality.



Review and Approval Criteria
VARIATIONS (page 2 of 2)

Plan Commission Number & Title: _____

“In addition, the hearing body must also take into consideration the extent to which the following facts, favorable to the property owner, have been established by the evidence:”

- (1) That the particular physical surroundings, shape, or topographical conditions of the subject property would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.*

- (2) That the conditions leading to the need of the requested variation are not applicable, generally, to other properties within the same zoning classification.*

- (3) That the alleged difficulty or hardship was not created by the current property owner.*

- (4) That the proposed variation will not impair an adequate supply of air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety, or substantially diminish or impair property values within the neighborhood.*

- (5) That the proposed variation will not alter the essential character of the area.*

- (6) That the granting of the variation will not confer on the subject property owner any special privilege that is not available to other properties or structures in the same district.*

Variations

1. *The Subject Property cannot yield a reasonable return if required to comply with the regulations that apply to it.*

Variance #1, a reduction of the side yard setback along the north property line from 13'2" to 7'0".

Along with the request for vacation of the south half the alley to the north of our property, this variation will allow for the construction of a one story storage room(s) volume between the existing building and the alley directly north of the gymnasium addition. Several earlier solutions presented to the Village to adequately provide for the storm water requirements had been submitted and rejected, due to an even greater southern yard variance request that the Village Planners were not able to support for this project. Without this request, St. Mary's will not be able to build a regulation size junior high gymnasium in alignment with the ages of the children who attend the school and utilize the gym, as well as provide the appropriate equipment storage spaces necessary for the project, while providing for the adequate storm water storage and drainage systems necessary for the building.

Variance #2, southern side yard setback 5'0" to allow for construction of three wing wall architectural features within the side yard setback.

This request allows for a canopy and roof overhang that serves as part of a shading system to allow natural light into the activity center and gymnasium. This will improve operating costs and HVAC system sizes. These wing walls will align with portions of the existing building which do not meet the setback requirements but presumably have been grandfathered in. Besides the expense savings this feature will allow, this entrance will enhance the ability to serve as main entrance after school hours for the activities within the wing of the school, thus improving the security of the overall building when school is not in session, ie, evenings and weekends when athletic activities are occurring.

2. *The plight of the owner is due to unique circumstances.*

Variance #1. After conversations with the neighbors to the north of our current school and residential properties, we are only able to receive vacation of half of the northern alley due to their expressed interest in the northern half of the alley. The uniqueness of the existing storm water drainage system in place to the north of the building has created a need to look at several options of how to fit the appropriate needs for storm water drainage into the remaining space once the expansion of the building has been allocated. We have looked at several options for laying the full sized junior high gymnasium floor with the multi-purpose space within the constraints of all three easement allowances on the north, south and east sides of the building. The current option being presented requires the vacation of half of the northern alley behind the school **and** the reduced setback variation to that alley. Its features are included in our submission. The design of the structure will house the appropriate storm water system as well as the space requirements necessary for expansion of the gymnasium and addition of the multi-purpose room.

3. *The variation, if granted, will not alter the essential character of the locality.*

Variation #1. The alley north of the school currently is primarily a utility alley and already handles the water drainage for the area. Construction will not change the existing storm water vault, so it will not "look" different to the neighborhood and an addition to the system to the south of the building will handle the increased water requirements for the new building. The included window features and landscaping that will accompany this renovation will actually enhance the look of the property to the northern neighbors. We will be removing the current storage sheds to the north of the building as the structure will be able to accommodate the items currently stored there.

Variation #2. The variance to the south will allow a beautiful enhancement to the front of what is currently a solid brick portion of the building by adding glass and the wing walls to break up the facade.

The entire building will be no taller than some of the neighboring homes nor will this variation be less than the setback of the current homes in the area.

4. ***That the particular physical surroundings, shape, or topographical conditions the subject property would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.***

Variance #1. The space necessary to meet all the needs of this project is very tight. Without this variance, we will have to forfeit the equipment storage that is necessary for the building and/or not be able to expand the gymnasium to regulation size.

Variance #2. Structural options for this space would be less aesthetically appealing with less protection from the elements, causing more wear and tear on the interior space for the structure.

5. ***That the conditions leading to the need of the requested variation are not applicable, generally, to other properties within the same zoning classification.***

Variance #1. Since the alley is only able to be used for utilities, this should not impact the current usage of the alley around us. The setback request would allow for the increased space to house the enlarged gym and the storage spaces required. The other units in the area are residential properties, which makes our variation request unique.

Variance #2. We will be within the same setbacks of the neighbors in the area with only an architectural feature needing the variance.

6. ***That the alleged difficulty or hardship was not created by the current property owner.***

Variance #1. There is no particular difficulty or hardship associated with the property that has resulted from the actions of the owner.

Variance #2. St. Mary's was presumably given this variance before or was grandfathered into a prior standard for its current building. We are asking that this same variance be granted for this project.

7. ***That the proposed variation will not impair an adequate supply of air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety, or substantially diminish or impair property values within the neighborhood.***

Variance #1. Will not impact supply of air to adjacent property, increase danger of fire, or endanger public safety. If anything, it improves the view from the north side of our building by providing much needed storage area and removal of the current storage sheds north of our current building. This plan was reviewed by the Fire Department during preliminary meetings and they determined that there was adequate access to the building in case of fire. The addition will also be fully sprinkled and equipped with manual and automatic fire alarms.

Variance #2. Same as above.

8. ***That the proposed variation will not alter the essential character of the area.***

Variance #1. This request will enhance the view of the northern neighbors by removing storage sheds currently housed behind the school. Storage will now be provided within the building.

Variance #2. This request will not alter the character of the area as the setback is aligned with other current parts of the building and is not less than the current setbacks of the homes on the street. The additional of the architectural feature in this variance adds a more residential feel to the south side of the building, more in keeping with the neighborhood.

9. ***That the granting of the variation will not confer on the subject property owner any special privilege that is not available to other properties or structures in the same district.***

Variation #1. If this request is granted it will not confer a special privilege to St. Marys as there are physical hardships and unique circumstances associated with this property that are not common with the properties found in the same zoning area.

Variation #2. Same as above.

PLAT OF SURVEY

BY
GENTILE AND ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

550 E. ST. CHARLES PLACE
LOMBARD, ILLINOIS 60148
PHONE : (630) 916-6262

GRAPHIC SCALE

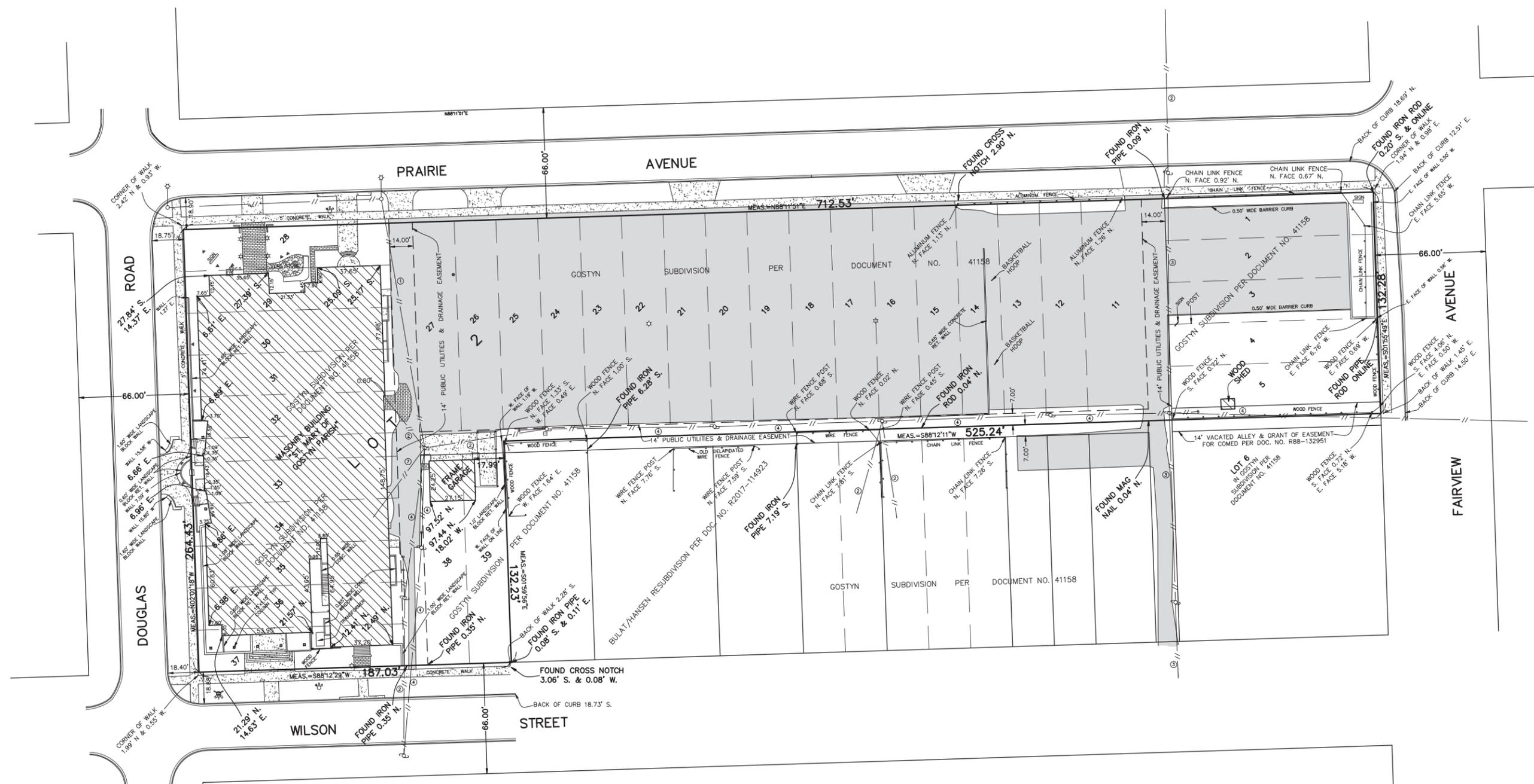


(IN FEET)
1 inch = 30 ft.

LOT 2 IN ST. MARY OF GOSTYN PARISH PLAT OF CONSOLIDATION BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



- LEGEND**
- ⊙ OVERHEAD WIRES (# OF WIRES)
 - ☆ DECORATIVE LIGHT
 - UTILITY POLE
 - ★ LIGHT POLE
 - SIGN POST
 - ▲ FLOOD LIGHT
 - ⊙ c.o. CLEANOUT
 - ⊙ FIRE HYDRANT
 - ⊙ WATER SERVICE SHUTOFF VALVE
 - ⊙ WATER SHUTOFF VALVE WITH 8" CASING
 - ⊙ GAS SERVICE SHUTOFF VALVE
 - BOLLARD
 - ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - PAVERS



BASE SCALE : 1 INCH = 30 FEET
 DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF
 ORDERED BY : ST. MARY OF GOSTYN PARISH
 DRAWN BY : MMG
 CHECKED BY :
 SURVEYED BY : LR-RG
 COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE. FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT DEED, CONTRACT AND ZONING ORDINANCE.
 ORDER NO. 17-20860-18 PLAT
 DOUGLAS RD. & PRAIRIE AVE., DOWNERS GROVE, ILLINOIS.

STATE OF ILLINOIS S.S.
 COUNTY OF DuPAGE
 WE, GENTILE AND ASSOCIATES, INC., HEREBY CERTIFY THAT A SURVEY HAS BEEN MADE AT AND UNDER MY DIRECTION, OF THE PROPERTY DESCRIBED ABOVE, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PLAT CONFORMS TO THE MINIMUM STANDARD REQUIREMENTS FOR A BOUNDARY SURVEY.
 MAY 15, A.D. 2018
 BY :
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925
 MY LICENSE EXPIRES NOVEMBER 30, 2018
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002870

BOUNDARY AND TOPOGRAPHIC SURVEY

BY
GENTILE AND ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

550 E. ST. CHARLES PLACE
LOMBARD, ILLINOIS 60149
PHONE : (630) 916-6262

P.I.N.: 09-08-221-001
-002
-014
-015
-016
-027
-028
-029

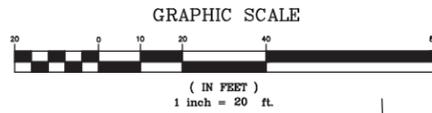
LEGAL DESCRIPTION:

LOTS 25 TO 43 (INCLUSIVE) TOGETHER WITH THE VACATED NORTH/SOUTH ALLEY LYING EAST OF LOTS 33 TO 37 AND WEST OF LOT 38 IN BLOCK 4 IN GOSTYN SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

ALSO
LOT 2 IN J.G. SKALA RESUBDIVISION OF LOTS 44 TO 48 (INCLUSIVE) IN BLOCK 4 IN GOSTYN SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 729984, IN DUPAGE COUNTY, ILLINOIS.

TOTAL AREA: 67,125.09 sq. ft. (1.57 acres)

PROPERTY COMMONLY KNOWN AS: 440 & 428 PRAIRIE AVENUE, DOWNERS GROVE, ILLINOIS
4733 DOUGLAS ROAD, DOWNERS GROVE, ILLINOIS
445 GIERZ AVENUE, DOWNERS GROVE, ILLINOIS



LEGEND

- XX TREE WITH TRUNK DIAM. SIZE
- ⊗ OVERHEAD WIRES (# OF WIRES)
- STORM SEWER
- SANITARY SEWER
- UNDERGROUND ELECTRIC
- GAS MAIN
- WATER MAIN
- XXXX GROUND ELEVATION
- XXXXXX PAVEMENT ELEVATION
- FIN/FL = FINISHED FLOOR ELEVATION
- T/FDN = TOP OF FOUNDATION ELEVATION
- B/SID = BOTTOM OF SIDING (FDN. NOT VISIBLE)
- ⊕ UTILITY POLE
- ☆ LIGHT STANDARD
- SIGN POST
- ◀ FLOOD LIGHT
- ⊙ CLEANOUT
- ⊕ FIRE HYDRANT
- ⊕ WATER SERVICE SHUTOFF VALVE
- ⊕ WATER VALVE VAULT
- ⊕ WELLHEAD
- ⊕ CLOSED COVER DRAINAGE STRUCTURE
- ⊕ OPEN COVER DRAINAGE STRUCTURE
- ⊕ CURB INLET/CATCH BASIN
- ⊕ SANITARY SEWER MANHOLE
- ⊕ WATER SHUTOFF VALVE WITH 6" CASING
- ⊕ GAS SERVICE SHUTOFF VALVE
- BOLLARD

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PAVERS

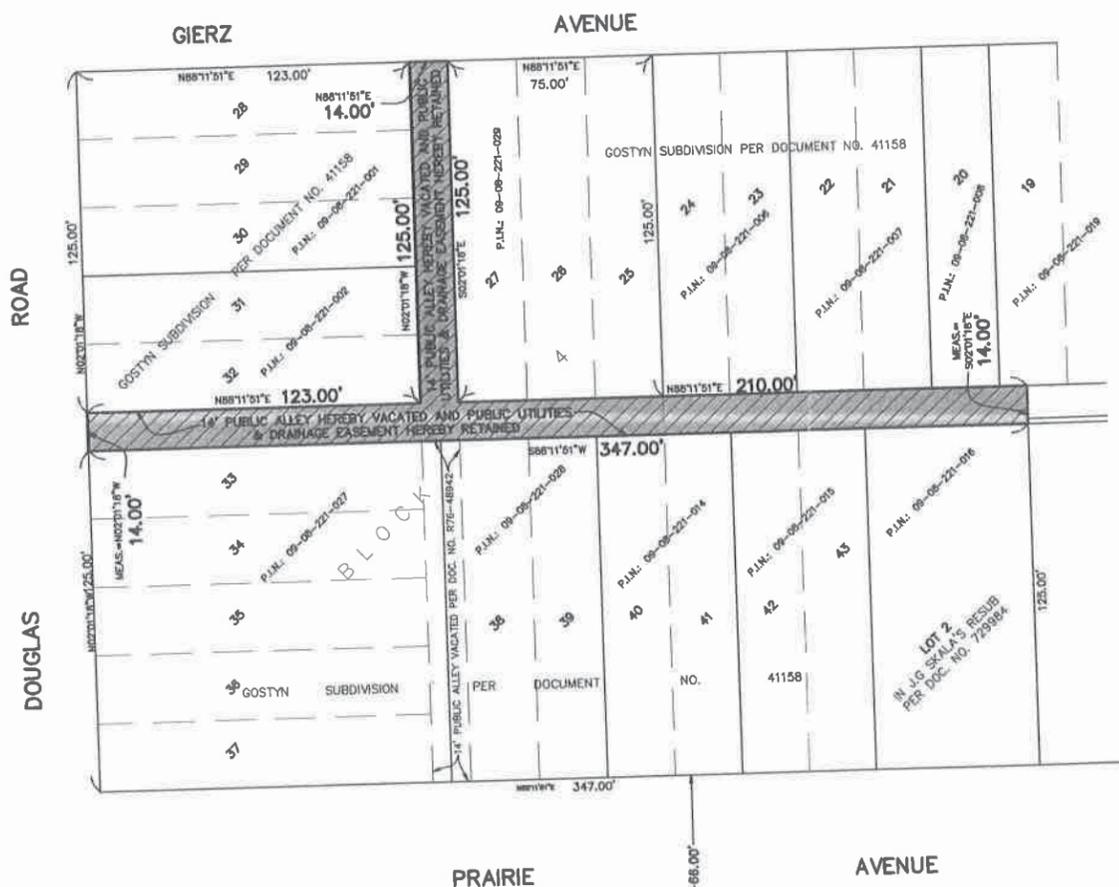
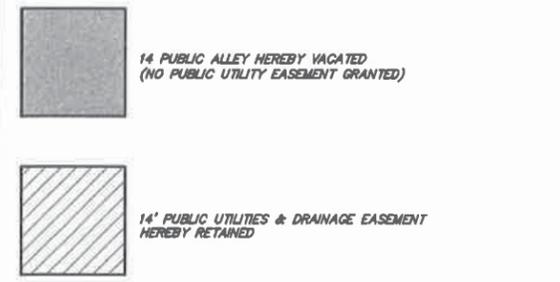
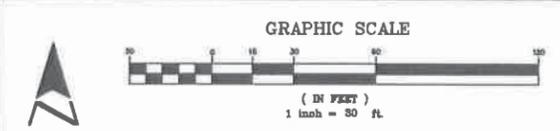
- | | | |
|---|--|---|
| <p>SANITARY SEWER STRUCTURES</p> <ol style="list-style-type: none"> SANITARY SEWER MH
RIM = 744.84
6" RCP N INV=740.14
8" RCP E INV=738.94 SANITARY SEWER MH
RIM = 746.00
8" PVC N INV=738.08
8" PVC S INV=738.08 SANITARY SEWER MH
RIM = 748.72
8" PVC N INV=736.70
8" PVC S INV=736.60 SANITARY SEWER MH
RIM = 747.66
8" PVC E INV=740.66
6" PVC SW INV=741.26 SANITARY SEWER MH
RIM = 740.77
8" RCP E INV=733.57
8" PVC W INV=733.57 | <p>WATER VALVE VAULTS</p> <ol style="list-style-type: none"> WATER VALVE VAULT
RIM = 748.23
4" PVC NW INV=746.83
8" PVC E INV=746.33 WATER VALVE VAULT
RIM = 748.24
8" PVC W INV=745.64
8" PVC E INV=745.64 WATER VALVE VAULT
RIM = 748.30
TOP OF 8" PIPE=743.30 WATER VALVE VAULT
RIM = 748.56
TOP OF 8" PIPE=743.26 WATER VALVE VAULT
RIM = 748.29
TOP OF 8" PIPE=743.19 WATER VALVE VAULT
RIM = 748.10
TOP OF 8" PIPE=742.00 | <p>STORM SEWER STRUCTURES</p> <ol style="list-style-type: none"> CATCH BASIN
RIM = 748.23
4" PVC NW INV=746.83
8" PVC E INV=746.33 CATCH BASIN
RIM = 748.24
8" PVC W INV=745.64
8" PVC E INV=745.64 RESTRICTOR MANHOLE
RIM = 744.18
8" PVC W INV=743.08
10" RCP E INV=735.23
10" RCP E INV=742.03
SW INV NOT ACCESSIBLE
SUMP = 733.03 RISER
FLOW LINE = 747.41
SUMP = 735.41
10" PER REC. NOT ACCESSIBLE BEEHIVE CATCH BASIN
FLOW LINE = 744.00
10" RCP W INV=735.20
10" RCP E INV=735.05 DRAIN
FLOW LINE = 741.79 RISER
RIM = 748.52 |
|---|--|---|

NOTES:
EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE; EASEMENTS OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES, RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE ANY EXCAVATION BEGINS ALL UTILITY COMPANIES SERVING THE PROPERTY SHOULD BE CONTACTED FOR VERIFICATION OF FIELD LOCATION.
BASIS OF BEARING:
ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE.
BENCHMARK: DUPAGE COUNTY BM # DGN09001
STATION IS LOCATED ALONG FAIRVIEW AVENUE ON THE EAST SIDE OF "T" INTERSECTION OF FAIRVIEW AVENUE WITH WILSON STREET. STATION IS 37.0 FEET EAST OF THE CENTERLINE OF FAIRVIEW AVENUE, 63.3 FEET NORTH OF A BRICK SIDEWALK TO A PARK PAVILION, 17.7 FEET NORTHEAST OF A LIGHT POLE, AND 3.5 FEET EAST OF A CONCRETE SIDEWALK ALONG FAIRVIEW AVENUE. MONUMENT IS A ROD WITH ACCESS COVER IN CONCRETE WITH NO STAMPING ON COVER. NOTE: THE STATION IS DISTURBED; ROD TIP HAS BEEN REMOVED.
ELEV. = 733.22 (NAVD 88 DATUM)
SITE BENCHMARK:
CROSS CUR IN CONCRETE WALK ALONG DOUGLAS ROAD, NEAR SOUTHWEST CORNER OF SUBJECT PROPERTY.
ELEV. = 749.04

BASE SCALE : 1 INCH = 20 FEET
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF
ORDERED BY : ST. MARY OF GOSTYN PARISH
DRAWN BY : MMG
CHECKED BY : _____
SURVEYED BY : LR-RG
COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE. FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT DEED, CONTRACT AND ZONING ORDINANCE.
ORDER NO. 17-20860-18 REV 1
DOUGLAS RD. & PRAIRIE AVE., DOWNERS GROVE, ILLINOIS.

NO.	DATE	DESCRIPTION	BY
1	08/03/2018	UNDERGROUND CHAMBER ADDED	MMG

STATE OF ILLINOIS S.S.
COUNTY OF DUPAGE
WE, GENTILE AND ASSOCIATES, INC., HEREBY CERTIFY THAT A SURVEY HAS BEEN MADE AT AND UNDER MY DIRECTION, OF THE PROPERTY DESCRIBED ABOVE, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PLAT CONFORMS TO THE MINIMUM STANDARD REQUIREMENTS FOR A BOUNDARY SURVEY.
NOVEMBER 17, A.D. 2017
BY : _____
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925
MY LICENSE EXPIRES NOVEMBER 30, 2018
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002870



PLAT OF VACATION AND GRANT OF EASEMENT

EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO:
 COMMONWEALTH EDISON COMPANY AND AT&T TELEKOLDFON INCORPORATED, ILLINOIS A.K.A. ILLINOIS BELL TELEPHONE COMPANY, GRANTEE.

THEIR RESPECTIVE LICENSES, SUBSCRIPTIONS AND RIGHTS SHALL BE SEVERALLY TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, SITS, ARCHES, BRACES, CABLES, CONDUITS, MANHOLES, TRANSFORMING, DISTRIBUTION, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SIGNALS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND BARRIED EASEMENT, UTILITY EASEMENT, PUBLIC UTILITY EASEMENT, PUBLIC UTILITY EASEMENT, AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS" AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS WANTED, OR ON ADJACENT LOTS, ARE COMMON AREA OR AREAS. THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVISION PROPERTY FOR ALL SUCH PURPOSES, OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTED FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) BARRIED EASEMENT, UTILITY EASEMENT, PUBLIC UTILITY EASEMENT, PUBLIC UTILITY EASEMENT WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVISION PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT, CHAPTER 765 ICS 600.0/2, AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE OR AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "UTILITY", "COMMON ELEMENTS", "OPEN", "OR OF A 1/4", "OPEN SPACE", "OPEN AREA", "COMMON ELEMENTS", "UNIMPROVED COMMON AREA", "THE TERM "COMMON AREA OR AREAS" SHALL INCLUDE REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL, RETENTION POND OR MECHANICAL EQUIPMENT.

RELOCATION OF FACILITIES WILL BE DONE BY GRANTEE AT COST OF THE GRANTEE/LOT OWNER, UPON WRITTEN REQUEST.

EASEMENT PROVISIONS

An easement for serving the subdivision and other property with electric and communication services is hereby reserved for and granted to:
 Commonwealth Edison Company
 and
 AT&T Telecommunications Company, Grantee.

Their respective licenses, subscriptions and rights shall be severally to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, sits, arches, braces, cables, conduits, manholes, transforming, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, signals and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and bared easement, utility easement, public utility easement, public utility easement, and the property designated on the plat as "common area or areas" and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements wanted, or on adjacent lots, are common area or areas. The right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over granted facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) bared easement, utility easement, public utility easement, public utility easement without the prior written consent of grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "common area or areas" shall have the meaning set forth for such term in the Condominium Property Act, Chapter 765 ICS 600.0/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an appurtenance to the separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "utility", "common element", "open", "or of a 1/4", "open space", "open area", "common element", "unimproved common area", "the term "common area or areas" shall include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, service business district or structures such as a pool, retention pond or mechanical equipment.

Relocation of facilities will be done by grantee at cost of the grantee/lot owner, upon written request.

COUNTY RECORDER'S CERTIFICATE

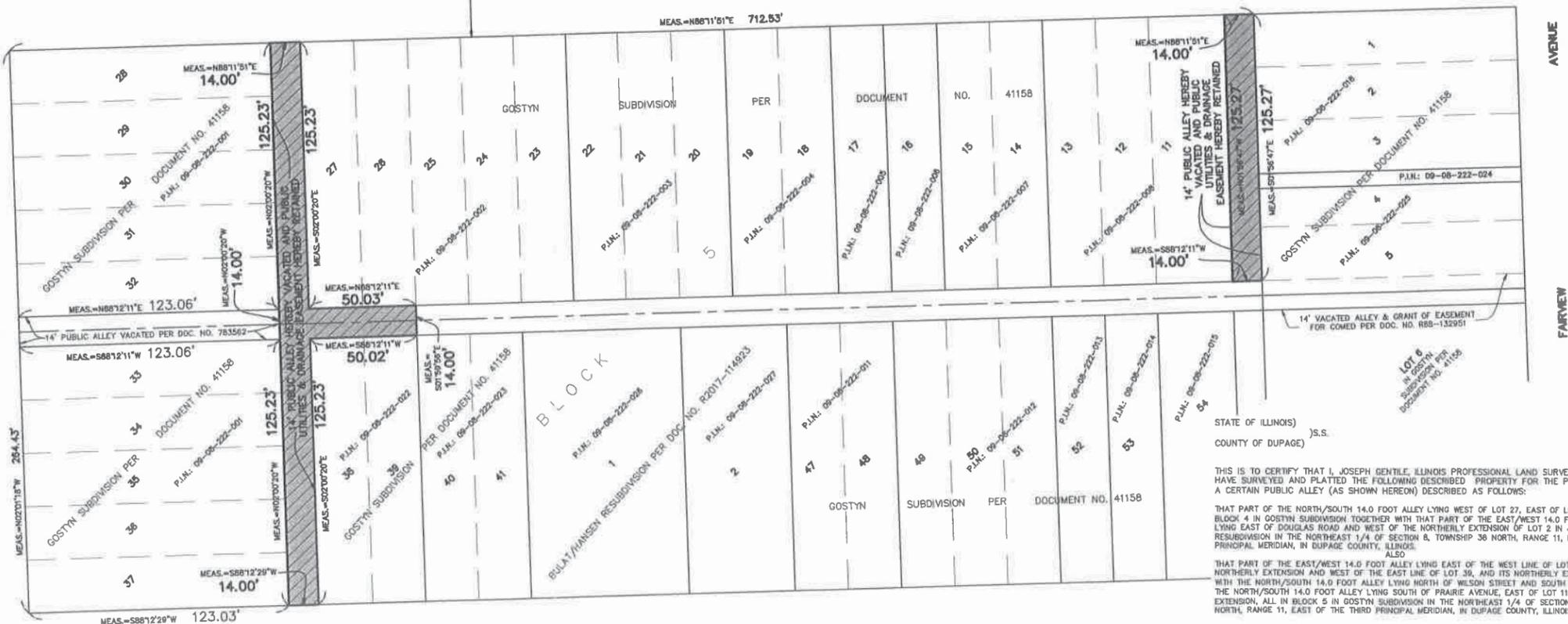
STATE OF ILLINOIS)
 COUNTY OF DUPAGE)
 THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE DAY OF _____ A.D. 20____ AT _____ O'CLOCK _____ M. AS DOCUMENT NUMBER _____

VILLAGE COUNCIL CERTIFICATE

STATE OF ILLINOIS)
 COUNTY OF DUPAGE)
 APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE COUNCIL OF THE VILLAGE OF _____ MAYOR _____ VILLAGE CLERK _____

GENTILE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 850 E. ST. CHARLES PLACE
 LOMBARD, ILLINOIS 60148
 PHONE (630) 918-6262
 FAX (630) 918-6264

PREPARED FOR: ST. MARY OF GOSTYN PARISH
 DRAWN BY: MMG ILLINOIS PROFESSIONAL DESIGN
 ORDER NO.: 20860-18 REV-4 FIRM LICENSE NO. 184.002870



THIS IS TO CERTIFY THAT I, JOSEPH GENTILE, ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 2925, HAVE SURVEYED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY FOR THE PURPOSE OF VACATING A CERTAIN PUBLIC ALLEY (AS SHOWN HEREON) DESCRIBED AS FOLLOWS:

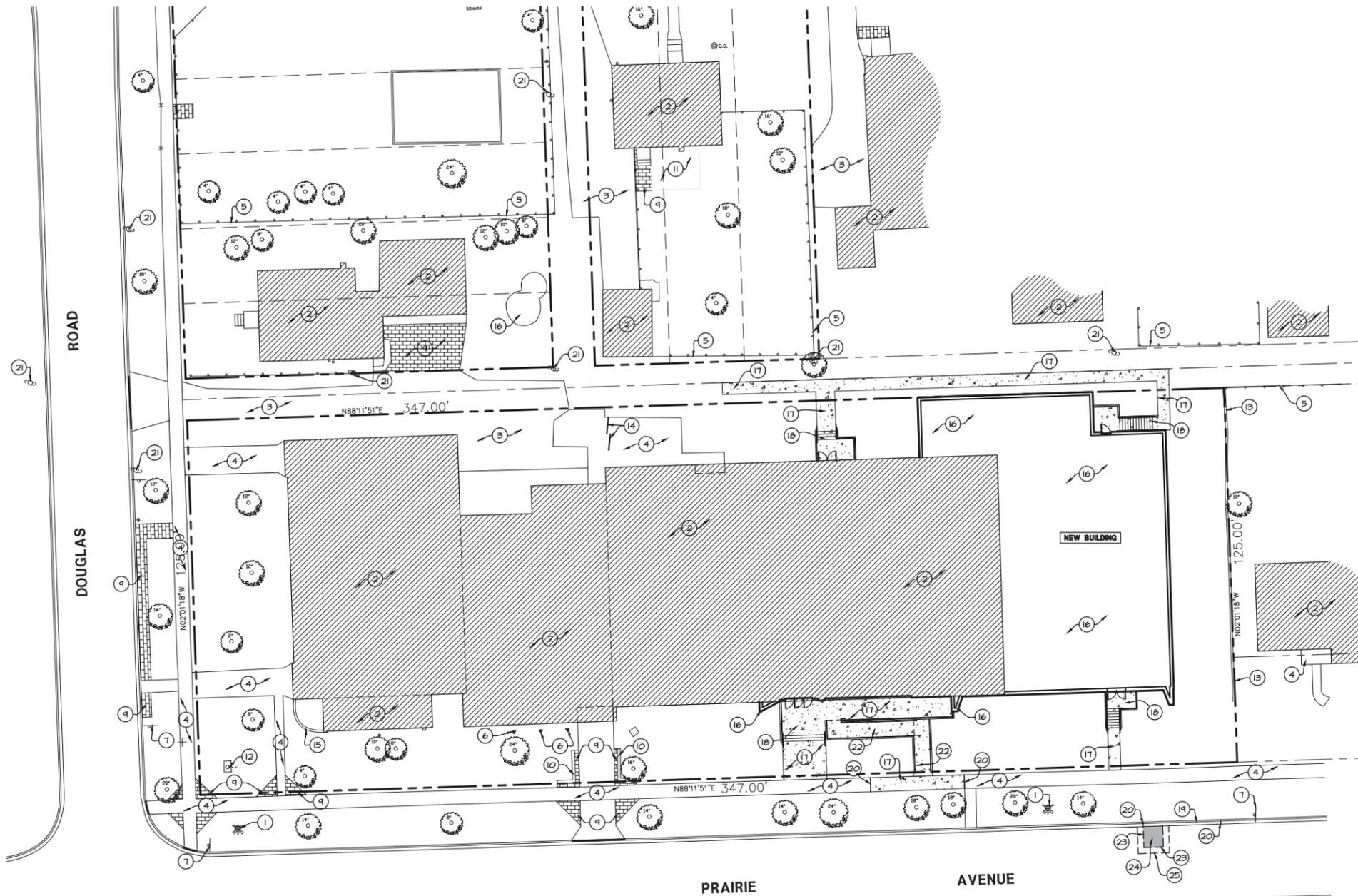
THAT PART OF THE NORTH/SOUTH 14.0 FOOT ALLEY LYING WEST OF LOT 27, EAST OF LOTS 28 THROUGH 32 IN BLOCK 4 IN GOSTYN SUBDIVISION TOGETHER WITH THAT PART OF THE EAST/WEST 14.0 FOOT ALLEY IN BLOCK 4 LYING EAST OF DOUGLAS ROAD AND WEST OF THE NORTHERLY EXTENSION OF LOT 2 IN J.G. SKALA'S RESUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

THAT PART OF THE EAST/WEST 14.0 FOOT ALLEY LYING EAST OF THE WEST LINE OF LOT 36, AND ITS NORTHERLY EXTENSION AND WEST OF THE EAST LINE OF LOT 36, AND ITS NORTHERLY EXTENSION, TOGETHER WITH THE NORTH/SOUTH 14.0 FOOT ALLEY LYING SOUTH OF PRAIRIE AVENUE, EAST OF LOT 11, AND ITS SOUTHERLY EXTENSION, ALL IN BLOCK 5 IN GOSTYN SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

TOTAL VACATED AREA: 12,862.53 sq. ft. (0.29 acres)
 ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D. _____

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925
 MY LICENSE EXPIRES NOVEMBER 30, 2018

NO.	DATE	DESCRIPTION	BY
4	09/11/2018	REVISED PER VILLAGE COMMENTS DATED 08/11/2018	MMG
3	08/24/2018	REVISED PER COMMENTS EMAILED 08/21/2018	MMG
2	06/15/2018	ADD ALLEY VAC. S. OF LOTS 35-37 IN BLK. 4	MMG
1	06/19/2018	REVISED PER EMAIL DATED 06/15/2018	MMG



HATCH LEGEND

- NEW CONCRETE PAVEMENT
- NEW BRICK PAVERS
- NEW GRAVEL PATH
- NEW ASPHALT PAVEMENT

SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 11-17-17, PREPARED BY GENTILE AND ASSOCIATES, INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET.
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPINGS DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.

PROJECT NOTES

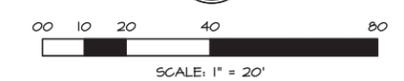
1. EXISTING HYDRANT TO REMAIN.
2. EXISTING BUILDING TO REMAIN.
3. EXISTING ASPHALT PAVEMENT TO REMAIN.
4. EXISTING CONCRETE PAVEMENT TO REMAIN.
5. EXISTING FENCE TO REMAIN.
6. EXISTING FLOOD LIGHTS TO REMAIN.
7. EXISTING SIGN TO REMAIN.
8. EXISTING CURBING TO REMAIN.
9. EXISTING BRICK PAVERS TO REMAIN.
10. EXISTING BLOCK WALL TO REMAIN.
11. EXISTING HOOD DECK TO REMAIN.
12. EXISTING FLAG TO REMAIN.
13. EXISTING CONCRETE WALL TO BE REMAIN.
14. EXISTING GATE TO REMAIN.
15. EXISTING STONE WALL TO REMAIN.
16. NEW BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS.)
17. NEW 6" CONCRETE SIDEWALK.
18. NEW CONCRETE STOOP AND STEPS.
19. NEW 16x12 CONCRETE CURB AND GUTTER.
20. NEW SAWCUT OF EXISTING CONCRETE PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
21. EXISTING UTILITY POLE TO REMAIN.
22. NEW ADA ACCESS RAMP. (SEE ARCHITECTURAL PLANS FOR DETAILS.)
23. NEW SAWCUT OF EXISTING ASPHALT PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.
24. NEW ASPHALT PAVEMENT (SEE VILLAGE OF DOWNERS GROVE STREET OPENING BITUMINOUS FOR DETAILS).
25. NEW 2" BUTT JOINT.



form follows learning™

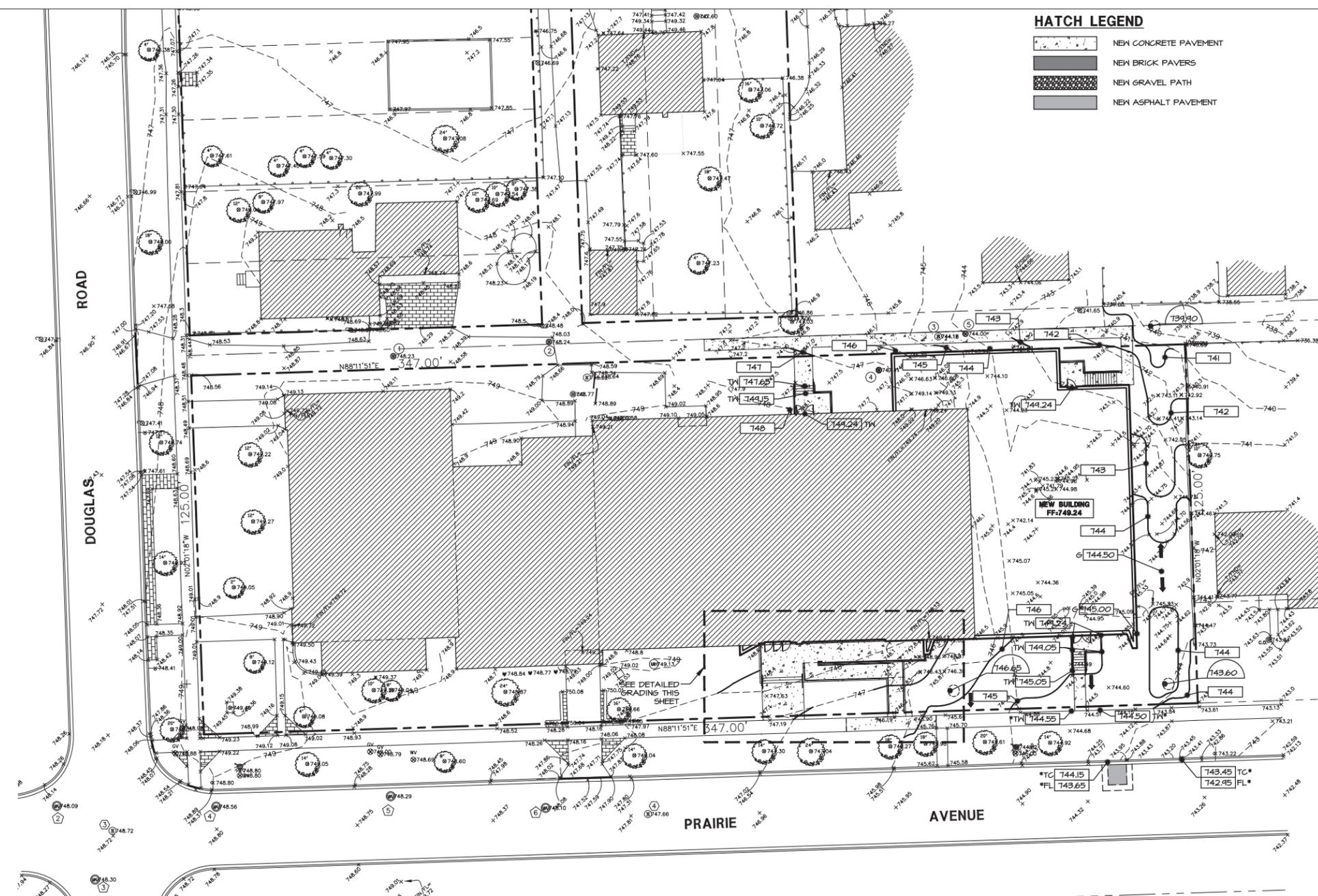
Two Pierce Place | Suite 1300 | Itasca | 60143 | 847.742.4063

ACTIVITY CENTER EXPANSION
 SAINT MARY OF GOSTYN SCHOOL
 ACTIVITY CENTER EXPANSION
 PHONE NUMBER 630-960-3565



W-T CIVIL AND STRUCTURAL ENGINEERING, LLC.
 CIVIL AND STRUCTURAL ENGINEERING
 2675 Pratum Avenue
 Hoffman Estates, Illinois 60192
 PH: 224-293-6333 FAX: 224-293-6444
 www.wt-engineering.com
 IL License No.: 184.007570-0015 Exp: 04/30/19

MARK	DATE
VILLAGE PLAN COMMISSION	
PROJECT#	2018.41
DATE	SEPTEMBER 19, 2018
SHEET TITLE	SITE DEVELOPMENT PLAN
SHEET	C-3.0



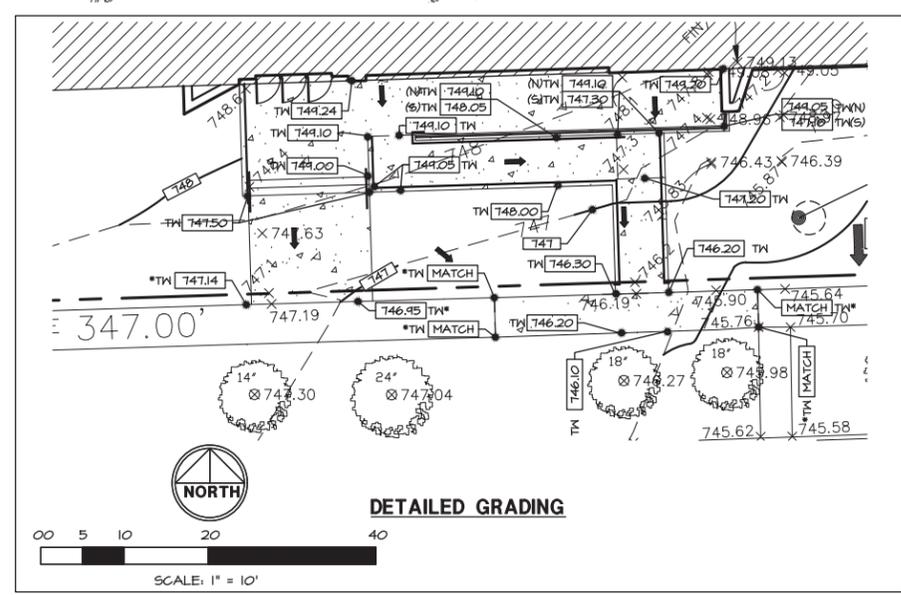
HATCH LEGEND

	NEW CONCRETE PAVEMENT
	NEW BRICK PAVERS
	NEW GRAVEL PATH
	NEW ASPHALT PAVEMENT

- ### SITE GRADING NOTES:
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 11-11-17, PREPARED BY GENTLE AND ASSOCIATES, INC. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.
 - CONTRACTOR SHALL CONTACT J.U.L.I.E. (811 OR 1-800-842-0123) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
 - CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
 - CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
 - CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
 - CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
 - ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
 - ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING STALLS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
 - NO ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL.
 - ALL FIRE ACCESS LINES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE. CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
 - CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
 - ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER.
 - ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
 - CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFC-662 AND/OR LFC-663 FORMS AS PART OF THEIR CONTRACT.

GRADING LEGEND

	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PROPOSED RIM ELEVATION
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	OVERLAND FLOW ARROW
	100 YEAR OVERLAND FLOW ROUTE
	TP TOP OF PAVEMENT ELEVATION
	TW TOP OF SIDEWALK ELEVATION
	G FINISHED GRADE ELEVATION
	FF FINISHED FLOOR ELEVATION
	TC TOP OF CURB ELEVATION
	FL FLOW LINE ELEVATION
	ADJUST EXISTING RIM ELEVATION
	MATCH EXISTING ELEVATION
	EXISTING CLOSED MANHOLE
	EXISTING OPEN GRATE MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING VALVE VAULT
	PROPOSED FIRE HYDRANT
	PROPOSED VALVE WITH VAULT
	PROPOSED INLET
	PROPOSED CATCH BASIN
	PROPOSED CLOSED LID MANHOLE



- ### EXISTING UTILITY DATA:
- | | | | | | |
|--|---------------------------|--|--------------------|--|------------------------|
| | SANITARY SEWER STRUCTURES | | WATER VALVE VAULTS | | STORM SEWER STRUCTURES |
|--|---------------------------|--|--------------------|--|------------------------|
- SANITARY SEWER MH
RIM = 744.84
6" RCP N INV=740.14
8" RCP E INV=738.94
 - SANITARY SEWER MH
RIM = 746.00
8" PVC N INV=738.08
8" PVC S INV=738.08
 - SANITARY SEWER MH
RIM = 748.72
8" PVC N INV=736.70
8" PVC S INV=736.60
 - SANITARY SEWER MH
RIM = 747.66
8" PVC E INV=740.66
6" PVC SW INV=741.28
 - SANITARY SEWER MH
RIM = 740.77
8" PVC E INV=733.57
8" PVC W INV=733.57
 - WATER VALVE VAULT
RIM = 745.62
TOP OF 8" PIPE=740.42
 - WATER VALVE VAULT
RIM = 748.09
TOP OF PIPE=743.44
 - WATER VALVE VAULT
RIM = 748.30
TOP OF 8" PIPE=743.30
 - WATER VALVE VAULT
RIM = 748.56
TOP OF 8" PIPE=743.26
 - WATER VALVE VAULT
RIM = 748.29
TOP OF 8" PIPE=743.19
 - WATER VALVE VAULT
RIM = 748.10
TOP OF 8" PIPE=742.00
 - CATCH BASIN
RIM = 748.23
4" PVC NW INV=746.83
8" PVC E INV=746.33
 - CATCH BASIN
RIM = 745.24
8" PVC W INV=745.64
8" PVC E INV=745.64
 - RESTRICTOR MANHOLE
RIM = 745.24
8" PVC W INV=743.08
10" RCP E INV=742.03
SW INV NOT ACCESSIBLE
SUMP = 733.03
 - RISER
FLOW LINE = 747.41
SUMP = 735.41
10" PER REC. NOT ACCESSIBLE
 - BEEHIVE CATCH BASIN
FLOW LINE = 744.00
10" RCP W INV=735.20
10" RCP E INV=735.05

W-T

W-T CIVIL ENGINEERING, LLC.
CIVIL AND STRUCTURAL ENGINEERING

2675 Pratum Avenue
Hoffman Estates, Illinois 60192
PH: 224-293-6333 FAX: 224-293-6444
www.wt-engineering.com

IL License No.: 184.007570-0015 Exp: 04/30/19

WT-CIVIL_JOB# CE18066

SITE GRADING PLAN

C-4.0

form follows learning™

Two Pierce Place | Suite 1300 | Itasca | 60143 | 847.742.4063

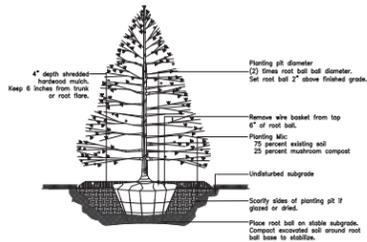
ACTIVITY CENTER EXPANSION
SAINT MARY OF GOSTYN SCHOOL
ACTIVITY CENTER EXPANSION
PHONE NUMBER 630-960-3565

PROJECT# 2018.41
DATE: SEPTEMBER 19, 2018
SHEET TITLE

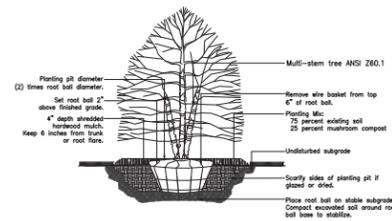
VILLAGE PLAN COMMISSION

Plant List

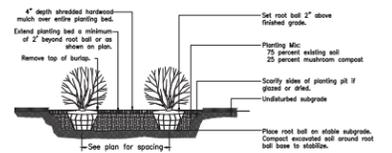
Key	Qty.	Size	Botanical Name	Common Name	Remarks
Evergreen Trees					
TOT	51	6'	<i>Thuja occidentalis 'Techny'</i>	Mission Arborvitae	BB
Ornamental Trees					
AMC	2	6'	<i>Ametanther canadensis</i>	Shadblow Serviceberry	BB/Clump
COA	1	8'	<i>Cornus alternifolia</i>	Pajaro Dojewood	BB/Clump
Shrubs					
BUX	14	24"	<i>Buxus x microphylla 'Glencoe'</i>	Chicagoan Green Boxwood	BB
CLE	11	24"	<i>Claytonia arifolia 'Hummingbird'</i>	Hummingbird Summerweet	BB
HIS	3	24"	<i>Hydrangea paniculata 'Bobo'</i>	Bobo Hydrangea	BB
HY	21	24"	<i>Hydrangea aborescens 'Incrediball'</i>	Incrediball Smooth Hydrangea	BB
Perennials, Ornamental Grasses and Groundcovers					
ALL	36	#1	<i>Allium 'Summer Beauty'</i>	Summer Beauty Allium	Container
ARU	10	#1	<i>Ananias oethusifolia</i>	Miniature Grotto beard	Container
CAK	6	#1	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Feather Reed Grass	Container
HAK	29	#1	<i>Hakonechloa macro 'Aureola'</i>	Golden Variegated Hakone Grass	Container
PHY	675	3"	<i>Pachyandra terminalis</i>	Pachyandra	Pots



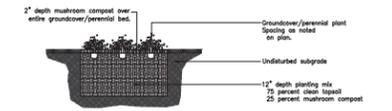
Detail Evergreen Tree Planting



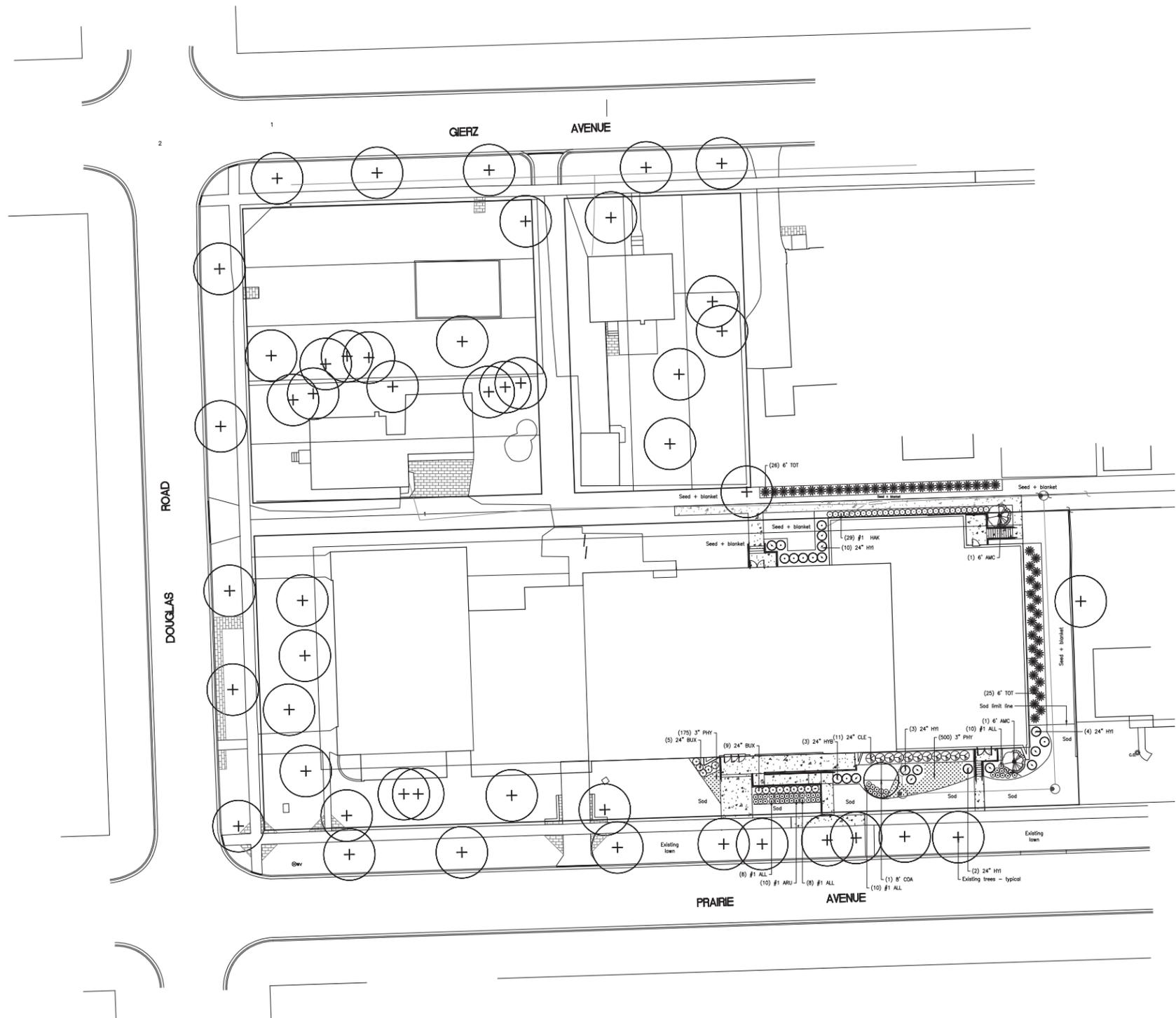
Detail Deciduous Ornamental Tree Planting



Detail Shrub Planting



Detail Groundcover/Parental Planting

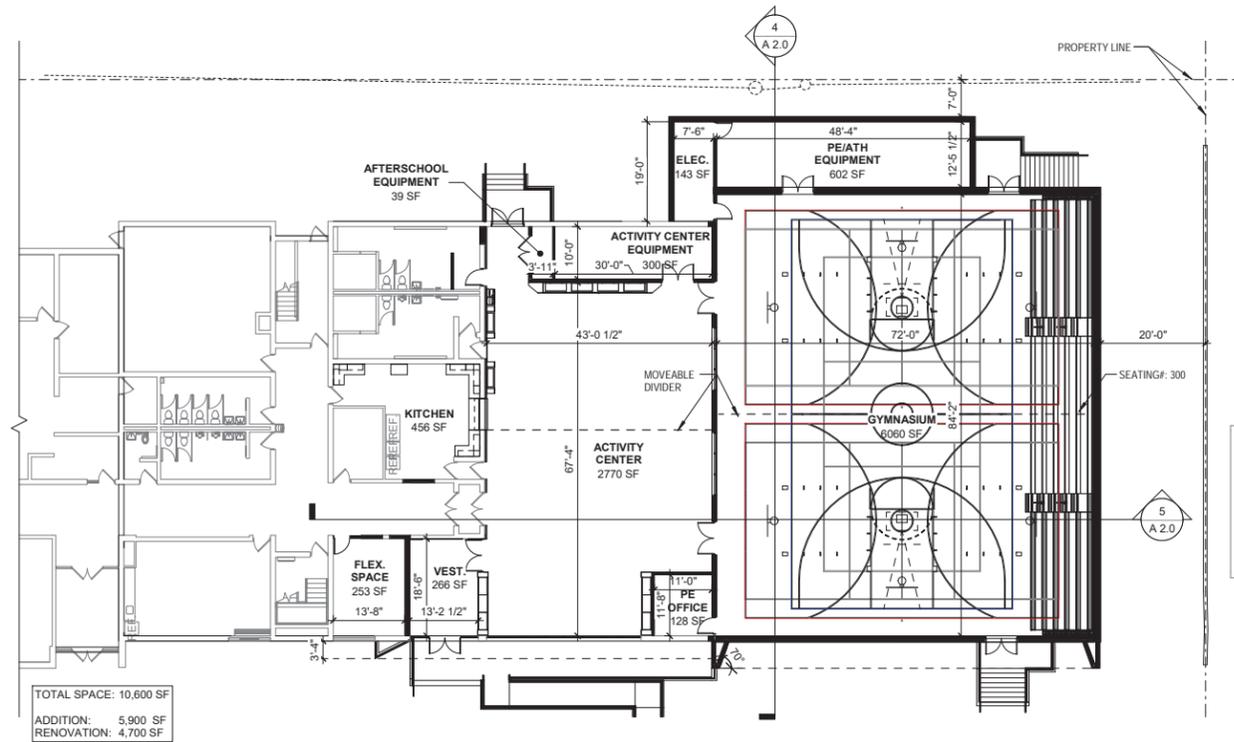


Scale: 1" = 20'



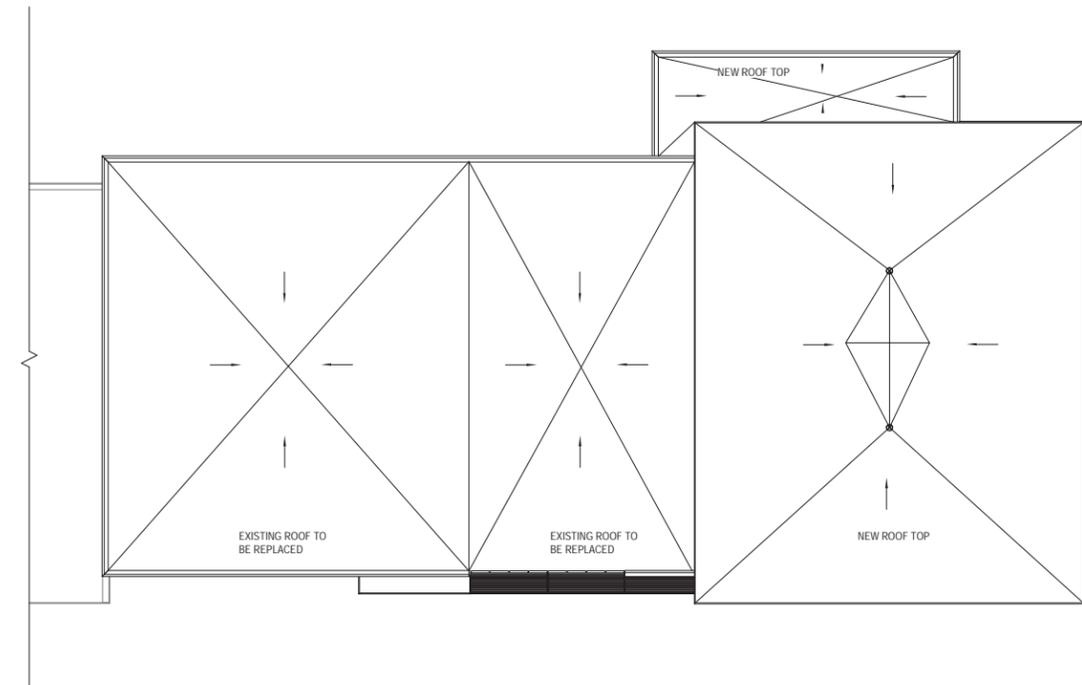
W-T CIVIL ENGINEERING, LLC.
 CIVIL AND STRUCTURAL ENGINEERING
 2675 Pratum Avenue
 Hoffman Estates, Illinois 60152
 PH: (224) 293-6333 FAX: (224) 293-6444
 www.wtengineering.com
 IL License No.: 184.007570-0015 Exp: 04/30/19



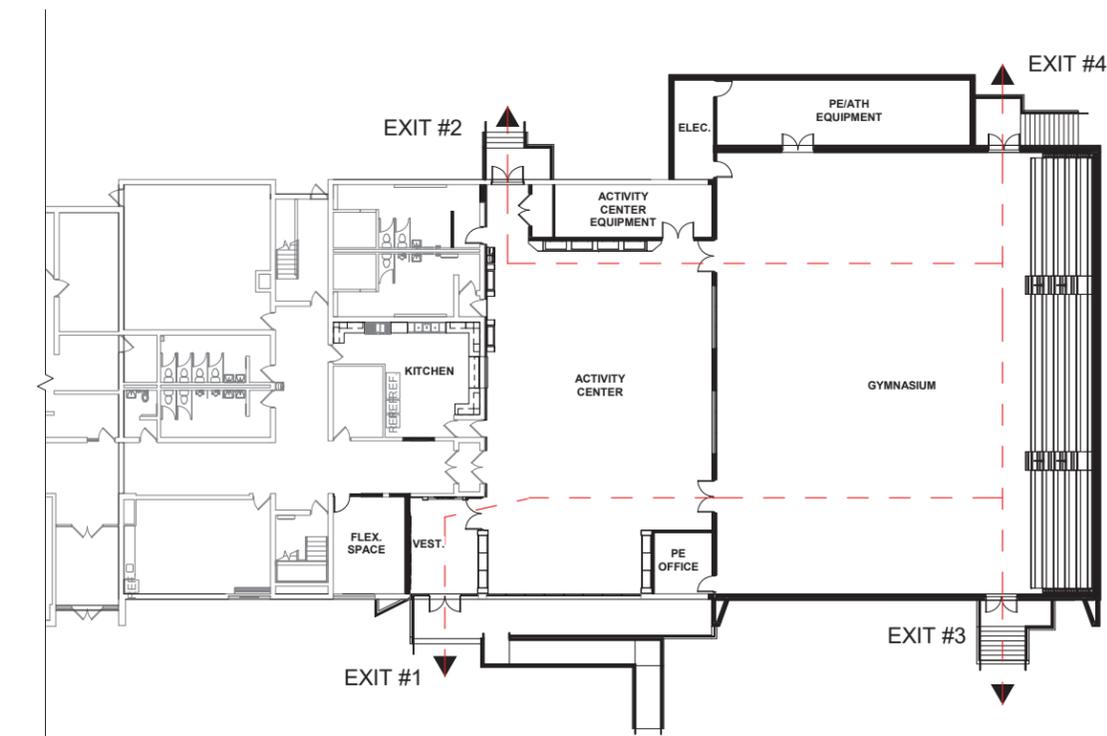


TOTAL SPACE: 10,600 SF
 ADDITION: 5,900 SF
 RENOVATION: 4,700 SF

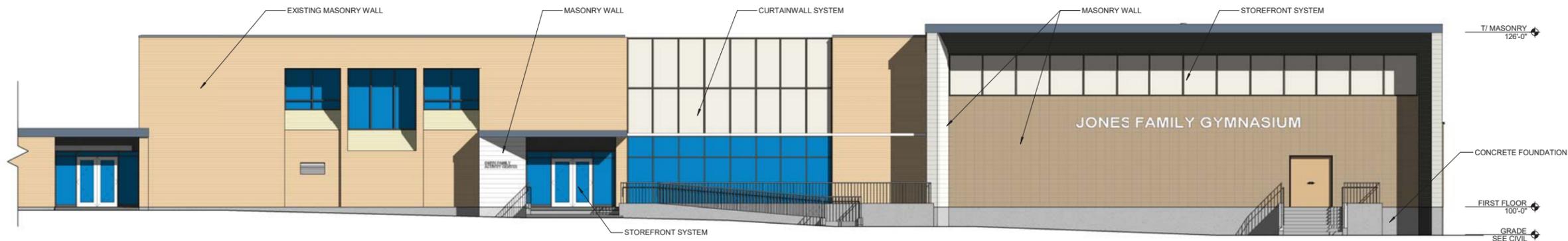
1 FIRST FLOOR PLAN
 1/16" = 1'-0"



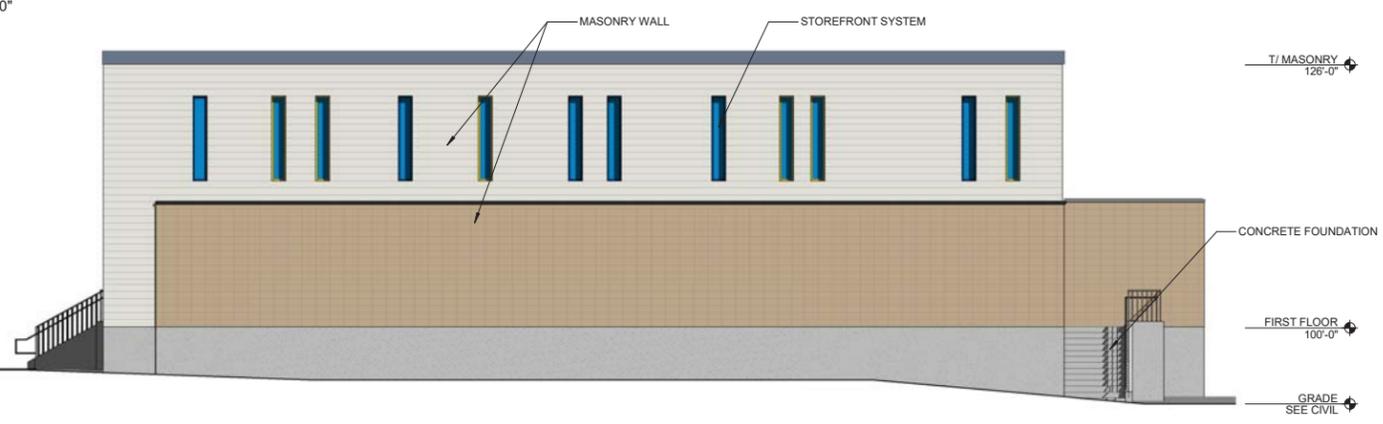
2 ROOF PLAN
 1/16" = 1'-0"



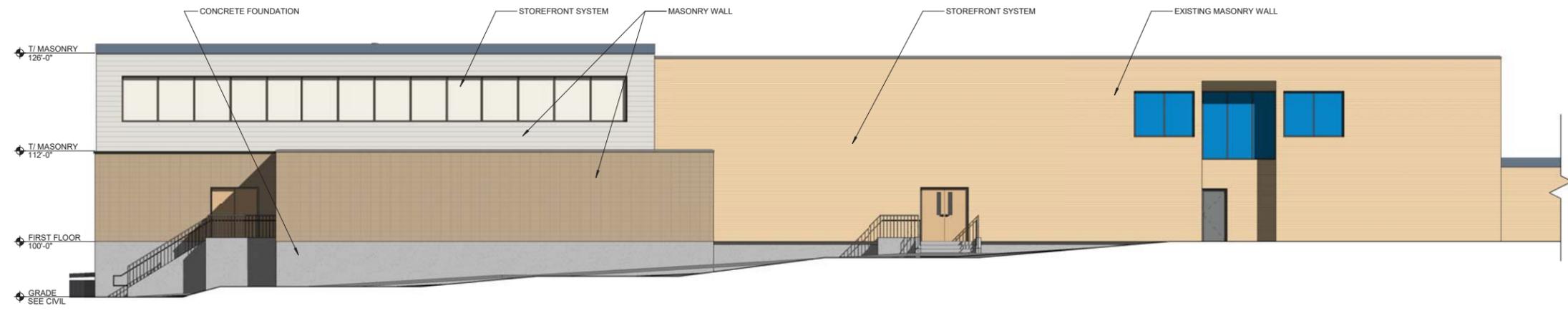
3 FIRST FLOOR EXIT PLAN
 1/16" = 1'-0"



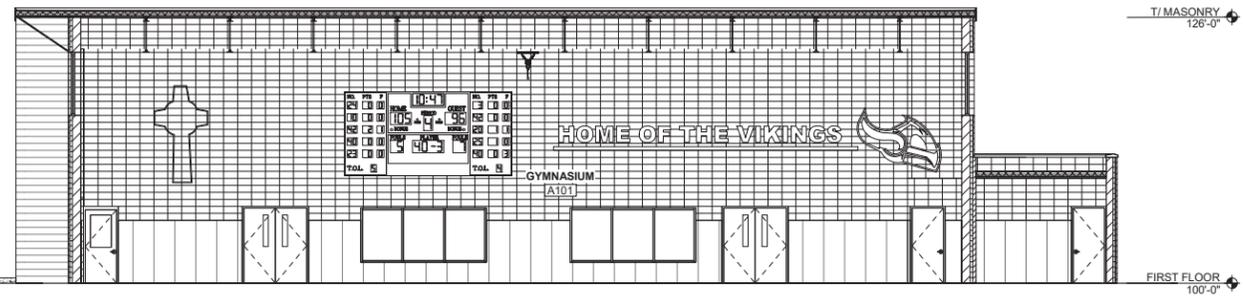
1 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



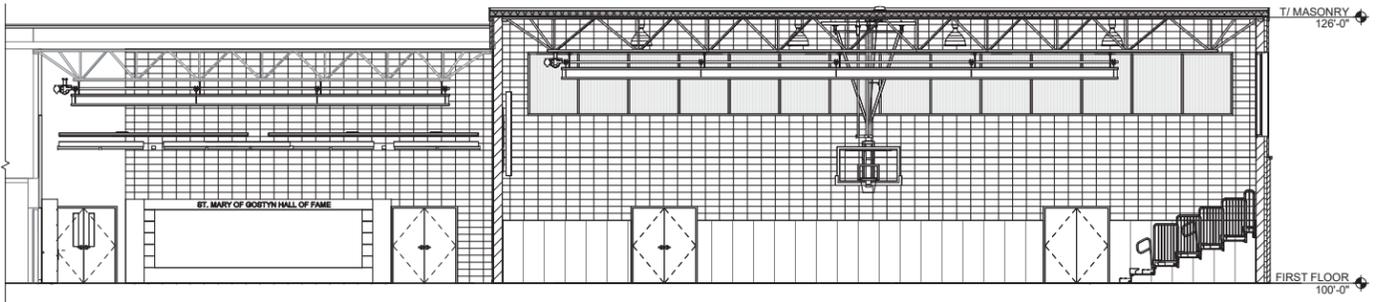
2 EXTERIOR ELEVATION- EAST
1/8" = 1'-0"



3 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



4 BUILDING SECTION
1/8" = 1'-0"



5 BUILDING SECTION
1/8" = 1'-0"



EXTERIOR RENDERING - ACTIVITY CENTER



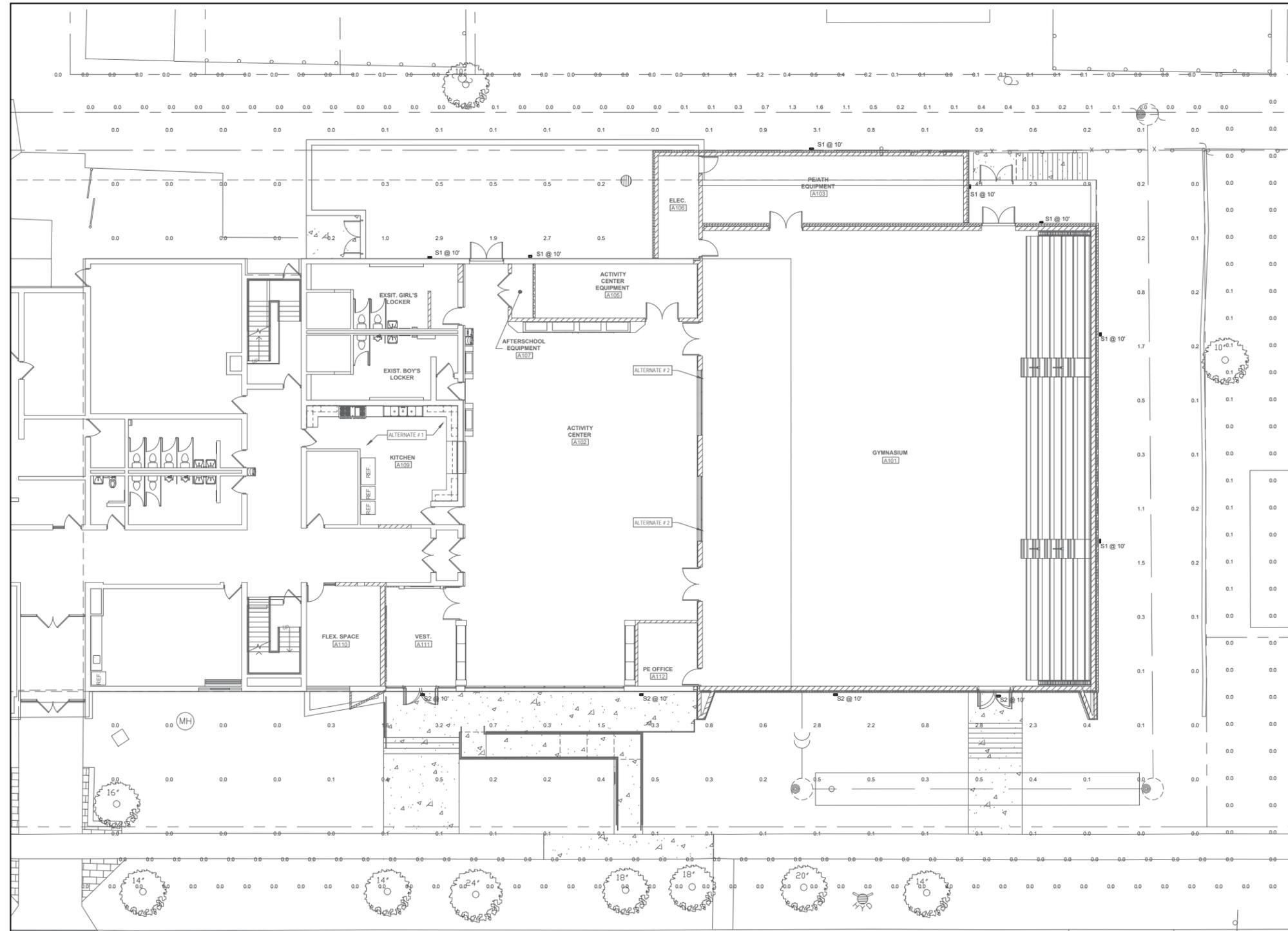
EXTERIOR RENDERING - GYMNASIUM



EXTERIOR RENDERING - SOUTH ELEVATION



EXTERIOR RENDERING - NORTHEAST CORNER



**OLWX1 LED
LED Wall Luminaire**

Specifications

Width: 7.12" (183mm)
Height: 8" (203mm)
Depth: 3" (76mm)
Weight: 5 lbs (2.3kg)

Ordering Information

Series	Performance	Package	Color Temperature	Voltage	Controls	Finish
OLWX1 LED	130W	13-watt	4000K	120V	None	Black
	40W	4-watt	3000K	120V	None	Black

Accessories

S1015 10' - 10' - 1
S1016 10' - 10' - 1
S1017 10' - 10' - 1

Features & Specifications

INTENDED USE
The OLWX1 LED luminaire is designed for use in a variety of applications, including as a replacement for existing fluorescent lighting in commercial and industrial settings.

CONSTRUCTION
The OLWX1 LED luminaire is constructed from high-quality materials, including aluminum and polycarbonate, to ensure durability and long life.

ELECTRICAL
The OLWX1 LED luminaire is designed to be compatible with a variety of electrical systems, including 120V and 277V.

Introduction

The OLWX1 is versatile and energy efficient. It is designed to replace up to 250W metal halide while saving over 87% in energy costs. Whether you are mounting it to a recessed junction box, conduit/through wiring, as an up light, as a down light, or as a flood light - the OLWX1 has all applications covered.

Installation

Easy to install and maintain. The OLWX1 LED luminaire is designed for easy installation and maintenance. It is compatible with a variety of mounting options, including recessed, surface, and up/down lighting.

Notes

1. See datasheet for detailed specifications.
2. Mounting hardware is not included.
3. Mounting hardware should be compatible with the luminaire's mounting options.

Warranty

The OLWX1 LED luminaire is covered by a 5-year warranty.

LITHONIA LIGHTING
One Lithonia Way • Conley, Georgia 30127 • Phone 800.279.8001 • www.lithonia.com
© 2018 Lithonia Lighting, Inc. All rights reserved.

1 SITE PLAN - PHOTOMETRICS
1/8" = 1'-0"

Symbol	Label	Catalog Number	QTY	Manufacturer	Description	Lamp	Number Lamps	Footcandle	Lumens per Lamp	LLF	Wattage
S1		OLWX1 LED 13W 40K DDB	7	Lithonia Lighting	13W 4000K LED WALL PACK	LED	1	OLWX1_LED_13W_40K_D DB 10'	1260	0.8	14
S2		OLWX1 LED 20W 40K DDB	4	Lithonia Lighting	20W 4000K LED WALL PACK	LED	1	OLWX1_LED_20W_40K_D DB 10'	1840	0.8	21.77

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line	+	0.1 fc	1.6 fc	0.0 fc	N/A	N/A
Property Line 5-foot Offset	+	0.0 fc	0.5 fc	0.0 fc	N/A	N/A
Site	+	0.5 fc	4.1 fc	0.0 fc	N/A	N/A

SAINT MARY OF GOSTYN CATHOLIC PARISH
SAINT MARY OF GOSTYN SCHOOL
ACTIVITY CENTER EXPANSION
440 PRAIRIE AVE, DOWNERS GROVE, IL 60515

form follows learning

Two Pierce Place | Suite 1300 | Itasca | 60143 | 647.762.4063

SAINT MARY OF GOSTYN

VILLAGE PLAN COMMISSION

PROJECT# 2018-41
DATE: SEPTEMBER 19, 2018
SHEET TITLE

SITE PHOTOMETRICS

berg engineering consultants, ltd.

mechanical | civil | structural | electrical | plumbing | fire protection | energy | sustainability | interior design | landscape architecture

4400 North Lincoln Road, Suite 1000, Chicago, IL 60630
Phone: 773.322.4533 | Fax: 773.322.4535 | Email: info@berg-eng.com
www.berg-eng.com

P:\2018\18-09-01_SMP_Village_Site_Photo.dwg
 Created by: berg
 Copyright © 2018 Berg Engineering Consultants, Ltd. All Rights Reserved.



TRAFFIC MEMORANDUM

DATE: June 29, 2018

TO: Terri O'Dekirk, St. Mary of Gostyn

FROM: Peter W. Reinhofer, P.E.

RE: St. Mary of Gostyn
Gymnasium Expansion
Downers Grove, Illinois

V3 Companies, Ltd. is working with St. Mary of Gostyn School to determine any potential impacts to the circulation system of the proposed expansion of the school's gymnasium. St. Mary of Gostyn School is located at 440 Prairie Avenue at the northeast corner of Douglas Road and Prairie Avenue in Downers Grove. St. Mary of Gostyn Church is located south of the school at the southeast corner of the intersection. The purpose of this Traffic Memorandum is to identify the existing conditions in the vicinity of the school, describe the gymnasium expansion and how access will be modified, and evaluate how pedestrians will access the new doorway.

Prairie Avenue is a local, residential street with one travel lane in each direction and a posted speed limit of 20 mph for the school when children are present. Parking is not allowed on the south side of the street and not allowed from 7 am to 4 pm on the north side in front of the school. There are five residential driveways on the north side of Prairie Avenue between the Fairview Avenue and the school. From the *Neighborhood Traffic Study, Area Number 4* report, the average daily traffic on this segment of Prairie Avenue is 2,351 vehicles per day with an average eastbound speed of 20 mph and westbound speed of 21 mph.

Sidewalks are provided on both sides of Prairie Avenue with marked crosswalks at all four legs at the four-way stop controlled intersection of Prairie Avenue and Douglas Road. There are no mid-block marked crossings from the parking lot to the school. During school hours, a crossing guard is present at the intersection of Prairie Avenue and Douglas Road and school staff is also present during the drop off and pick up operations and for bus loading along Prairie Avenue.

Surface parking for both the school and church is located east of the church to Fairview Avenue. The surface parking lot has five driveways that provide access on Prairie Avenue. The eastern driveway is full access driveway and there are four additional driveways with alternating signage for exit only and entrance only access. The eastern portion of the parking lot provides a landscape buffer between the sidewalk and parking lot while the western portion provides striping between the sidewalk and parking lot.



Prairie Avenue from Douglas Road to Fairview Avenue

Currently, buses travel eastbound on Prairie Avenue from Fairview Avenue and drop off students in the morning in front of the school. In the afternoon, buses queue up on the north side of Prairie Avenue for pick up for nearly the entire block from the school to Fairview Avenue waiting for students to depart the school. Parents dropping off and picking up students currently park on Douglas Road north of Prairie Avenue, on Prairie Avenue west of Douglas Road, and in the surface parking south of the school. With parking restrictions along the side streets, it is our understanding that gymnasium visitors during primarily park in the surface lot and cross Prairie Avenue.

The school gymnasium is located within the eastern portion of the school building. Access to the gymnasium is through school's main entrance on Prairie Avenue, requiring gymnasium visitors to walk through portions of the school to access the gymnasium. The school is planning to expand the building to the east and north and adding a second entryway that will provide a more direct route to the future gymnasium. The new entryway would be located approximately 75 feet east of the current main entrance for the school. It is anticipated that gymnasium visitors will continue to park in the school's surface lot on the south side of Prairie Avenue and cross the roadway to access the gymnasium.

It is our professional opinion that adding the second entryway to the gymnasium will not alter the existing drop off and pick up operations for the buses or parents during school hours. In addition, it is anticipated that gymnasium visitors will continue to park in the surface lot and cross Prairie Avenue.



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • Est. 1891

July 19, 2018

Mr. Scott Williams
Village of Downers Grove
801 Burlington Avenue
Downers Grove, IL 60515

RE: Neighbor Meeting Summary
St. Mary of Gostyn Parish—445 Prairie Avenue

Dear Mr. Williams,

As a part of our Parish's preparation for our appearance at the Village Plan Commission meeting, we held a neighborhood meeting on July, 18, 2018 at 7:00 pm. The meeting was held in our Gathering Place at 445 Prairie Avenue in Downers Grove. We mailed invitations on June 28, 2018 to the owners of all properties within 250 feet of 444 Wilson Street and 440 Prairie Avenue, our Church and our School. We did a subsequent mailing on July 10, 2018 to include additional property owners within 250 feet of all of the alleys for which we are petitioning vacation of the Village. A copy of this meeting invitation (same version for both mailings) is enclosed for reference.

At this meeting was Father James Schwab, Pastor, Father Shaun Cieslik, Associate Pastor, Terri O'Dekirk, Parish Manager, Brian Scully (DLA Architects) and 15 neighbors. Terri O'Dekirk and Brian Scully conducted the meeting, with a greeting from Father Schwab. Talking points are enclosed for your reference. Boards of the preliminary plans for the expansion of the gym as well as copies of the plats of vacation and consolidation were available for review.

The following questions were asked and addressed.

- Is the lot with the play area going to change? NO
- Is there a guarantee that St. Marys is not going to do anything with the alley on the South Side? NO PLANS AT THIS TIME OR NEAR FUTURE
- Can the neighbors buy their portion of the alley? YES, SPECIFICS FOR THIS CAN BE DISCUSSED OUTSIDE OF THIS MEETING WITH THOSE NEIGHBORS. WE HAVE ASKED THAT THEY MEET INDIVIDUALLY WITH US TO DISCUSS.
- What is the benefit to St. Marys of purchasing the alleys? NORTH ALLEY ALLOWS US ADDITIONAL SPACE FOR OUR SCHOOL EXPANSION. SOME OF THE ALLEYS ARE AN INTREGAL PART OF OUR PROPERTY ALREADY. THE OTHER ALLEYS ARE GENERALLY UTILITY ALLEYS, SO WILL NOT BE ABLE TO BE USED FOR ANY OTHER PURPOSES.
- Did the Village come to St. Marys to purchase the alleys? ST MARYS APPROACHED THE VILLAGE TO PURCHASE THE NORTH ALLEY. LATER THE VILLAGE CAME TO US ABOUT THE ADDITIONAL ALLEYS.
- Does the south alley impact the current children's garden? WE ALREADY OWN THAT ALLEY, SO NO.
- Are there any plans to extend the current parking lot? NOT AT THIS TIME.

- Concern was expressed about storm water run-off/drainage to the property at the end of Prairie and Fairview. ENGINEERS ARE WORKING ON A SYSTEM FOR THE ADDITIONAL WATER RELEASE FROM THE EXPANDED BUILDING WITH GUIDANCE FROM THE VILLAGE. THESE PLANS ARE NOT CURRENTLY FINALIZED BUT WILL BE PART OF THE PLAN PRESENTED AT THE COMMISSION MEETING.
- Where does the water main run? DOWN PRAIRIE
- Are all the homes of the north side of St. Marys tied into the main storm water line? YES
- Are you allowing for a large french drain? AVERY SIMILAR SYSTEM TO A FRENCH DRAIN
- Is there going to be a modification of traffic flow with the gym expansion? OUR TRAFFIC SURVEY, CONDUCTED BY AN INDEPENDENT ENGINEER DID NOT RECOMMEND ANY CHANGES TO OUR CURRENT ARRANGEMENT. NO ADDITIONAL TRAFFIC IS ANTICIPATED.
- Will the traffic study be made known to the public? IT IS PART OF THE DOCUMENTS THAT WE WILL BE PRESENTING TO THE VILLAGE DURING THIS REVIEW.
- Why can't Prairie be a one-way street during pick-up and drop-off? WE HAVE BEEN TOLD IN THE PAST WHEN WE HAVE ASKED THAT THE STREET IS TOO BUSY A THROUGHFARE TO CLOSE DOWN A LANE OF TRAFFIC.
- Can we look at the timing of the traffic light at the corner of Fairview and Prairie? A VILLAGE CALL, NOT OURS.
- Can the busses use the East part of the parking lot to turn around and load the children? WE CAN LOOK AT THIS AS AN OPTION.
- Can there be increased police patrol at Douglas and Prairie during drop off and pick up times? A VILLAGE CALL, NOT OURS.
- Is the height of the gym building going to change? ABOUT 18" HIGHER TO ACCOMMODATE THE ATTACHMENT TO THE OLD STRUCTURE.
- Where will the construction equipment be held? TOO EARLY IN OUR PROCESS TO ANSWER THIS, BUT ONCE A CONTRACTOR IS HIRED, THESE DETAILS WILL BE FINALIZED WITH LEAST AMOUNT OF IMPACT TO THE SAFETY AND INCONVENIENCE OF THE SCHOOL CHILDREN AND THE NEIGHBORS.
- When will the project start? WE HAD HOPED TO START APRIL 1, 2019, BUT MAY BE DELAYED PENDING WHEN THE COMMISSION OKAYS THE FINAL PLAN.
- What is the duration of the project? EXTERNAL BUILDING WILL TAKE 6 MONTHS, ANOTHER 2 MONTHS INSIDE.
- In the future, if St. Joes and St. Marys would combine schools, how many total students would that mean? THESE PLANS WOULD BE 5-10 YEARS IN THE FUTURE. AT THAT TIME, ONE SCHOOL MAY HOUSE ELEMENTARY GRADES, THE OTHER, PROBABLY ST. MARYS, WOULD BE JUNIOR HIGH. CURRENT ENROLLMENT BETWEEN BOTH IS 800. MAYBE 300-350 AT EACH IF THEY MERGED.

The meeting adjourned at 8:20 pm.

Please let me know if you have any questions.

Sincerely,

Terri O'Dekirk
Parish Manager



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • est. 1891

Dear Neighbors,

St. Mary's has been a part of the Downers Grove community for over 125 years. In all the years that we have been a part of your community, we have made changes to both our Church and our School that have helped us to maintain a very engaged and vibrant Parish, a real asset to Downers Grove.

We are now in the process of making plans to once again improve our campus facilities, specifically at our School, that will enhance our ability to provide a safe, multi-purpose activities area for our children to use during the day as well as for extracurricular events. We will be using our current gymnasium space as well as a residential property that we own to our east to expand both north and east of our current gym space.

We are seeking the Village of Downers Grove's approval to do this expansion at a public hearing on August 6, 2018. We will also, at that meeting, be applying to rezone our Church and School properties to INP-1, Neighborhood-Scale Institutional and Public District, as well as vacation of the alleys within and adjacent to our properties.

Before that meeting, we want to invite our neighbors to a meeting to discuss our plans. We will provide an overview of the plans and will be available to answer your questions. Please join us for this meeting:

Wednesday, July 18, 2018 at 7:00 pm.

St. Mary of Gostyn's Gathering Place, in the lower level of our Church, 445 Prairie Ave.

Please enter from the Parking Lot through the double glass doors.

If you are unable to attend the meeting but would like to learn more about the plan, please contact our Parish Manager, Terri O'Dekirk at 630-737-9621.

Yours in Christ,

Father Jim Schwab



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • EST. 1891

February 22, 2018

Mr. and Mrs. Albert Barcikowski
427 Gierz Ave.
Downers Grove, IL 60515

Dear Mr. and Mrs. Barcikowski,

Our School is currently in the process of some exciting plans for renovating our current gymnasium into a multi-purpose space for our students and their families. In order to accomplish our goals, we are interested in purchasing the alley behind our school and our current 428 Prairie property from the Village of Downers Grove. Ideally, we are interested in purchasing the entire width of the alley between your property and ours.

Before we petition the Village for this purchase, you, as our northern neighbor, have a right to purchase your half of the alley. We would like to meet with you to ascertain your interest in either purchasing your half or waiving your rights to it so that we can move forward to make this purchase.

We are hoping to set up a time to meet with you to discuss this proposal and answer any questions that you might have about our plans. Terri O'Dekirk, our Parish Manager, will set up a date for this meeting, either in person or by phone. She can be reached at 630-737-9621 or at: todekirk@stmarygostyn.org.

Thank you very much for your assistance with this. I look forward to meeting with you soon.

Respectfully,

Father James Schwab
Pastor



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • EST. 1891

August 17, 2018

Mr. & Mrs. Albert Barcikowski
427 Gierz Avenue
Downers Grove, IL 60515

Dear Mr. & Mrs. Barcikowski,

In your email dated March 12, 2018, you expressed interest in receiving more information about the purchase price of your portion of the alley that abuts our school and your property. The Village just supplied me with that information.

The portion of the alley directly behind your home is 7 feet wide by 37 feet in length for a total square footage of 259. The total cost for your purchase would be \$1,069.36 (calculated at \$545,000 land value per acre and discounted at 67%).

Hopefully this information will help you with your decision to purchase the additional square footage.

If you wish to waive your right to purchase, please contact me at 630.737.9621 or via email at todekirk@stmarygostyn.org.

If you would like to receive more information about this purchase, please contact Scott Williams at the Village of Downers Grove at 630-434-6892 or swilliams@downers.us.

Thank you very much for your consideration of this proposal and look forward to hearing from you soon.

Respectfully,

Terri O'Dekirk
Parish Manager



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • EST. 1891

February 22, 2018

Mr. and Mrs. Dennis Adams
431 Gierz Ave.
Downers Grove, IL 60515

Dear Mr. and Mrs. Adams,

Our School is currently in the process of some exciting plans for renovating our current gymnasium into a multi-purpose space for our students and their families. In order to accomplish our goals, we are interested in purchasing the alley behind our school and our current 428 Prairie property from the Village of Downers Grove. Ideally, we are interested in purchasing the entire width of the alley between your property and ours.

Before we petition the Village for this purchase, you, as our northern neighbor, have a right to purchase your half of the alley. We would like to meet with you to ascertain your interest in either purchasing your half or waiving your rights to it so that we can move forward to make this purchase.

We are hoping to set up a time to meet with you to discuss this proposal and answer any questions that you might have about our plans. Terri O'Dekirk, our Parish Manager, will set up a date for this meeting, either in person or by phone. She can be reached at 630-737-9621 or at: todekirk@stmarygostyn.org.

Thank you very much for your assistance with this. I look forward to meeting with you soon.

Respectfully,

Father James Schwab

Pastor



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • 1891

March 19, 2018

Mr. and Mrs. Dennis Adams
431 Gierz Ave.
Downers Grove, IL 60515

Dear Mr. and Mrs. Adams,

As our neighbors to the north of our School, I would very much like to share with you the plans that we have to renovate our School Gymnasium. I sent you a letter dated February 22, (a copy is included with this letter) asking for an opportunity to walk you through the information that we have about this project. In that letter, I shared with you our wish to purchase all or part of the alley that separates our properties. I would like to be able to show you how this would impact the north side of our building as well as what you could expect as our neighbor.

We are hoping to set up a time to meet with you to discuss this proposal and answer any questions that you might have about our plans. Terri O'Dekirk, our Parish Manager, will set up a date for this meeting, either in person or by phone. She can be reached at 630-737-9621 or at: todekirk@stmarygostyn.org.

Thank you very much for your assistance with this. I look forward to meeting with you soon.

Respectfully,

Father James Schwab
Pastor



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • EST. 1891

August 17, 2018

Mr. & Mrs. Dennis Adams
431 Gierz Avenue
Downers Grove, IL 60515

Dear Mr. & Mrs. Adams,

Per your letter to me dated March 22, you expressed interest in receiving more information about the cost to purchase the half of the alley behind your home. We have just received information from the Village on the pricing for the alley if you should choose to purchase your half.

The portion of the alley abutting your property is 7 feet wide by 50 feet in length for a total of 350 square feet. The total cost for your portion if you purchased your half of the alley would be \$1,445.08 (calculated at \$545,000 land value per acre with a 67% deduction applied to that).

If you are going to waive your right to purchase, please contact Terri O'Dekirk, Parish Manager at St. Mary of Gostyn, at 630.737.9621 or via email at todekirk@stmarygostyn.org.

If you would like to get further information about this purchase, please contact Scott Williams at the Village of Downers Grove at 630-434-6892 or at swilliams@downers.us.

Thank you very much for your consideration of this proposal and look forward to hearing from you soon.

Respectfully,

Terri O'Dekirk
Parish Manager



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • 630-737-9621

February 22, 2018

Mr. and Mrs. Ryan Teising
435 Gierz Ave.
Downers Grove, IL 60515

Dear Mr. and Mrs. Teising,

Our School is currently in the process of some exciting plans for renovating our current gymnasium into a multi-purpose space for our students and their families. In order to accomplish our goals, we are interested in purchasing the alley behind our school and our current 428 Prairie property from the Village of Downers Grove. Ideally, we are interested in purchasing the entire width of the alley between your property and ours.

Before we petition the Village for this purchase, you, as our northern neighbor, have a right to purchase your half of the alley. We would like to meet with you to ascertain your interest in either purchasing your half or waiving your rights to it so that we can move forward to make this purchase.

We are hoping to set up a time to meet with you to discuss this proposal and answer any questions that you might have about our plans. Terri O'Dekirk, our Parish Manager, will set up a date for this meeting, either in person or by phone. She can be reached at 630-737-9621 or at: todekirk@stmarygostyn.org.

Thank you very much for your assistance with this. I look forward to meeting with you soon.

Respectfully,

Father James Schwab
Pastor

April 12, 2018

Stan Popovich
Director, Community Development
801 Burlington Avenue
Downers Grove, IL 60515

Dear Mr. Popovich,

We, the owners of 435 Gierz St., Downers Grove, IL 60515, understand that St. Mary of Gostyn Catholic School will be building an expansion to the existing building on their property adjacent to ours.

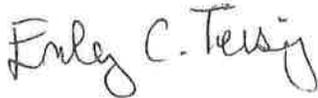
We wish to exercise our right to purchase our portion of the easement between their property and ours.

Please let us know how we should proceed.

We appreciate that Terri O'Dekirk, Director of Development at St. Mary of Gostyn reached out to us, and that Rebecca Leitschuh from your office also met with us to discuss this project.

We look forward to participating actively in the process, and request to be kept informed of any developments.

Sincerely,



Emily and Ryan Teising

435 Gierz Street
Downers Grove, IL 60515

cc : Terri O'Dekirk



ST. MARY OF GOSTYN

CATHOLIC PARISH & SCHOOL

DOWNERS GROVE, ILLINOIS • EST. 1891

August 17, 2018

Mr. & Mrs. Ryan Teising
435 Gierz Avenue
Downers Grove, IL 60515

Dear Mr. & Mrs. Teising,

I wanted to give you an update that I recently received from the Village about the purchase pricing for the alley that our properties share. I know that you are interested in pursuing your half of the alley, so I want to share this information with you prior to our petition meeting with the Village.

Per Scott Williams, the Senior Planner we are working with, your portion of the alley is 7 feet in width and 50 feet long, for a total square footage of 350. The price of that portion will be \$1,445.08 calculated at \$545,000 land value per acre and discounted at 67%.

Please contact Scott Williams at the Village of Downers Grove (swilliams@downers.us) if you need additional information on how to proceed with your purchase.

Thank you very much for your consideration of our original campus expansion proposal and your help in making it become a reality.

Respectfully,

Terri O'Dekirk
Parish Manager



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLAN COMMISSION
OCTOBER 1, 2018 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
18-PLC-0029 1801 Butterfield Road	PUD Amendment	Scott Williams, Senior Planner

REQUEST

The petitioner is requesting approval of a final Planned Unit Development amendment to Planned Unit Development #31, Esplanade at Locust Point for the construction of a new two-story restaurant.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

APPLICANT: Daniel Bernatek
Ari Group Architects, Inc.
830 North Blvd.
Oak Park, IL 60301

OWNER: Hamilton Partners, Inc.
300 Park Blvd.
Itasca, IL 60143

PROPERTY INFORMATION

EXISTING ZONING: O-R-M/PD #31, Office-Research Manufacturing
EXISTING LAND USE: Vacant Restaurant
PROPERTY SIZE: 115,025 sq. ft. (2.641 acres)
PINS: 06-30-304-002

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
East:	Tollway Right-of-Way	N/A
WEST:	O-R-M, Office-Research-Manufacturing/PD #31	Office Corporate Campus
NORTH:	B-3, General Services and Highway Business	Regional Commercial
SOUTH:	O-R-M, Office-Research-Manufacturing/PD #31	Office Corporate Campus

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Project Narrative

2. Plat of Survey
3. Architectural Plans
4. Engineering Plans
5. Landscape Plan
6. Elevations and Renderings
7. Sign Plan
8. Photometric Plan

PROJECT DESCRIPTION

The petitioner is proposing to construct a new two story restaurant at 1801 Butterfield Road. The property is an outlot within the Esplanade at Locust Point Planned Unit Development. The site is adjacent to Butterfield Road and the I-355 Tollway right-of-way/entrance ramp. It is zoned ORM/PUD #31, Office-Research-Manufacturing/Planned Unit Development. The 115,025 square-foot parcel is currently occupied by a vacant restaurant-formerly Carlucci of Downers Grove. The proposal is to demolish the existing building and construct a new two-story building. The petitioner is requesting approval of an amendment to Planned Unit Development #31 to allow the construction of a new restaurant.

The petitioner is proposing to build a new 12,077 square-foot restaurant. The footprint will be slight larger than the existing building with the parking lot and access points remaining the same. The new Cooper's Hawk Winery and Restaurant consists of tasting, bar and dining areas. The first floor will have an outdoor patio. The much smaller second story will have a second bar and interior dining area along with an outdoor terraced patio screened by a low wall and planters.

The primary material used for the exterior of the building is fiber cement panels, concrete and veneers. Metal canopies and changes in texture/color are shown throughout all four elevations with one-story windows concentrated on the west and south elevations. The canopy lines continue to cover the patio areas, with the second floor patio most visible from the Lacey Road side of the property.

The entrance to the building will be located at the west elevation. An ADA accessible path is proposed from the entrance of the building to the sidewalk along Lacey Road as required. The trash enclosure is located in the northeast corner of the property, enclosed with stucco applied to a CMU wall with the colors matching the primary facade. The parking areas provided on all four sides of the building will remain untouched and provide 150 parking spaces. Per the planned unit development agreement, the site plan maintains an area for future cross-access with the undeveloped lot located to the west.

Dense parking lot and foundation landscaping is provided on all four sides of the building and parking areas, with a mix of shade trees and landscape materials such as shrubs and ornamental trees. Parking lot and site lighting is provided around the proposed development.

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Future Land Use Plan designates the site as Office Corporate Campus. This includes highly visible large-scale buildings and office parks which continue to play an important role in the local economy. The new restaurant in a prominent location allows for the continued support of a major office development along the Tollway and Butterfield Road. The high-quality building is consistent with the rest of the Esplanade development.

The Butterfield Focus Area Plan calls for outlot development to attract new commercial developments and to use the corridors unique location to attract new tenants. The Focus Area Plan also notes redevelopment should focus on attracting a regional customer base in addition to serving the substantial daytime population in the area.

COMPLIANCE WITH ZONING ORDINANCE

The property is zoned O-R-M/PUD #31, Office-Research-Manufacturing/Planned Unit Development.

The bulk requirements of the proposed development in the O-R-M/PUD zoning district are summarized in the following table:

1801 Butterfield Rd.	Required	Proposed
South Setback (Street Yard – Lacey Road- Building	36 ft.	117 ft.
East Setback (tollway) - Building	36 ft.	81 ft.
North Setback (Street Yard) - Building	36 ft.	116 ft.
West Setback (Side Yard) - Building	10 ft.	74 ft.
Landscaped Open Space	23,005 sq. ft. (20%)	32,960 sq. ft. (29%)
Floor Area Ratio	1.0	0.14
Building Height	140 ft. (max)	38 ft.
Onsite Parking Spaces	142	150

All parking lot setbacks are existing. An additional fifty “valet” parking spaces located across Lacey Road are also available due to a shared parking agreement with Hamilton Partners, owners and manager of Esplanade at Locust Point. Including the valet spaces, the restaurant has 200 available parking spaces. The petitioner is not requesting any variations from the bulk requirements. A photometric plan has been submitted in compliance with site lighting regulations. Roof top mechanical units will be screened by the second story and the full-height parapet walls as shown in the elevation plans. Landscaping requirements are met with the conversion of the eastern concrete parking lot islands in the row closest to the building.

The petitioner is requesting the following signs associated with the development:

Sign Location	Total Square Footage
North Elevation	159.7 sq. ft.
East Elevation	185.5 sq. ft.
West Elevation	159.7 sq. ft.
Esplanade Monument Sign (existing)	32 sq. ft.
Grand Total	536.9 sq. ft.

The petitioner is requesting the following deviations in order to assist with directing traffic to Lacey Road due to the complexity of the adjacent roadways. The requested deviations are:

1. Permit a total maximum sign area of 536.9 square feet where 300 square feet is permitted.

2. Permit the tollway monument sign to be located on the east façade of the building; and
3. Permit the placement of a sign on the west elevation without frontage.

The petitioner is requesting to swap the allowance for a freestanding monument sign for a wall sign on the east elevation (185.5 square feet). As the tollway monument sign square footage does not count toward the maximum total sign area, the east elevation sign would not count towards the total sign area. Additionally, the Esplanade Monument Sign (32 square feet) was approved as part of the Esplanade's overall sign package for the entire Planned Unit Development. As such, the overall sign area request with these two reductions is 319.4 square feet.

Given the complexity of the adjacent roadways and in order to adequately identify the restaurant, the petitioner has proposed a wall sign on the west façade above the main entrance to the restaurant.

In order for the applicant to apply for a Planned Unit Development, the applicant's proposal must meet one or more objectives identified in Zoning Ordinance Section 4.030.A.2. These objectives are:

- a) implementation of and consistency with the comprehensive plan and other relevant plans and policies;
- b) flexibility and creativity in responding to changing social, economic and market conditions allowing greater public benefits than could be achieved using conventional zoning and development regulations;
- c) efficient and economical provision of public facilities and services;
- d) variety in housing types and sizes to accommodate households of all ages, sizes, incomes and lifestyle choices;
- e) compact, mixed-use development patterns where residential, commercial, civic and open spaces are located in close proximity to one another;
- f) a coordinated transportation system that includes an inter-connected hierarchy of facilities for motorized and non-motorized travel;
- g) high-quality buildings and improvements that are compatible with surrounding areas, as determined by their arrangement, massing, form, character and landscaping;
- h) the protection and enhancement of open space amenities and natural resource features;
- i) the incorporation of sustainable development features including green infrastructure practices in landscapes and parking area, to maximize the aesthetic and water quality benefits of best practices in stormwater management; and
- j) attractive, high-quality landscaping, lighting, architecture and signage, including the use of native landscaping that reflects the unique character of the village and the surrounding area.

ENGINEERING/PUBLIC IMPROVEMENTS

There are no public improvements required as the site is currently served by a public sidewalk along Lacey Road and there are no existing or proposed curb cuts onto Butterfield Road. The modest increase in floor area does not trigger additional traffic improvements per the threshold set by the underlying PUD #31. There is a net impervious area increase of 641 square feet which does not trigger additional storm water detention/treatment. The drainage for the site will tie into the existing stormwater system for the Esplanade development.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division reviewed the proposed development and determined that sufficient access to and around the site is provided for emergency vehicles. The building will be required to include a fire alarm and sprinkler system that meet the Village's code requirements.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property in addition to posting public hearing notice signs and publishing the legal notice in the legal notice in Enterprise Newspapers, Inc (The Bugle). Staff has not received any neighborhood comments/inquiries regarding the proposal at this time.

STANDARDS OF APPROVAL

The petitioner is requesting approval of a final Planned Unit Development amendment to Planned Unit Development #31. The review and approval criterion for each request is listed below.

The petitioner has submitted a narrative that attempts to address all the standards of approval. The Plan Commission should consider the petitioner's documentation, the staff report and the discussion at the Plan Commission meeting in determining whether the standards for approval have been met.

Section 28.12.040.C.6 Review and Approval Criteria

The decision to amend the zoning map to approve a PUD development plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:

- a. The zoning map amendment review and approval criteria of Sec. 12.030.I.*
- b. Whether the proposed PUD development plan and map amendment would be consistent with the comprehensive plan and any other adopted plans for the subject area.*
- c. Whether PUD development plan complies with the PUD overlay district provisions of Sec. 4.030.*
- d. Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.*
- e. Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.*

DRAFT MOTION

Staff will provide a recommendation at the October 1, 2018 meeting. Should the Plan Commission find that the request meets the standards of approval for a Final Planned Unit Development Amendment, staff has prepared a draft motion that the Plan Commission may make for the recommended approval of 18-PLC-0029:

Based on the petitioner's submittal, the staff report and the testimony presented, I find that the petitioner has met the standards of approval for a Final Planned Unit Development #31 Amendment as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 18-PLC-0029, subject to the following conditions:

1. The Planned Unit Development Amendment shall substantially conform to the staff report; and drawings prepared by Aria Group Architects, Inc., dated September 21, 2018, engineering drawings prepared by RWG Engineering, LLC, dated September 13, 2018, and sign drawings prepared by Comet Neon dated September 21, 2018, except as such plans may be modified to conform to the Village codes and ordinances.
2. The building shall be equipped with an automatic suppression and an automatic and manual fire alarm system.
3. A fire hydrant shall be provided within 100 feet of the new fire department connection.

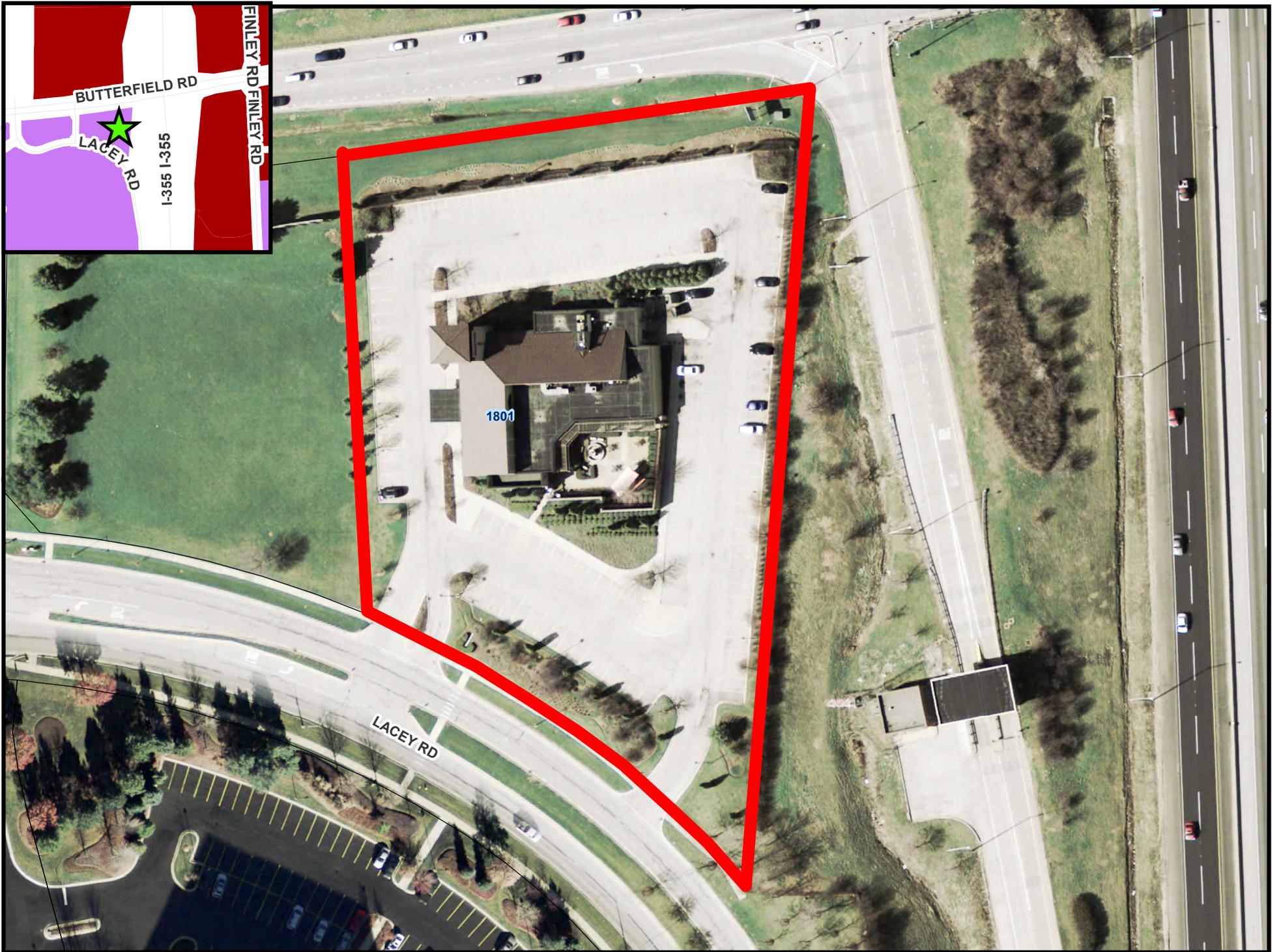
4. The pedestrian connection will be differentiated from the adjacent pavement through the use of elevation or material.

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development

SP:sw
-att



0 30 60 Feet

1801 Butterfield Road - Location Map



Project Summary

The applicant is proposing to demolish the existing Carlucci's restaurant structure at 1801 Butterfield Road and replace it with a new Cooper's Hawk Winery and Restaurant. This change in structure requires approval with a Planned Use Development Amendment. The site has an entrance on Lacey Road but is also bounded by The Veteran's Memorial Tollway (I-355) to the east. No changes to the parking lot or access to the site are being proposed. This is a region with a multitude of successful multi-unit restaurants. The restaurants in the area include both well-known national restaurants as well as easily recognizable local restaurants.

Cooper's Hawk Winery and Restaurants have eleven existing units in Illinois including Oak Park, Naperville, and Burr Ridge in addition to a new unit under construction in New Lenox. The restaurant group is currently headquartered in Countryside but is attaining a national profile with an increasing presence in the Midwest as well as Florida and Virginia along the East coast.

The site is currently zoned O-R-M, Office-Research-Manufacturing within the PD, Planned Unit Development, Overlay district also known as The Esplanade Planned Development or PD #31. The FAR is calculated as part of the overall development but taking the site as an isolated parcel the FAR would be 0.14 (14%) which is considerably less than the maximum allowable FAR of 0.80 (80%).

The vicinity where the restaurant will be built has a much lower density than much of the surrounding area and community. There is ample open-space owing to the more stringent open-space requirements of the Planned Unit Development. The restaurant site is on the perimeter of the Planned Unit Development so the marginal open space along the adjoining roads and tollway contribute to the feeling of spaciousness.

The new Cooper's Hawk Winery and Restaurant will be 12,077 square feet with a roof terrace and outdoor patio on an overall site of 113,451 square feet. The new structure will occupy the same location on the site as the previous restaurant with a different/larger footprint. The small second floor terrace will screen the mechanical units on the first floor roof from view of the nearby mid-rise office buildings. A high parapet wall along the North will prevent the units from being seen from Butterfield road.

Landscaping will be modified and enhanced by the landscape architect while preserving high-quality, established and mature plant material. The parking lot is in compliance with the setback requirements for parking and is anticipated to remain and reuse the existing 150 stalls – including 5 ADA spaces. Existing pole-mounted parking lot lighting will remain. (A photometric plan has been provided) Cooper's Hawk Winery and Restaurants has an agreement with the developer to use 50 parking spaces across Lacey Road as a valet parking lot. (A copy of the agreement is included with the submittal)

In addition to the signage shown on the building, we are proposing two monument signs. One sign would replace the existing Carlucci's sign on the corner of Butterfield Road and Esplanade Road. This sign will be on property owned by the developer of the PD. The other sign will be located on

the site near the Lacey Road access point and act as a wayfinding signage to direct customers towards the site.



Review and Approval Criteria
PLANNED UNIT DEVELOPMENT

Plan Commission Number & Title: _____

A DETAILED RESPONSE TO ALL OF THE STANDARDS SHALL BE PROVIDED, SPECIFYING HOW EACH STANDARD IS OR IS NOT MET.

Section 28.12.040.C.6 Review and Approval Criteria (Planned Unit Development)

The decision to amend the zoning map to approve a PUD development plan and to establish a PUD overlay district are matters of legislative discretion that are not controlled by any single standard. In making recommendations and decisions regarding approval of planned unit developments, review and decision-making bodies must consider at least the following factors:

1. ***The zoning map amendment review and approval criteria of Sec. 12.030.I.***
See the analysis of zoning map amendment review and approval criteria in separate document.
2. ***Whether the proposed PUD development plan and map amendment would be consistent with the Comprehensive Plan and any other adopted plans for the subject area.***
Since the proposed restaurant replaces an existing restaurant we feel it is still consistent with the Comprehensive Plan.
3. ***Whether PUD development plan complies with the PUD overlay district provisions of Sec. 4.030.***
The proposed restaurant is within all the requirements of the previous existing restaurant with minor modifications to the existing site, utilities, etc.
4. ***Whether the proposed development will result in public benefits that are greater than or at least equal to those that would have resulted from development under conventional zoning regulations.***
Currently the existing restaurant is closed for business. The new proposed restaurant will provide a new, well known local restaurant concept to the development.
5. ***Whether appropriate terms and conditions have been imposed on the approval to protect the interests of surrounding property owners and residents, existing and future residents of the PUD and the general public.***
Since the proposed restaurant replaces an existing restaurant we feel it keeps the interests of the surrounding property owners in mind. Cooper's Hawk has always made a point to "be a good neighbor" to surrounding properties.

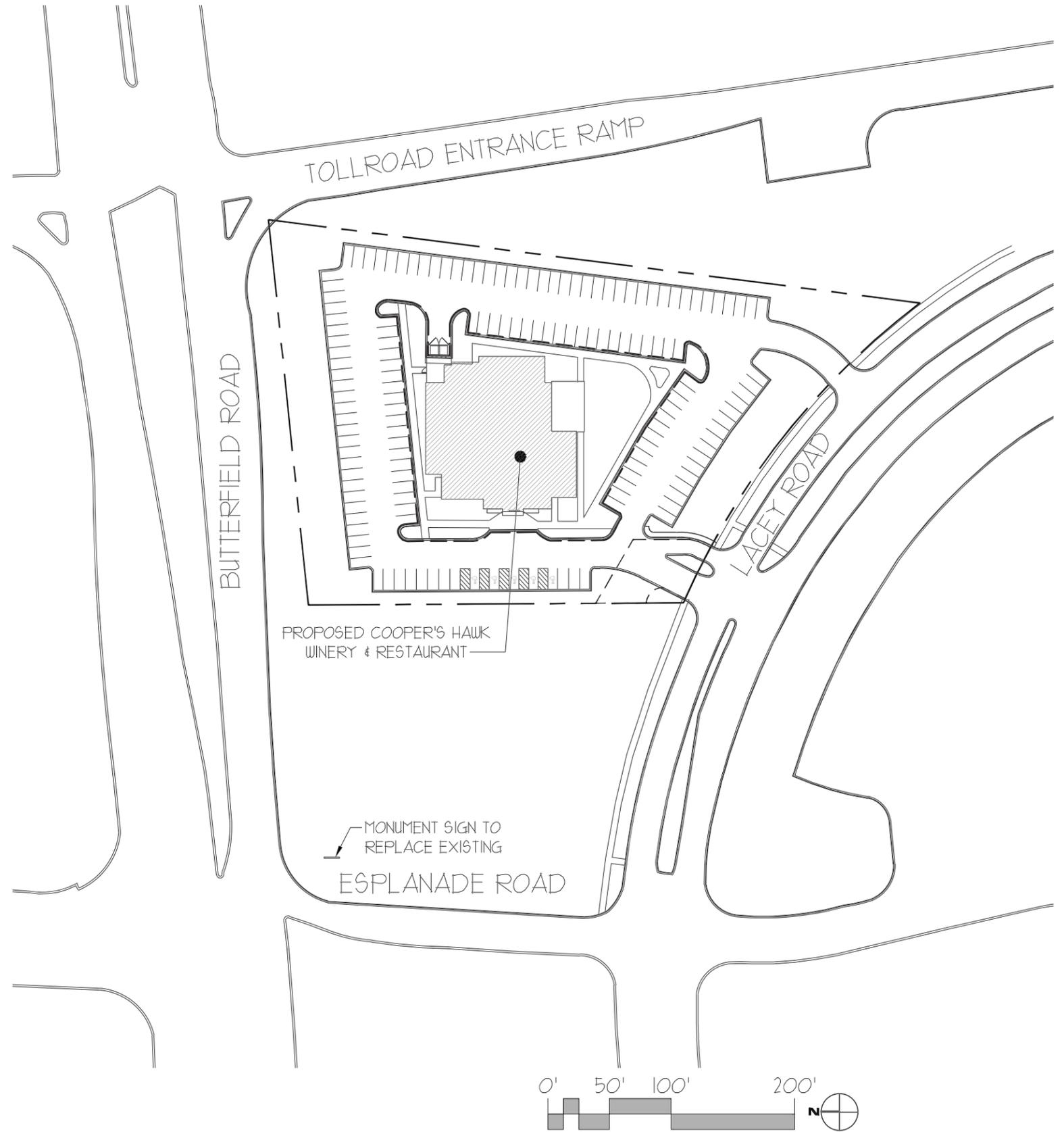
ZONING ANALYSIS

ADDRESS:	1801 BUTTERFIELD ROAD, DOWNERS GROVE IL. 60515
PIN:	06-30-304-002
ZONING DISTRICT:	O-R-M WITHIN THE PUD OVERLAY DISTRICT (PD #31)
EXISTING USE:	VACANT RESTAURANT
PROPOSED USE:	RESTAURANT
PETITION TYPE:	PLANNED UNIT DEVELOPMENT AMENDMENT
DEVIATIONS:	1. OFFSITE MONUMENT SIGN TO REPLACE EXISTING OFFSITE MONUMENT SIGN 2. BUILDING MOUNTED SIGN ON WESTERN FACADE WHERE THERE IS NO PUBLIC R.O.W.

REQUIREMENT	EXISTING	NEW
LOT FRONTAGE	135.64'	135.64'
LOT AREA	2.641 ACRES (115,025 SQ. FT.)	2.641 ACRES (115,025 SQ. FT.)
LOT WIDTH	313.91'	313.91'
STREET YARD	112.72'	115'
REAR YARD	120.49'	105'
SIDE YARD	70.15'	74.5'
HEIGHT	48'-5"	38'-0"
OPEN SPACE	86%	85%
FAR	0.13	0.14
PARKING	145 + 5 ADA	145 + 5 ADA
IMPERVIOUS SURFACE	19,602(CURB IN) + 62,261(PARKING) =81,863 SQ. FT.	19,195(CURB IN) + 62,261(PARKING) =81,456 SQ. FT.

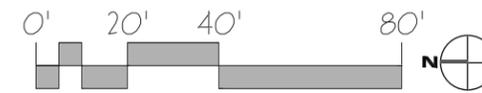
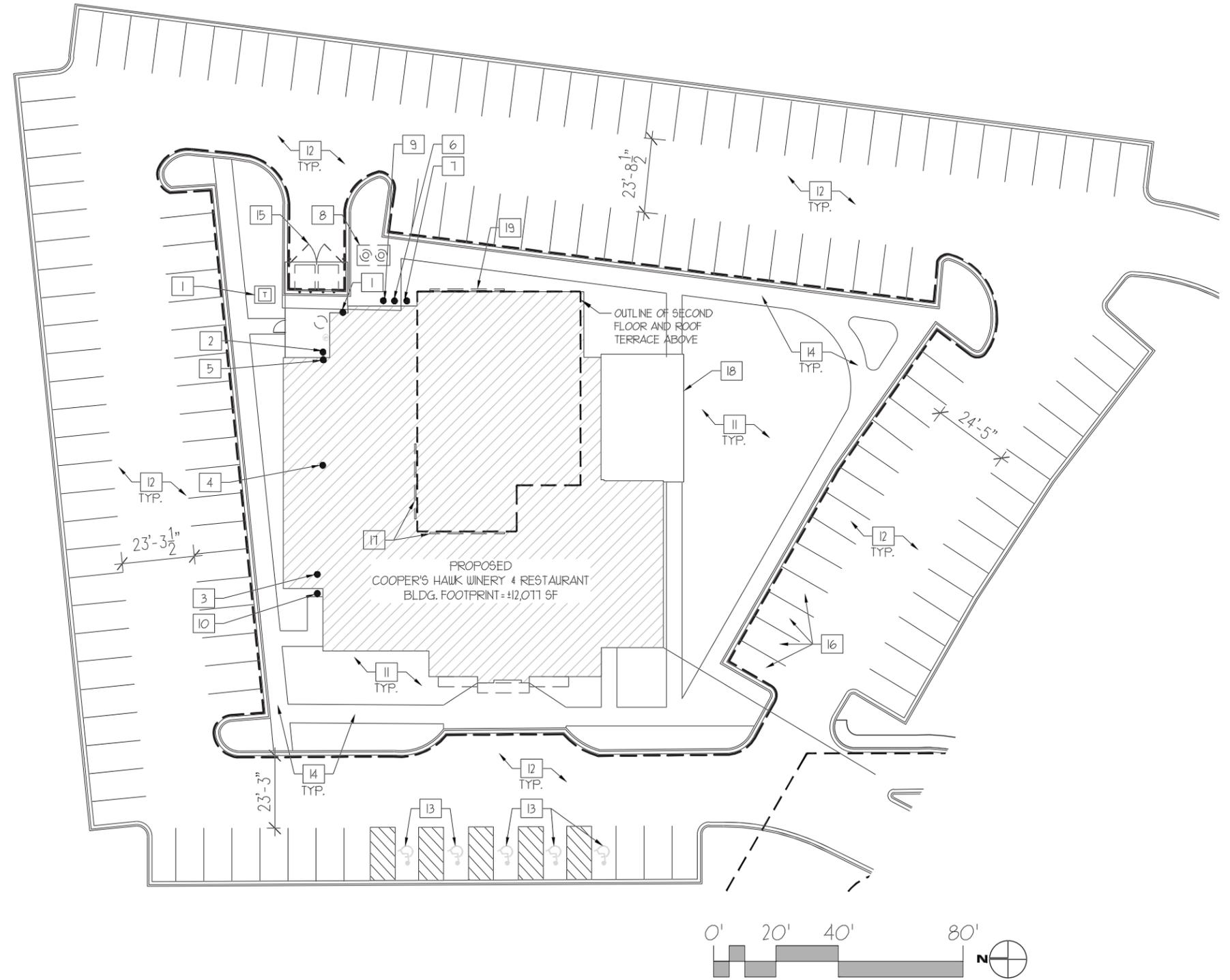
Square Footage	
Ground Floor Interior	12077
Ground Floor Patio	1061
GROUND FLOOR TOTAL	13,138
Second Floor Interior	2,117
Second Floor Terrace	1,507
SECOND FLOOR TOTAL	3,624
TOTAL SQUARE FOOTAGE	16762

Seating Count	
Ground Floor Interior	273
Ground Floor Patio	52
GROUND FLOOR TOTAL	325
Second Floor Interior	53
Second Floor Terrace	64
SECOND FLOOR TOTAL	117
TOTAL SEATS	442



KEYNOTES

- 1 EXISTING ELECTRICAL SERVICE AND TRANSFORMER TO REMAIN
- 2 EXISTING WATER SERVICE TO REMAIN
- 3 EXISTING SPRINKLER / FIRE SERVICE TO REMAIN
- 4 EXISTING STORM LINE TO REMAIN
- 5 EXISTING NATURAL GAS SERVICE TO REMAIN
- 6 EXISTING SANITARY SEWER TO REMAIN
- 7 EXISTING GREASE LINE TO REMAIN
- 8 EXISTING DEDICATED 1100 GALLON EXTERIOR GREASE INTERCEPTOR TO REMAIN
- 9 EXISTING PHONE AND CABLE SERVICE TO REMAIN
- 10 FDC CONNECTION.
- 11 EXISTING LANDSCAPING AND LANDSCAPE IRRIGATION TO BE MODIFIED BY TENANT IN ACCORDANCE WITH ALL CODES.
- 12 EXISTING PARKING AND PARKING LOT LIGHTING TO REMAIN
- 13 EXISTING ADA PARKING SPACES TO REMAIN
- 14 EXISTING SIDEWALKS, CURBS AND HARDSCAPES TO REMAIN
- 15 SERVICE YARD SCREEN AND GATE BY TENANT.
- 16 DESIGNATED PARKING SPOTS FOR TAKE-OUT AND RELATED SIGNAGE BY TENANT. (4 TOTAL)
- 17 PROPOSED SIGNAGE LOCATION, ASSOCIATED POWER AND BLOCKING BY TENANT.
- 18 PATIO CANOPY
- 19 PROPOSED TOLLWAY SIGN LOCATION, ASSOCIATED POWER AND BLOCKING BY TENANT.











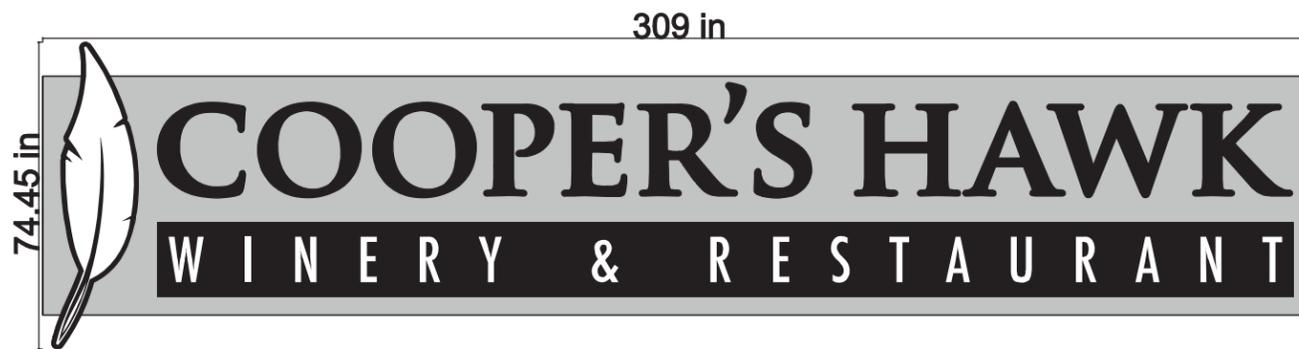






Downers Grove, IL

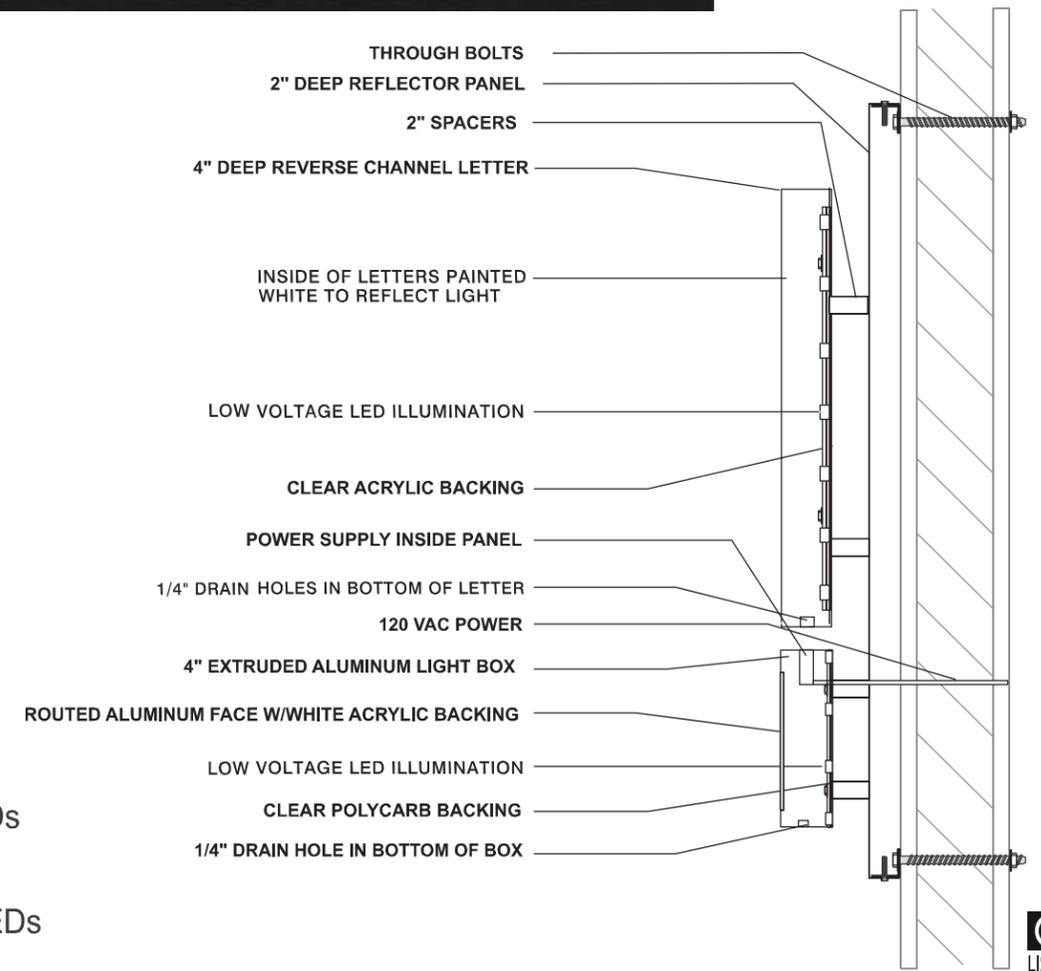
Total Sign Area: 159.7 SQ FT
Power: 120V, 5A



AREA: 74.45 x 309 = 23,005 SQ. IN.
= 159.7 SQ. FT.

MAIN SIGN - WEST ELEVATION

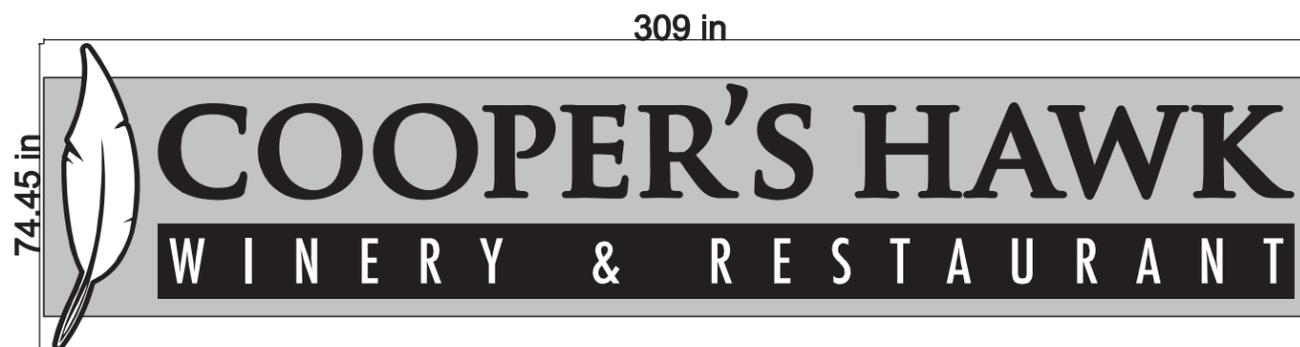
REVERSED CHANNEL LETTERS MOUNTED ON REFLECTOR PANEL
 WIREWAY REFLECTOR PANEL: 58" x 309" PAINTED AKZO 498D2 (GRAY)
 COOPER'S HAWK: 22.4" REVERSE LIT LETTERS PAINTED BLACK, RED LEDs
 FEATHER: 74.45" X 21.1" FRONT LIT/REVERSE LIT CAPSULE. SIDES PAINTED BLACK, WHITE LEDs
 WINERY & RESTAURANT: 18.13" X 276.7" FRONT LIT / REVERSE LIT LIGHT BOX,
 ROUTED ALUMINUM FACE, WITH WHITE ACRYLIC BACKING, BOX PAINTED BLACK, WHITE LEDs



 <p>— SIGNS · AWNINGS · SERVICE —</p>	<p>1120 N. Ridge Ave. Lombard, IL 60148 Phone: (630) 656-1085 Fax: (630) 656-1088</p>	<p>Client Name: Cooper's Hawk Winery & Restaurant Location: Downers Grove, IL</p>	<p>DG-MAIN WEST</p>	<p>..... Client Approval Landlord Approval</p>
--	---	---	---------------------	--

Downers Grove, IL

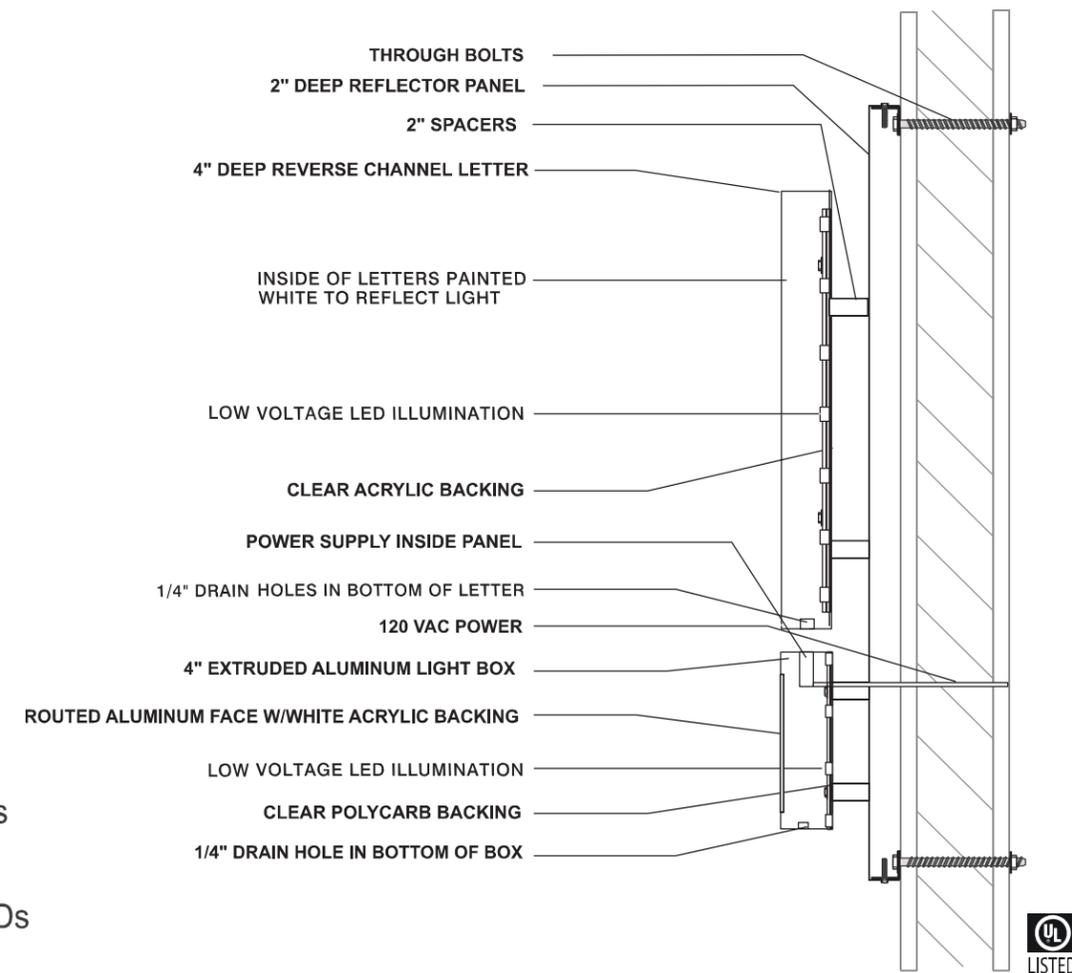
Total Sign Area: 159.7 SQ FT
Power: 120V, 5A



AREA: 74.45 x 309 = 23,005 SQ. IN.
= 159.7 SQ. FT.

MAIN SIGN - NORTH ELEVATION

REVERSED CHANNEL LETTERS MOUNTED ON REFLECTOR PANEL
 WIREWAY REFLECTOR PANEL: 58" x 309" PAINTED AKZO 498D2 (GRAY)
 COOPER'S HAWK: 22.4" REVERSE LIT LETTERS PAINTED BLACK, RED LEDs
 FEATHER: 74.45" X 21.1" FRONT LIT/REVERSE LIT CAPSULE. SIDES PAINTED BLACK, WHITE LEDs
 WINERY & RESTAURANT: 18.13" X 276.7" FRONT LIT / REVERSE LIT LIGHT BOX,
 ROUTED ALUMINUM FACE, WITH WHITE ACRYLIC BACKING, BOX PAINTED BLACK, WHITE LEDs



 <p>— SIGNS · AWNINGS · SERVICE —</p>	<p>1120 N. Ridge Ave. Lombard, IL 60148 Phone: (630) 656-1085 Fax: (630) 656-1088</p>	<p>Client Name: Cooper's Hawk Winery & Restaurant Location: Downers Grove, IL</p>	<p>DG-MAIN NORTH</p>	<p>..... Client Approval Landlord Approval</p>
--	---	---	----------------------	--

Downers Grove, IL

Total Sign Area: 185.5 SQ FT
Power: 120V, 6A



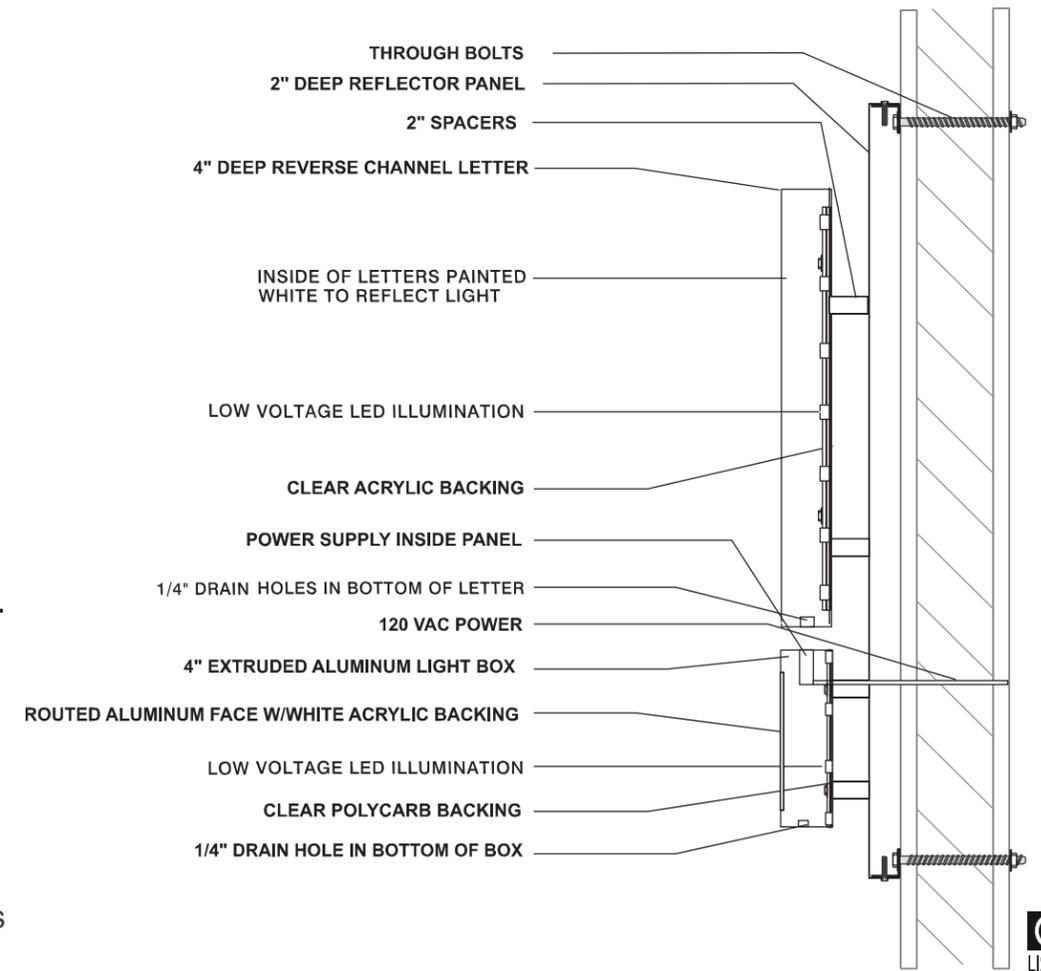
333 in



AREA: 80.23 x 333 = 26,717 SQ. IN.
= 185.5 SQ. FT.

MAIN SIGN - EAST ELEVATION (TOLLWAY SIGN)

REVERSED CHANNEL LETTERS MOUNTED ON REFLECTOR PANEL
 WIREWAY REFLECTOR PANEL: 62.5" x 333" PAINTED AKZO 498D2 (GRAY)
 COOPER'S HAWK: 24.1" REVERSE LIT LETTERS PAINTED BLACK, RED LEDs
 FEATHER: 80.2" X 22.7" FRONT LIT/REVERSE LIT CAPSULE. SIDES PAINTED BLACK, WHITE LEDs
 WINERY & RESTAURANT: 19.5" X 298.2" FRONT LIT / REVERSE LIT LIGHT BOX,
 ROUTED ALUMINUM FACE, WITH WHITE ACRYLIC BACKING, BOX PAINTED BLACK, WHITE LEDs



1120 N. Ridge Ave.
Lombard, IL 60148
Phone: (630) 656-1085
Fax: (630) 656-1088

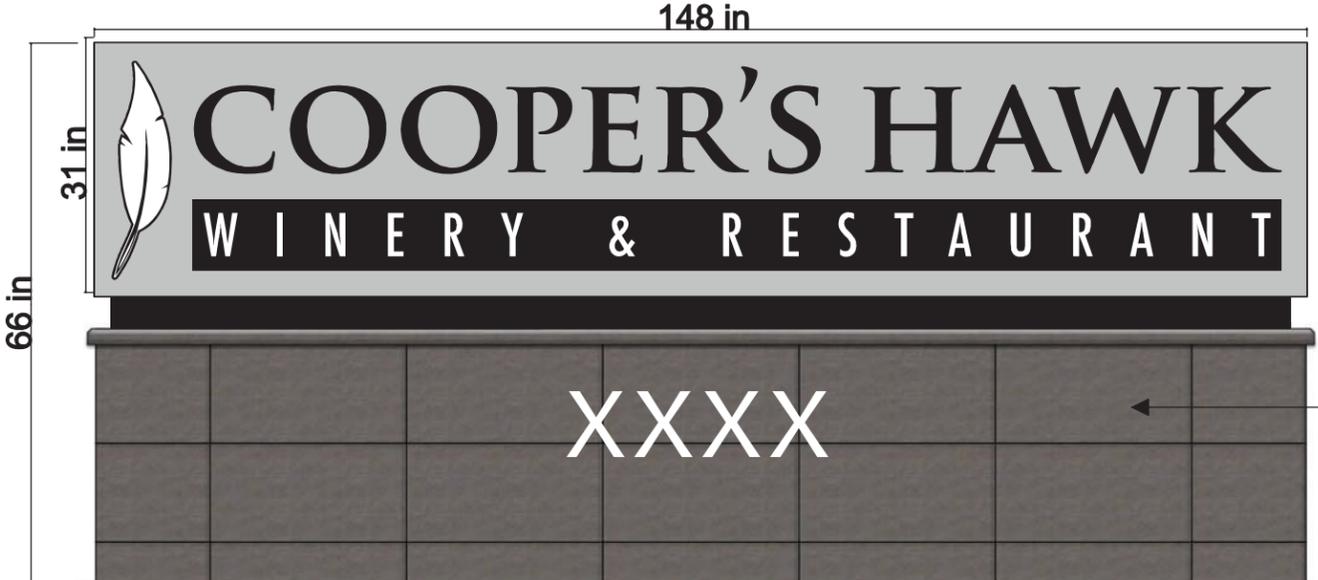
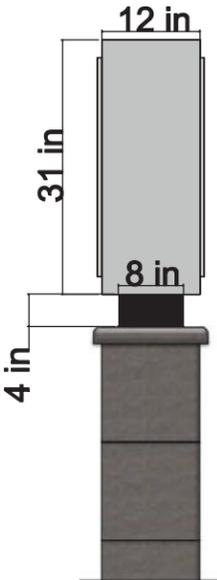
Client Name: Cooper's Hawk Winery & Restaurant
 Location: Downers Grove, IL

DG-MAIN EAST

.....
 Client Approval

 Landlord Approval

Free Standing Ground Sign Quantity: (1)



Tile size for concept only. Final size will coordinate with approved building material panel sizes.

2-sided routed aluminum sign cabinet painted AKZO 498D2 (Gray) with push through acrylic letters. Internal LED Illumination.

Address numbers: 8" high, routed 1/4" aluminum (white), pin mounted to base. 2 sets.

Base: Faux concrete panels mounted to CMU wall.

Cast Stone Sill (2 1/4" x 2 1/4" with 3/4" bevel; Smooth texture; color to match faux concrete panels).





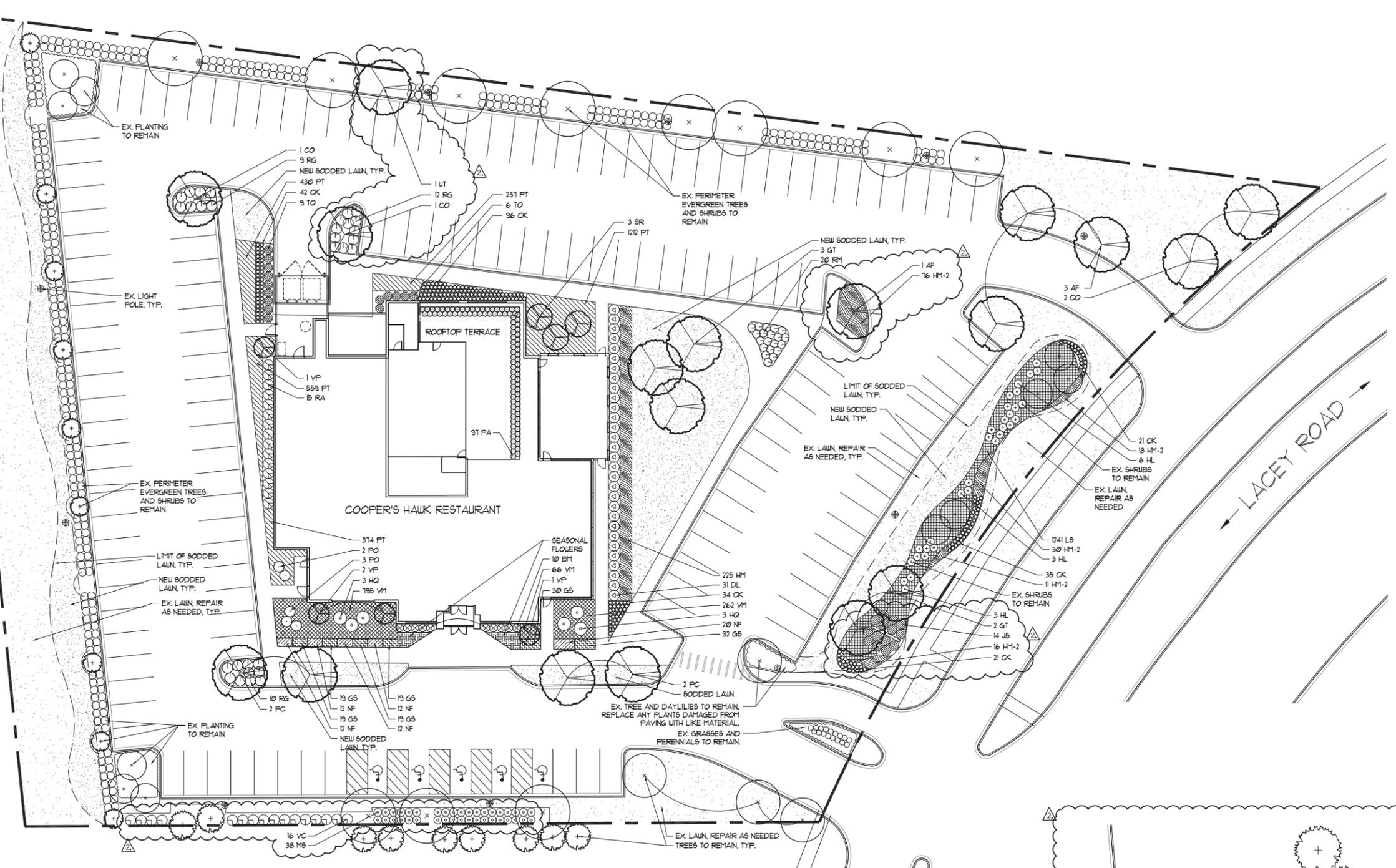
**DANIEL WEINBACH
&
PARTNERS, LTD.**

Landscape Architects

53 W. Jackson Blvd.
Suite 250
Chicago, IL 60604
312 427-2888
www.dwpfld.com

BUTTERFIELD ROAD →

→ LACEY ROAD

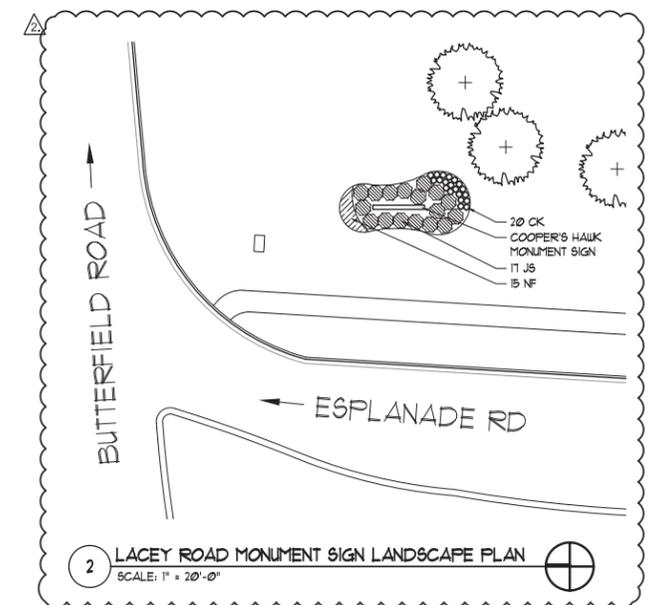


1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

NOTE:
REFER TO ARCHITECTURAL DRAWINGS FOR INFORMATION REGARDING OPEN SPACE CALCULATIONS.

CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
DECIDUOUS TREES						
AF	ACER X FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3" CAL.	B4B	4	BRANCHED UP 6'
UT	ULMUS X MORTONI GLOSSY	TRUMPET ELM	3" CAL.	B4B	1	BRANCHED UP 6'
CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	3" CAL.	B4B	4	BRANCHED UP 6'
GT	GLEDITSIA T. VAR. INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	3" CAL.	B4B	5	BRANCHED UP 6'
ORNAMENTAL TREES						
FC	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	3" CAL.	B4B	4	BRANCHED UP 6'
VP	VIBURNUM PRINIFOLIUM	BLACKHAW VIBURNUM	5' HT.	B4B	4	CLUMP FORM
SR	SYRINGA RETICULATA	JAPANESE TREE LILAC	8' HT.	B4B	3	CLUMP FORM

CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
DECIDUOUS AND EVERGREEN SHRUBS						
HL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	5 GAL.	CONT.	12	SPACED AS SHOWN
HQ	HYDRANGEA PANICULATA 'LITTLE QUICKFIRE'	LITTLE QUICKFIRE HYDRANGEA	5 GAL.	CONT.	15	SPACED AS SHOWN
RG	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	3 GAL.	CONT.	31	SPACED AS SHOWN
RM	ROSA 'MEIDRIFORA'	CORAL DRIFT ROSE	3 GAL.	CONT.	20	SPACED AS SHOWN
DL	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	5 GAL.	CONT.	31	SPACED AS SHOWN
FO	PHYSOCLADUS OPULIFOLIUS 'SEWARD'	SUMMER WINE NINEBARK	30" HT.	CONT.	5	SPACED AS SHOWN
RA	RIESES ALPINUM	ALPINE CURRANT	5 GAL.	CONT.	15	SPACED AS SHOWN
BM	BUXIS MICROPHYLLA 'WINTERGREEN'	WINTERGREEN BOXWOOD	24" HT.	CONT.	10	SPACED AS SHOWN
VC	VIBURNUM CARLESII 'CATYGA'	CATYGA KOREANSPICE VIBURNUM	30" HT.	CONT.	16	SPACED AS SHOWN
JS	JUNIFERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	30" SPD.	CONT.	31	SPACED AS SHOWN
TO	THUJA OCCIDENTALIS 'SPACED'	EMERALD GREEN ARBORVITAE	6" HT.	CONT.	15	SPACED AS SHOWN
GROUNDCOVERS, VINES, AND PERENNIALS						
PT	PACHYSANDRA TERMINALIS 'GREEN CARPET'	GREEN CARPET PACHYSANDRA	3" POT.	CONT.	282	SPACED 8" O.C.
VM	VINCA MINOR 'DART'S BLUE'	DART'S BLUE PERIWINKLE	3" POT.	CONT.	1263	SPACED 10" O.C.
LS	LIRIOPE SPICATA	CREeping LILYTUFE	3" POT.	CONT.	1241	SPACED 24" O.C.
MS	MISCANTHUS SINENSIS 'PURPURASCENS'	PURPLE MAIDEN GRASS	1" GAL.	CONT.	38	SPACED AS SHOWN
NF	NEPETA FAZARRENTI 'BLUE WUNDER'	BLUE WUNDER CATMINT	1" GAL.	CONT.	83	SPACED 15" O.C.
GS	GERANIUM BANGUINUM 'MAX FREI'	MAX FREI BLOODY CRANESBILL	1" GAL.	CONT.	155	SPACED 12" O.C.
CK	CALAMAGROSTIS KARL FOERSTER	FEATHER REED GRASS	1" GAL.	CONT.	249	SPACED AS SHOWN
FA	FENISTEMUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	1" GAL.	CONT.	91	SPACED 24" O.C.
HM	HEMOROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1" GAL.	CONT.	120	SPACED 18" O.C.
	HEMOROCALLIS 'LITTLE BUSINESS'	LITTLE BUSINESS DAYLILY	1" GAL.	CONT.	121	EVENLY MIXED
HM-2	HEMOROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1" GAL.	CONT.	67	SPACED 18" O.C.
	HEMOROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1" GAL.	CONT.	68	EVENLY MIXED



2 LACEY ROAD MONUMENT SIGN LANDSCAPE PLAN
SCALE: 1" = 20'-0"

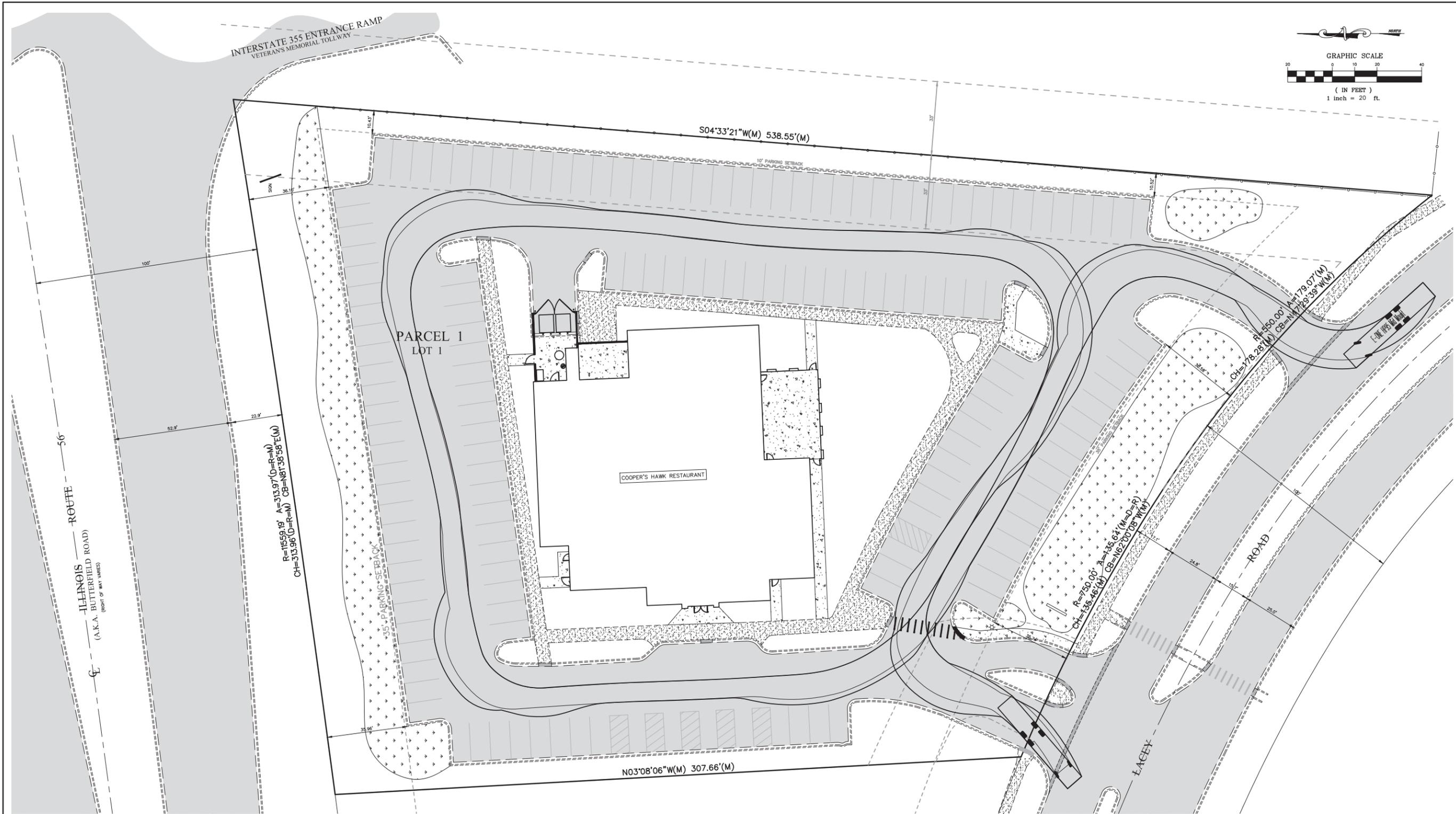
Revisions	
8.	
7.	
6.	
5.	
4.	
3.	
2.	REVISED PER COMMENTS 9/13/18
1.	ISSUED FOR VILLAGE APPROVAL 8/17/18

COOPER'S HAWK

1801 BUTTERFIELD ROAD
DOWNERS GROVE, ILLINOIS

LANDSCAPE PLAN

Date	08/17/18	Project No.	DWP 18-175
Scale	1" = 20'-0"	Sheet No.	L-2.0
Drawn By	RT	Approved	WS



DATE	REVISIONS	DRAWN BY

COOPER'S HAWK
 DOWNERS GROVE, ILLINOIS
 SITE GEOMETRIC AND PAVING PLAN

RWG Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management
 975 E. 22nd St. Suite 400
 Wheaton, IL 60189
 630.480.7889
 www.rwg-engineering.com

PROJECT NO. 38514818
 DATE 09/13/18
 SCALE 1"=20'
 PROJ. MGR. RWG
 PROJ. ASSOC. RWG
 DRAWN BY ILM

SHEET
 1 OF 1



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE PLAN COMMISSION
OCTOBER 1, 2018 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
18-PLC-0030 2501 Ogden Avenue	Special Use Amendment for an Automobile Dealership	Flora Ramirez Planner

REQUEST

The petitioner is requesting approval of a Special Use Amendment to expand an existing automobile dealership outdoor display area at 2501 Ogden Avenue.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER: AJZ-Downers Grove II, LLC
4201 Stadium Drive
Kalamazoo, MI 49008

APPLICANT: Ziegler Auto Group, Inc.
4201 Stadium Drive
Kalamazoo, MI 49008

PROPERTY INFORMATION

EXISTING ZONING: B-3, General Services and Highway Business
EXISTING LAND USE: Corridor Commercial
PROPERTY SIZE: 77,222 sq. ft. (1.773 acres)
PINS: 08-01-306-024

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	B-3, General Services and Highway Business	Corridor Commercial
SOUTH:	R-1, Residential Detached House 1	Single Family Residential
WEST:	B-3, General Services and Highway Business	Corridor Commercial
EAST:	R-1, Residential Detached House 1	Single Family Residential

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development:

1. Project Narrative

2. Plat of Survey
3. Engineering Plans
4. Landscape Plan
5. Photometric
6. Parking Exhibit
7. Fire Truck Turning Exhibit

PROJECT DESCRIPTION

The applicant is requesting a Special Use Amendment to expand an existing automobile dealership outdoor display area at the southeast corner of Cross Street and Ogden Avenue, commonly known as 2501 Ogden Avenue. The property is zoned B-3, General Services and Highway Business and is an existing car dealership. An automobile dealership is an allowable Special Use in the B-3 zoning district per Section 5.010 of the Zoning Ordinance.

Currently, the subject property is improved with a one-story commercial building and a paved parking area north, south, and southeast of the building. The site contains one Ogden Avenue curb cut. There is no curb cut along Cross Street. The public sidewalk along Ogden Avenue is located in the right-of-way.

Proposed Development

The petitioner is proposing to use the existing one-story commercial building, resurface the existing parking lot, and expand the parking lot to the northeast. The majority of the parking lot shall be used for display of vehicles with customer parking in front of the building. The one-story commercial building shall continue to be used for office space.

Currently, there is one curb cut along Ogden Avenue and no curb cuts along Cross Street. Access will not be changed. A new sidewalk is proposed along Cross Street in the right-of-way, running south for 88 feet from the existing sidewalk along Ogden. Currently, the parking lot is striped and allows for 99 vehicle display parking stalls. The improvements to the site would include resurfacing, restriping, landscaping, and expanding the parking lot. The parking spaces on the north, east, and south side of the property will be used for display of sale cars and the twelve spaces in front of the building plus two handicap spaces shall be reserved for customer parking. Parking on the property meets the zoning requirements. The petitioner has provided a photometric plan for the proposed parking lot lighting. All lighting will be directed towards the building, driveways, and parking areas and away from the adjacent residential areas.

The petitioner is proposing landscaping around the perimeter of the property, in conformance with the Village requirements. Landscape islands will be at the end of all parking rows. New trees and plantings will screen the east and south side adjacent to the residential properties. Furthermore, an existing 6' fence will remain in place on the south side adjacent to a residentially zoned property and a new 6' fence will be installed on the east side adjacent to the residential property. Other improvements include a pedestrian connection between the building and Cross Street and Ogden Avenue. The trash generated for this property will be managed through a residential sized trash tote and will be kept inside the building until trash collection day. No exterior changes have been proposed to the existing building

COMPLIANCE WITH THE COMPREHENSIVE PLAN

The Comprehensive Plan's Future Land Use Map designates this property as Corridor Commercial. Corridor Commercial uses include smaller regional commercial retails (such as auto dealers) that provide services and retail opportunities to the nearby neighborhoods and the surrounding region. The Comprehensive Plan specifically mentions that the Ogden Avenue corridor should continue to contain a range of these type of uses.

The Comprehensive Plan calls for aesthetic and functional improvements along Ogden Avenue. The petitioner is proposing improvements that include the beautification of Ogden Avenue through the addition of landscaping and by improving pedestrian connectivity by installing a new sidewalk on Cross Street. Furthermore, the Comprehensive Plan also calls for auto services uses to be located at the western end of Ogden Avenue to enhance the existing cluster of dealerships.

The proposed expansion of the existing automobile dealership outdoor display area at this property is consistent with the Comprehensive Plan.

COMPLIANCE WITH ZONING ORDINANCE

The property is zoned B-3, General Services and Highway Business. The proposed personal vehicle sales business is an allowable Special Use in the B-3 District per Section 5.010 of the Zoning Ordinance. The existing building is compliant with all of the required bulk standards. The table below identifies the required regulations and what is proposed:

2501 Ogden Avenue	Required	Proposed/ Existing
North Setback (Street Yard – Ogden Avenue) - Building	75 ft.	169.1 ft. (Existing)
West Setback (Street Yard – Cross Street) - Building	25 ft.	54.8 ft. (Existing)
South Setback (Rear Yard) - Building	20 ft.	123.9 ft. (Existing)
East Setback (Side Yard) - Building	8.6 ft.	135.1 ft. (Existing)
North Setback – (from Ogden Centerline) - Parking	50 ft.	51.7 ft.
West Setback (from Cross Street) - Parking	8 ft.	15.8 ft.
South Setback (Rear Yard) - Parking	20 ft.	21.4 ft.
East Setback (Side Yard) - Parking	8.6 ft.	9.8 ft.
Landscaped Open Space	7,722.2 sq. ft. (10%)	13,770 sq. ft. (17.83%)
Street yard Landscaped Open Space	3,861.1 sq. ft. (50%)	9,943 sq. ft. (77.66%)
Floor Area Ratio	0.75 (max)	n/a
Building Height	60 ft. (max)	n/a
Parking Spaces	12 spaces	14 spaces

ENGINEERING/PUBLIC IMPROVEMENTS

The property will expand the existing footprint of the impervious area and therefore on-site stormwater management is required. There are two existing detention facilities on site. The petitioner has provided a stormwater memo showing that the existing surface storage volume that was previously required is being provided to meet this requirement. Additionally, a section of the southeast portion of the parking lot expansion will be constructed with permeable pavers to meet the required Post Construction Best Management Practices Storage Volumes.

The turning exhibit demonstrating the appropriate turning radii has been reviewed by staff. The petitioner shall provide a sidewalk within the right-of-way along Cross Street for 88 feet heading south from Ogden Avenue. The length of this sidewalk is limited to 88 feet while Public Works further reviews the surrounding area (utilities, grade of road, existing ditches) to determine which side (east or west) of Cross Street will have a full length sidewalk installed in the future.

PUBLIC SAFETY REQUIREMENTS

The Fire Prevention Division has determined that the proposed development provides sufficient access for emergency vehicles. The site layout permits Fire Department apparatus the opportunity to enter and exit the site from the Ogden Avenue curb cut.

NEIGHBORHOOD COMMENT

Notice was provided to all property owners 250 feet or less from the property in addition to posting public hearing notice signs and publishing the legal notice in *Enterprise Newspapers, Inc. (The Bugle)*. One inquiry was received regarding the proposed requirement, staff explained the proposal and shared a link to the online agenda packet.

STANDARDS OF APPROVAL

The petitioner is requesting a Special Use Amendment, to expand an existing automobile dealership outdoor display area at 2501 Ogden Avenue. The review and approval criteria for this request is listed below. The petitioner has submitted a narrative that attempts to address all the standards of approval. The Plan Commission should consider the petitioner's documentation, the staff report and the discussion at the Plan Commission meeting in determining whether the standards for approval have been met.

Section 28.12.050.H Approval Criteria

No special use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed special use is constituent with and in substantial compliance with all Village Council policies and plans and that the applicant has presented evidence to support each of the following conclusions:

- 1. That the proposed use is expressly authorized as a Special Use in the district in which it is to be located;***
- 2. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.***
- 3. That the proposed use will not, in the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.***

DRAFT MOTION

Staff will provide a recommendation at the October 1st, 2018 meeting.

Should the Plan Commission find that the request meets the standards of approval for a Special Use Amendment, staff has prepared a draft motion that the Plan Commission may make for the recommended approval of 18-PLC-0030:

Based on the petitioner's submittal, the staff report and the testimony presented, I find that the petitioner has met the standards of approval for the Special Use Amendment as required by the Village of Downers Grove Zoning Ordinance and is in the public interest and therefore, I move that the Plan Commission recommend to the Village Council approval of 18-PLC-0030, subject to the following conditions:

1. The Special Use Amendment shall substantially conform to the staff report; and development plans prepared by SPACECO Inc. dated August 27, 2018 and last revised on September 17,

- 2018, except as such plans may be modified to conform to the Village codes and ordinances.
2. A pedestrian connection from the existing building to Ogden Avenue shall be provided in accordance with the Zoning Ordinance.
 3. The site lighting shall meet the lighting requirements as per Section 10.030 of the zoning ordinance.
 4. All trash bins shall be kept inside the building.
 5. All test drives are limited to arterial streets as defined in the Comprehensive Plan. Arterial streets include: Ogden Avenue, Belmont Road, Warrant Avenue, and Main Street.
 6. No business activities may be conducted on Cross Street or Ogden Avenue.
 7. All vehicle deliveries must be completed on private property. Deliveries may not take place on Cross Street or Ogden Avenue.

Staff Report Approved By:

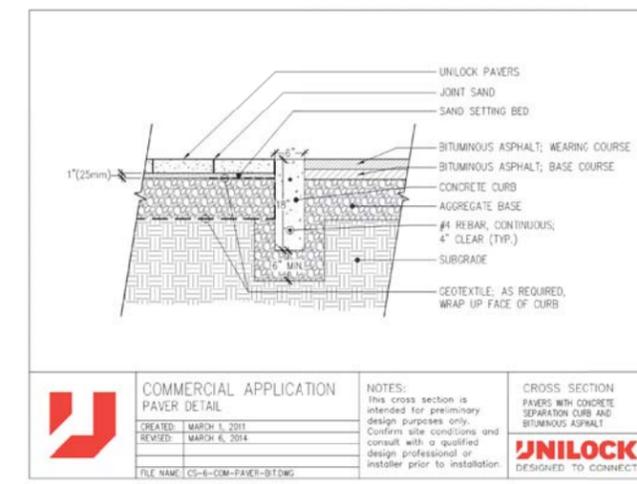
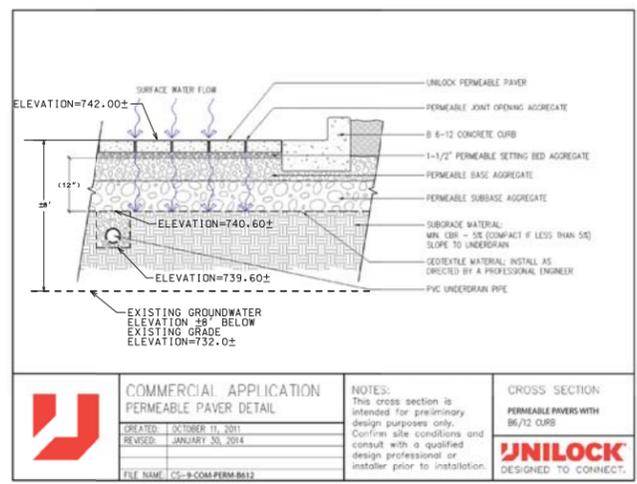
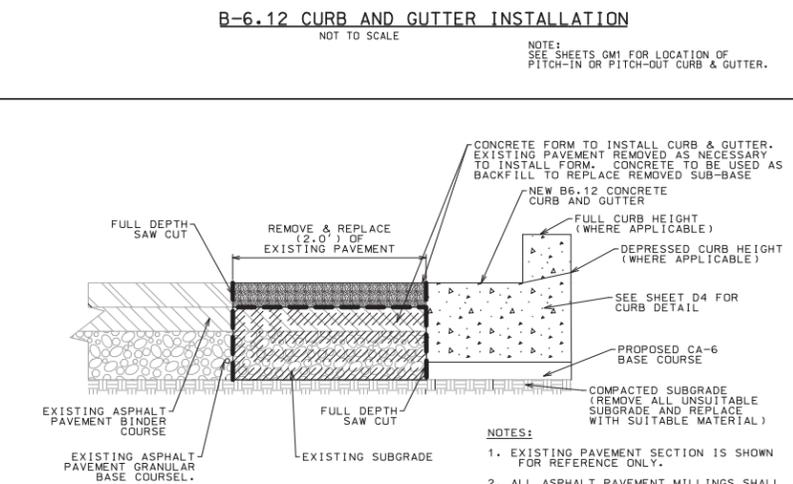
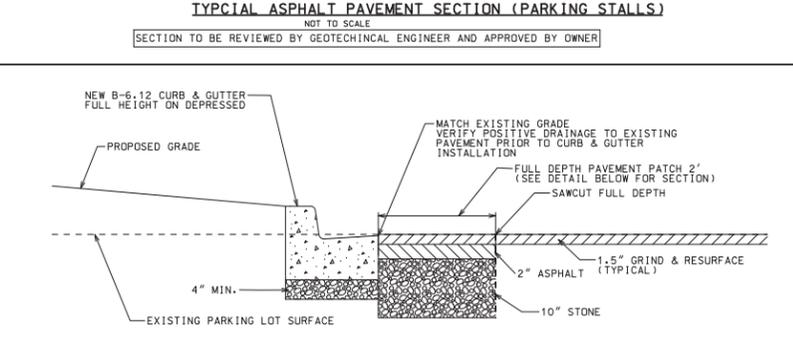
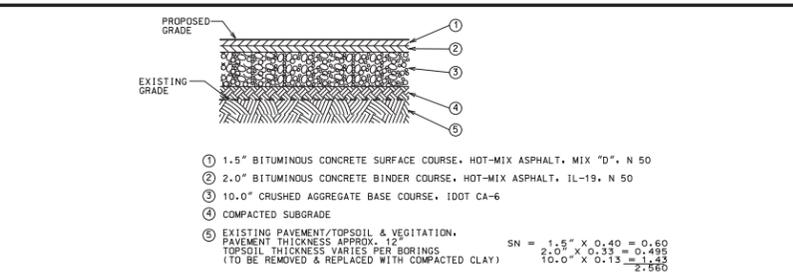


Stanley J. Popovich, AICP
Director of Community Development

SP; fr
-att

- 1. REFERENCED CODES**
- GENERAL NOTES**
- ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND SUPPLEMENTAL SPECIFICATIONS AND REQUIRED SPECIAL PROVISIONS ADOPTED APRIL 1, 2016 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THEREON AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.
 - ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION JANUARY 2014, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.
 - ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILLINOIS HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN.
 - THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
- 2. UTILITY LOCATIONS**
- THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL J.U.L.L.E.C. AT 600-992-0123 AND THE MUNICIPALITY FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.
 - EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF ALL UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- 3. UTILITY COORDINATION**
- OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION SEQUENCING WHICH COORDINATES WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.
 - THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. ATST SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. ALL OTHER AGENCIES, UNLESS OTHERWISE NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.
- NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION". PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
 - ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
 - UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.
 - THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.
 - CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- 9. COMMENCING CONSTRUCTION**
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING OF COMMENCEMENT OF WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MAKE THE APPROVAL OF THE OWNER.
 - FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
- ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.
 - THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
 - ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
 - REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
 - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.
 - THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
 - ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.
 - TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSRBC) ARTICLE 201.05.
 - LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
 - ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.
 - ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGER BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

- 22. GENERAL EXCAVATION/UNDERGROUND NOTES**
- SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE DUE TO SPACE RESTRICTIONS OR STABILITY OF MATERIAL EXCAVATED. MAINTAIN SLOPES AND SIDES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.
 - PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRINGERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CARRY DOWN SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.
 - PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL GRANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, SUMPS, SUCTION AND DISCHARGE LINES AND OTHER Dewatering SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.
 - IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK.
- 23. FINAL ACCEPTANCE**
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE COST OF IMPROVEMENTS.
 - BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
 - NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
 - AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- 24. UNDERGROUND NOTES**
- UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.
 - WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.
 - ANY Dewatering OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LISTED ITEM PAYMENT. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSP ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
 - TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND SIDEWALKS AND EXTENDING A DISTANCE EQUAL TO A 1:1 SLOPE FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING 100 CA-6 GRADATION. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSRBC) SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.
 - THE CONTRACTOR SHALL INSTALL A 4" X 4" X 8' (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4" ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.
 - AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.
 - HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER TO LOT AREAS OR TO THE STORM SEWER SYSTEM IF AVAILABLE FOR DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.
 - ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.)
 - SLEEVES FOR UTILITY (COMED, TELEPHONE, ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 6" PVC INSTALLED 36" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.
 - THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.
- 25. IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY, ITS OFFICIALS, CONSULTANTS, NOR ITS EMPLOYEES ARE AGENTS OR REPRESENTATIVES OF THE OWNER. NONE-THE-LESS, THE MUNICIPALITY, ITS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE ACCESS TO ALL PHASES OF ALL WORK PERFORMED ON THE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK AND ASSURE ITS CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK FOR INSPECTORS. SAFE 1 MEANING CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECOGNIZED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTIONS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE WORK SO AFFECTED UNTIL SUCH TIME AS CONTRACTOR PROVIDES SAFE ACCESS.**



LEGEND

EXISTING	DESCRIPTION	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	SANITARY TRUNK SEWER	
	WATER MAIN (WITH SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	PIPE REDUCER	
	VALVE AND VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	SOL BORING	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	GUARDRAIL	
	WATER'S EDGE	
	CONCRETE	
	REVERSE PITCH CURB	
	TREE, FIR TREE, BUSH, & PROPOSED TREE TO REMOVE	

ABBREVIATIONS

M - STORM MANHOLE	I - INVERT OR INLET	T/P - TOP OF PIPE
S - SANITARY MANHOLE	TF - TOP OF FOUNDATION	B/P - BOTTOM OF PIPE
CB - CATCH BASIN	GF - GARAGE FLOOR	WM - WATERMAIN
LP - LIGHT POLE	TC - TOP OF CURB	SAN - SANITARY SEWER
VV - VALVE VAULT	TD - TOP OF DEPRESSED CURB	STM - STORM SEWER
E - END SECTION	TW - TOP OF RETAINING WALL	LO - LOOK OUT
FH - FIRE HYDRANT	BW - BOTTOM OF RETAINING WALL	PLO - PARTIAL LOOK OUT
GR - GRADE RING (HYDRANT)	OP - OUTLET OF PIPE	

PERMITS

DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED

CONTACT INFORMATION

CABLE TELEVISION
COMCAST CABLE
688 INDUSTRIAL DRIVE
ELMHURST, IL 60126
(630) 600-6346
CONTACT PERSON: MARY STEFAN

AT&T
801 INDUSTRIAL DRIVE
ELMHURST, IL 60126
(630) 600-6347

COMMONWEALTH EDISON
201 W. ARTHUR AVE.
MT. PROSPECT, IL 60056-2295
(847) 870-2124

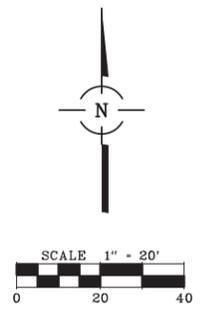
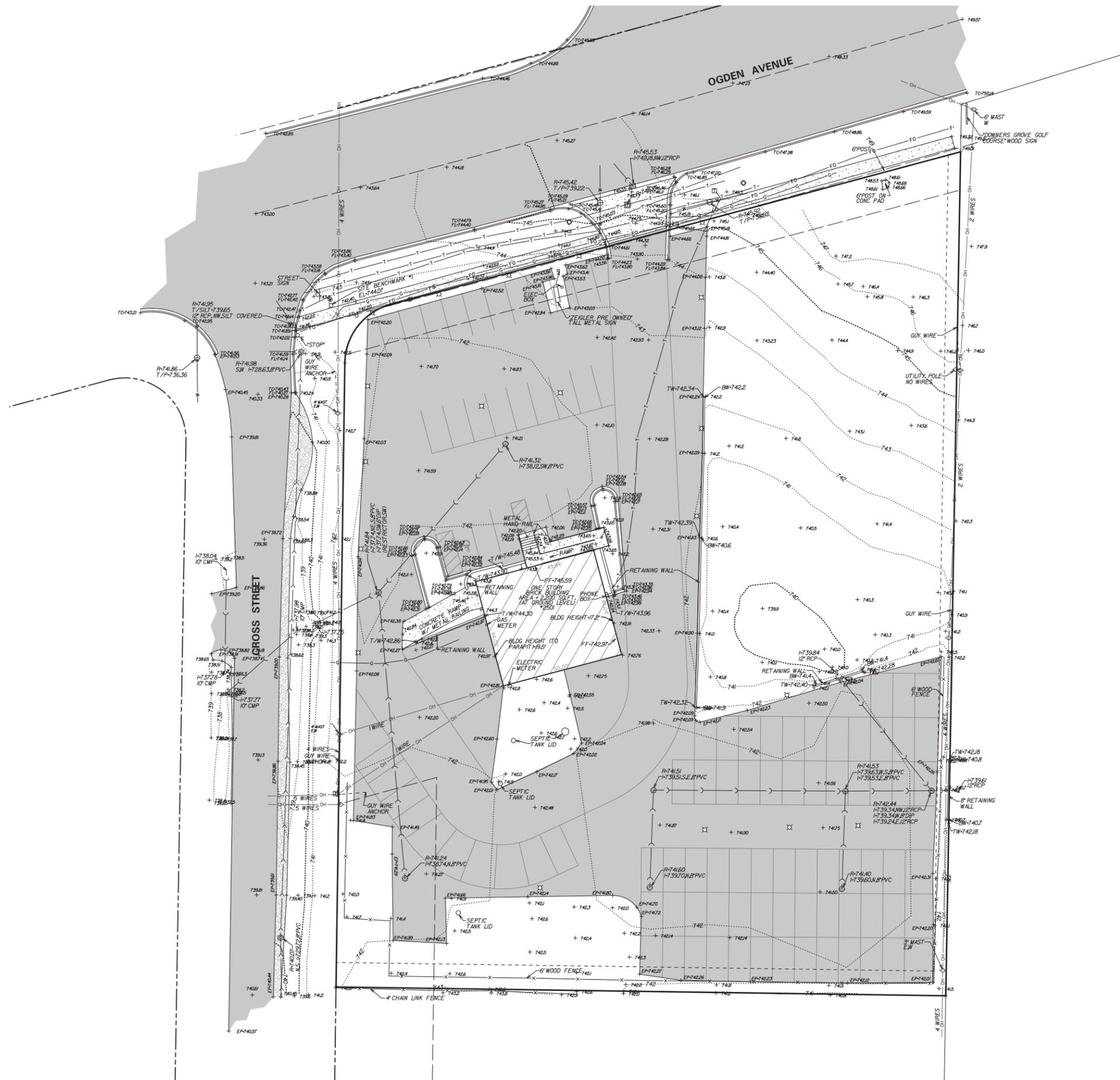
NICOR GAS
101 WILEY ROAD
SCHAMBURG, IL 60195
(847) 843-0627 EXT. 335

VILLAGE OF DOWNERS GROVE
PUBLIC WORKS DEPARTMENT
5101 WALNUT AVENUE
DOWNERS GROVE, IL 60515-4046
(630) 434-5460

CIVIC CENTER
801 BURLINGTON AVENUE
DOWNERS GROVE, IL 60515-4782
(630) 434-5500

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

SPACECO INC.
FILENAME: 6122.06GN
DATE: 08/27/2018
JOB NO. 6122.06
SHEET GN
2 OF 10



BENCHMARKS
SOURCE BENCHMARK:
 D0N06001-STAINLESS STEEL ROD WITH ALUMINUM DISK SET IN A CONCRETE BASE WITH SURFACE SLEEVE AND ACCESS COVER STAMPED "BURAGE COUNTY MAPS AND PLATS" LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF STONEWALL AVENUE AND U.S. ROUTE 34 (OGDEN AVENUE), 3' SOUTH OF THE CENTERLINE OF U.S. ROUTE 34 AND 44' WEST OF THE CENTERLINE OF STONEWALL AVENUE. ELEVATION: 763.50 NGVD 29

SITE BENCHMARK #1
 SOUTHWEST BONNET BOLT OF FIRE HYDRANT LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF OGDEN AVENUE AND CROSS STREET ELEVATION: 744.01

LEGEND	
	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	CATV
	UNDERGROUND CATV LINE
	OVERHEAD WIRES ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	GUARDRAIL
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	FLARED END SECTION
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	TELEPHONE UPRIGHT
	ELECTRIC UPRIGHT
	CABLE TV UPRIGHT
	FIRE HYDRANT
	VALVE AND VAULT
	WATER VALVE
	AUXILIARY VALVE
	WELL
	GAS VALVE
	HAND HOLE
	STREET LIGHT
	UTILITY POLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL BOX
	SPRINKLER HEAD
	BOLLARD
	WALKBOX
	SIGN
	UNIDENTIFIED MANHOLE
	CONTOUR
	SPOT ELEVATION
	RIGHT-OF-WAY MONUMENT
	DISC
	IRON PIPE
	CUT CROSS
	PK / H&M NAIL
	RAILROAD SPIKE
	SOIL BORING
	TREE WITH SIZE
	FIR TREE WITH SIZE
	BUSH
	ASPHALT
	CONCRETE
	GRAVEL

NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LATEST DATE OF FIELD WORK: 09/09/09

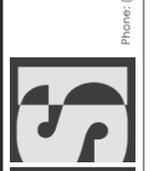
NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	09/17/18	PER VILLAGE COMMENTS

EXISTING CONDITIONS
2501 OGDEN AVENUE
ADDITIONAL PARKING
 DOWNERS GROVE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065



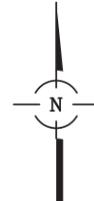
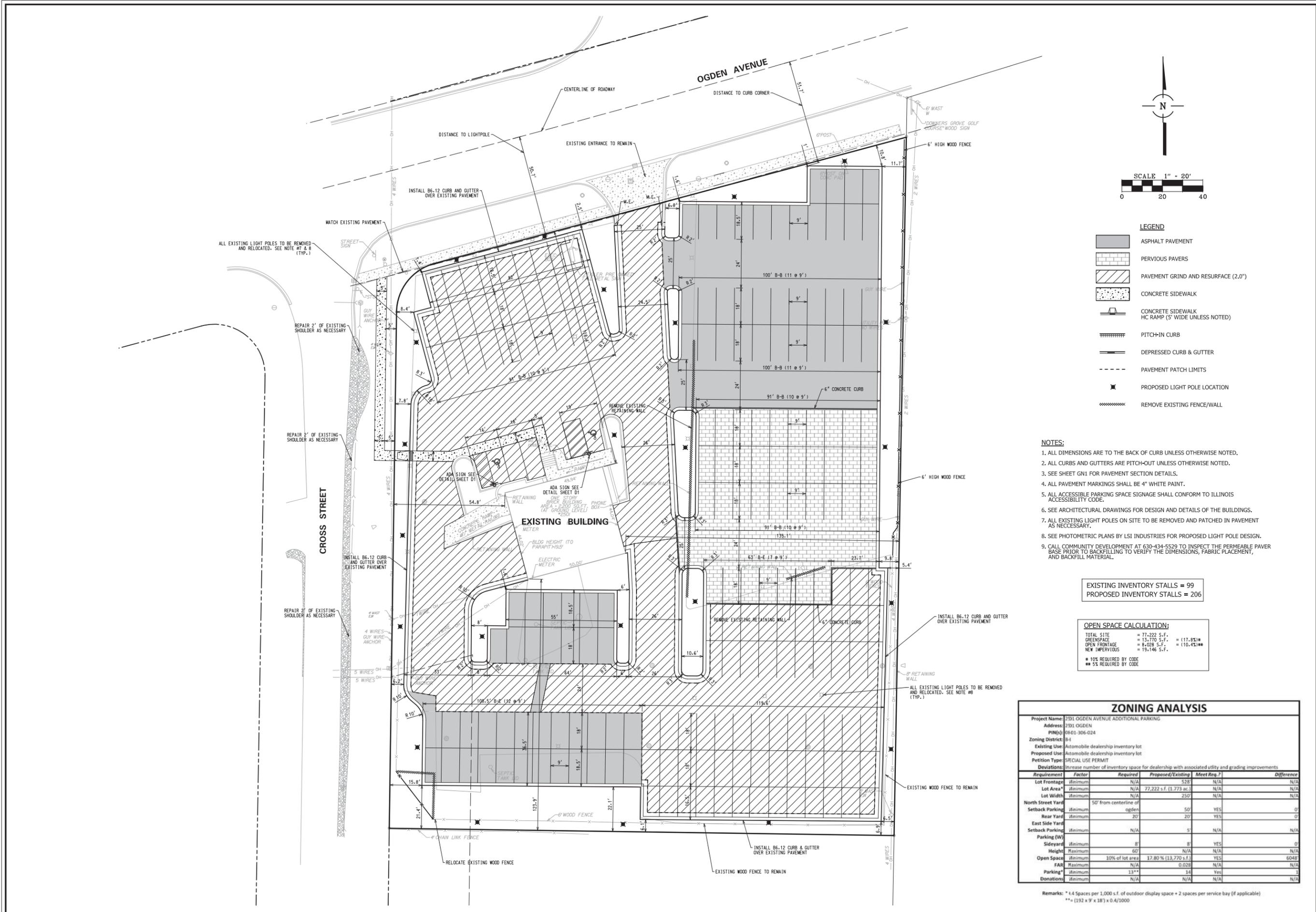
SPACECO INC.

FILENAME:
6122.06E101

DATE:
08/27/2018

JOB NO.
6122.06

SHEET
ET1
3 OF 10



- LEGEND**
- ASPHALT PAVEMENT
 - PERVIOUS PAVERS
 - PAVEMENT GRIND AND RESURFACE (2.0")
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
 - PITCH-IN CURB
 - DEPRESSED CURB & GUTTER
 - PAVEMENT PATCH LIMITS
 - PROPOSED LIGHT POLE LOCATION
 - REMOVE EXISTING FENCE/WALL

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS ARE PITCH-OUT UNLESS OTHERWISE NOTED.
 3. SEE SHEET GN1 FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE 4" WHITE PAINT.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS.
 7. ALL EXISTING LIGHT POLES ON SITE TO BE REMOVED AND PATCHED IN PAVEMENT AS NECESSARY.
 8. SEE PHOTOMETRIC PLANS BY LSI INDUSTRIES FOR PROPOSED LIGHT POLE DESIGN.
 9. CALL COMMUNITY DEVELOPMENT AT 630-434-5529 TO INSPECT THE PERMEABLE PAVEMENT BASE PRIOR TO BACKFILLING TO VERIFY THE DIMENSIONS, FABRIC PLACEMENT, AND BACKFILL MATERIAL.

EXISTING INVENTORY STALLS = 99
 PROPOSED INVENTORY STALLS = 206

OPEN SPACE CALCULATION:

TOTAL SITE GREENSPACE = 77,222 S.F.
 OPEN FRONTAGE = 13,770 S.F. = (17.8%)*
 NEW IMPERVIOUS = 8,428 S.F. = (10.4%)**
 NEW IMPERVIOUS = 19,146 S.F.

* 10% REQUIRED BY CODE
 ** 5% REQUIRED BY CODE

ZONING ANALYSIS						
Project Name: 2501 OGDEN AVENUE ADDITIONAL PARKING						
Address: 2501 OGDEN						
PIN(s): 08-01-306-024						
Zoning District: B-1						
Existing Use: Automobile dealership inventory lot						
Proposed Use: Automobile dealership inventory lot						
Petition Type: SPECIAL USE PERMIT						
Deviations: Increase number of inventory space for dealership with associated utility and grading improvements						
Requirement	Factor	Required	Proposed/Existing	Meet Req.?	Difference	
Lot Frontage	Minimum	N/A	528	N/A	N/A	
Lot Area*	Minimum	N/A	77,222 s.f. (1.773 ac.)	N/A	N/A	
Lot Width	Minimum	N/A	250	N/A	N/A	
North Street Yard Setback Parking	Minimum	50' from centerline of Ogden	50'	YES	0'	
Rear Yard Setback Parking	Minimum	20'	20'	YES	0'	
East Side Yard Setback Parking	Minimum	N/A	5'	N/A	N/A	
Parking (W) Sideyard	Minimum	8'	8'	YES	0'	
Height	Maximum	60'	N/A	N/A	N/A	
Open Space	Minimum	10% of lot area	17.80% (13,770 s.f.)	YES	6048	
FAR	Maximum	N/A	0.028	N/A	N/A	
Parking*	Minimum	13**	14	YES	1	
Donations	Minimum	N/A	N/A	N/A	N/A	

Remarks: * 1.4 Spaces per 1,000 s.f. of outdoor display space + 2 spaces per service bay (if applicable)
 ** = (192 x 9 x 18) x 0.4/1000

NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	09/17/18	PER VILLAGE COMMENTS

GEOMETRIC PLAN
2501 OGDEN AVENUE
ADDITIONAL PARKING
 DOWNERS GROVE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065



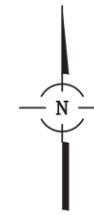
SPACECO INC.

FILENAME:
6122_06GM01

DATE:
08/27/2018

JOB NO.
6122.06

SHEET
GM1
 4 OF 10



LEGEND

- F/F FINISHED FLOOR
- LOCAL DRAINAGE
- 100-YEAR OVERLAND FLOW ROUTE
- DRAINAGE DIVIDE RIDGELINE
- TOP OF CURB
- EDGE OF PAVEMENT
- PROPOSED HWL (742.50)
- EXISTING HWL (742.50)

- NOTES:**
1. ALL CURB AND GUTTER IS STANDARD PITCH-OUT UNLESS NOTED OTHERWISE.
 2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 3. (M.E.) DOUBLE SPOT GRADE = MATCH GRADE AT EXISTING PAVEMENT ELEVATION.
 4. CALL COMMUNITY DEVELOPMENT AT 630-434-5529 TO INSPECT THE PERMEABLE PAVER BASE PRIOR TO BACKFILLING TO VERIFY THE DIMENSIONS, FABRIC PLACEMENT, AND BACKFILL MATERIAL.

VCBMP	
THRESHOLD:	2,500 S.F.
NEW IMPERVIOUS:	19,146 S.F.
DISTURBED AREA:	33,500 S.F.
REQUIREMENT:	1.25" PER IMP. AREA
VOLUME REQ'D:	1,995 C.F.
DEPTH OF STONE AGG:	12" MIN BASE
VOLUME PROV'D:	2,954 C.F.

STORMWATER CALCULATIONS

* PER VILLAGE - EXISTING DETENTION PROVIDED ON SURFACE OF PARKING LOTS. STORAGE MUST BE MAINTAINED PER VILLAGE INPUT.

EXISTING SURFACE DETENTION SOUTH-EAST BASIN	= 0.19 AC-FT
PROP. SURFACE DETENTION SOUTH-EAST BASIN	= 0.32 AC-FT
EXISTING SURFACE DETENTION NORTH-WEST BASIN	= 0.19 AC-FT
PROP. SURFACE DETENTION NORTH-WEST BASIN	= 0.20 AC-FT

NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	09/17/18	PER VILLAGE COMMENTS

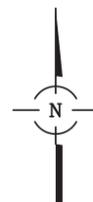
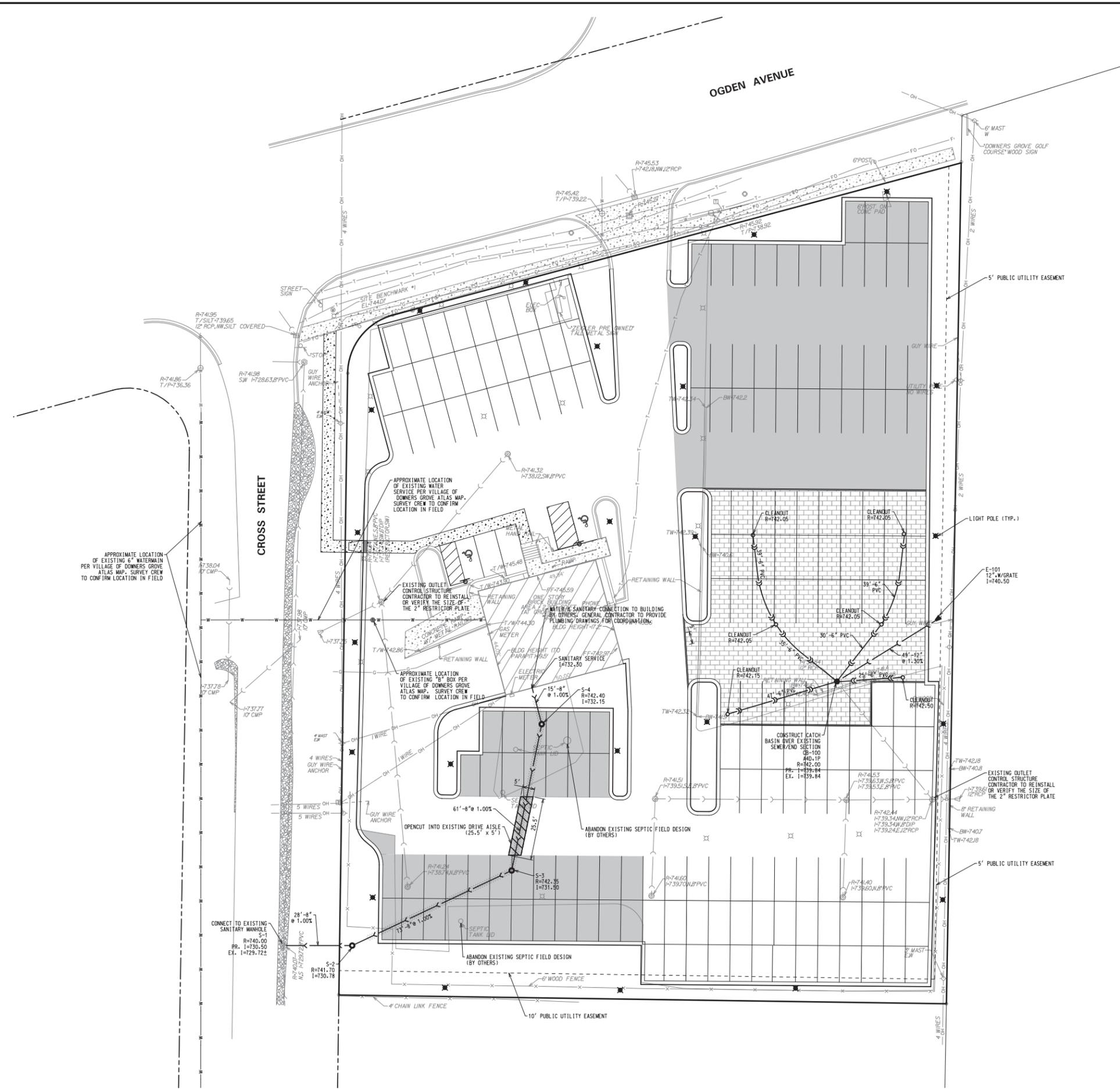
GRADING PLAN
2501 OGDEN AVENUE
ADDITIONAL PARKING
DOWNERS GROVE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4060 Fax: (847) 694-4065



FILENAME:	6122_06GR01
DATE:	08/27/2018
JOB NO.	6122.06
SHEET	GR1
	5 OF 10



STORM STRUCTURE LEGEND

- STRUCTURE ABBREVIATION
- STRUCTURE NUMBER
- M-100
- A4D, 1P
- FRAME AND LID TYPE
- DIAMETER & SIZE OF STRUCTURE
- TYPE OF STRUCTURE

STORM STRUCTURE ABBREVIATIONS

- I = INLET
- CB = CATCH BASIN
- M = MANHOLE
- E = FLARED END SECTION

- NOTES:**
1. ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
 2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
 3. ALL WATER MAINS SHALL BE D.I.P.-CLASS 52 UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
 4. [Symbol] INDICATES TRENCH BACKFILL REQUIRED.
 5. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
1P - INLET, CATCH BASIN-NEENAH R-2504-C
 6. DESIGN OF WIRING AND CIRCUITRY OF LIGHTING TO BE PROVIDED BY LSI INDUSTRIES.
 7. ALL RESTRAINED WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
 8. PLEASE SEE M.E.P. DRAWINGS BY OTHERS FOR WATER AND SANITARY INTERNAL BUILDING CONNECTIONS.

NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	09/17/18	PER VILLAGE COMMENTS

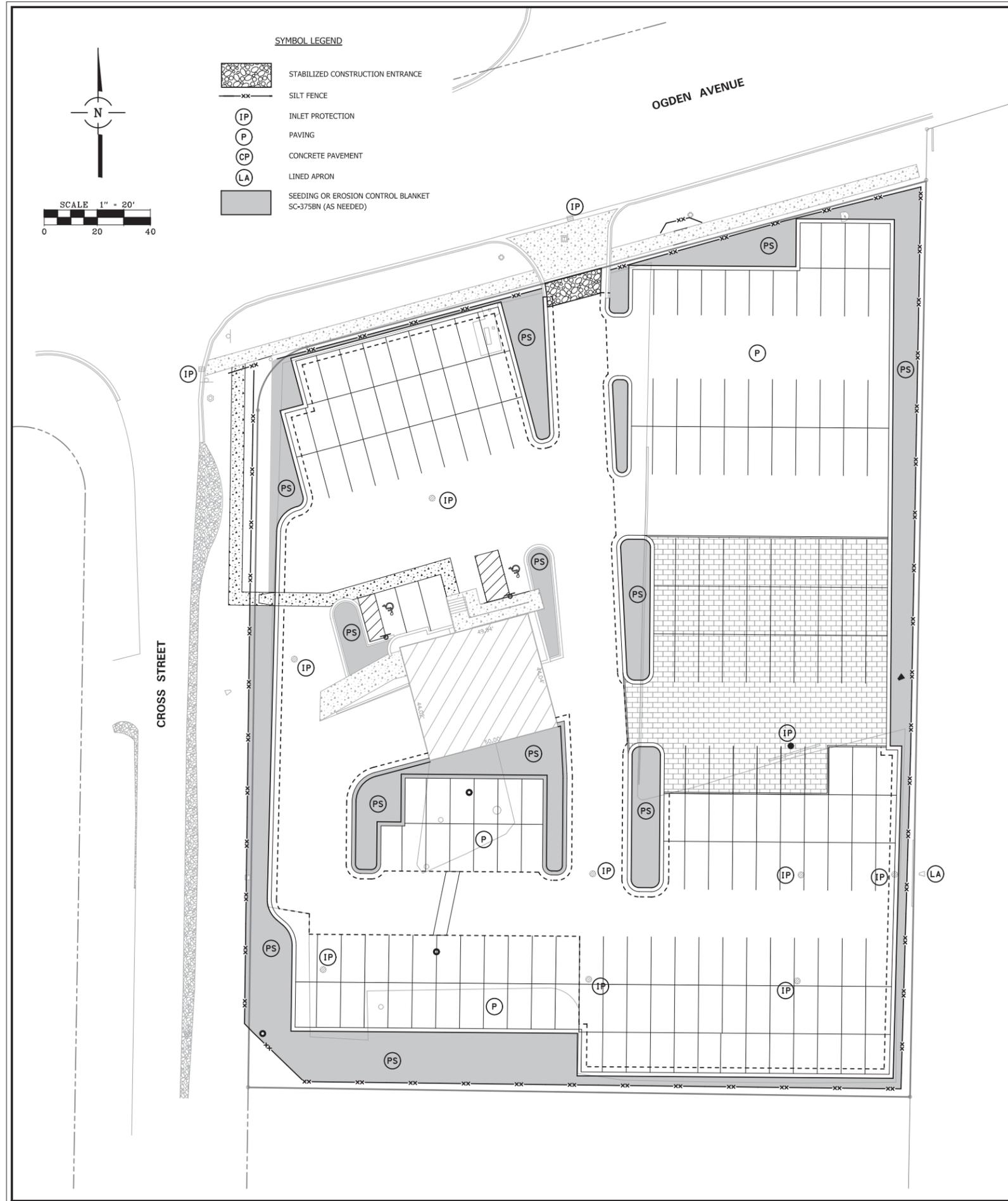
UTILITY PLAN
2501 OGDEN AVENUE
ADDITIONAL PARKING
DOWNERS GROVE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4060 Fax: (847) 694-4065

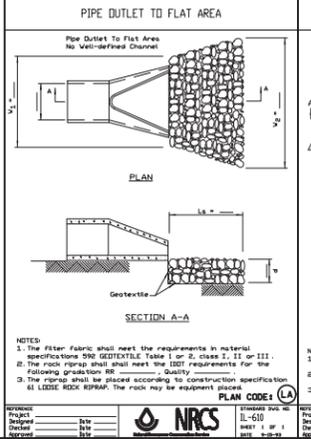
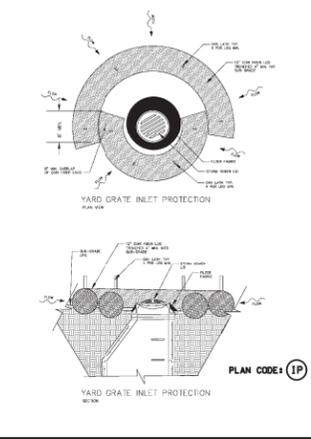
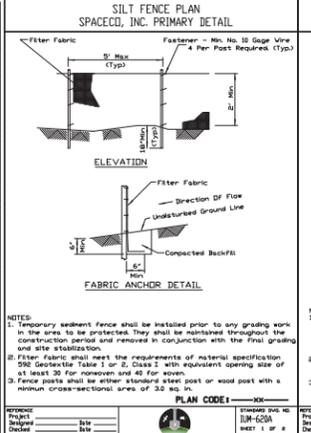
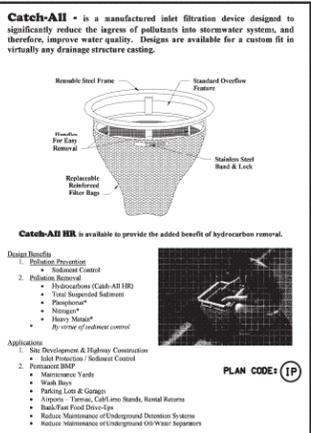
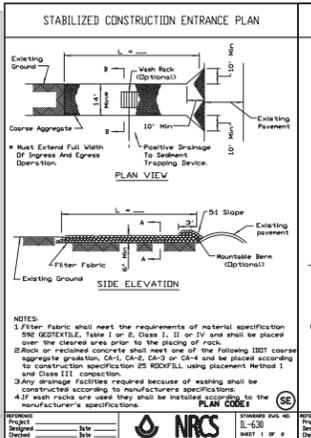
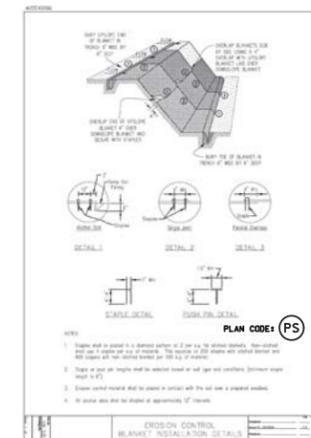


FILENAME: 6122_06UT01
DATE: 08/27/2018
JOB NO. 6122.06
SHEET UT1 6 OF 10



NOTES:

1. AN INITIAL SEDIMENTATION AND EROSION CONTROL INSPECTION IS REQUIRED PRIOR TO STARTING CONSTRUCTION. THE APPLICANT IS DIRECTED TO CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 630-434-5529 TO SCHEDULE THIS INSPECTION; THIS NOTIFICATION SHALL BE AT LEAST 24 HOURS IN ADVANCE OF CONSTRUCTION.
2. THE SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS DISTURBED ON THE SITE.
3. STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN ANY DRAINAGeways, FLOODPLAINS, WETLANDS, BUFFERS OR LPDAS.
4. SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR ANY SOIL STOCKPILE IF IT IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS INCLUDING A DOUBLE ROW OF SILT FENCE OR COIR ROLL.
5. PROPERTIES DOWNSTREAM FROM THE SITE SHALL BE PROTECTED FROM EROSION IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION.
6. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
7. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN FIFTEEN DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT WILL REMAIN UNDISTURBED FOR MORE THAN FIFTEEN DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
8. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.
9. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
10. ALL TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE VILLAGE OF DOWNERS GROVE STORMWATER AND FLOOD PLAIN ORDINANCE SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION AND CONTROL MEASURES ARE OPERATIONAL.



NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	09/17/18	PER VILLAGE COMMENTS

SOIL EROSION CONTROL PLAN
2501 OGDEN AVENUE
ADDITIONAL PARKING
DOWNERS GROVE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



FILENAME:
6122_06SE03

DATE:
08/27/2018

JOB NO.
6122.06

SE1

7 OF 10

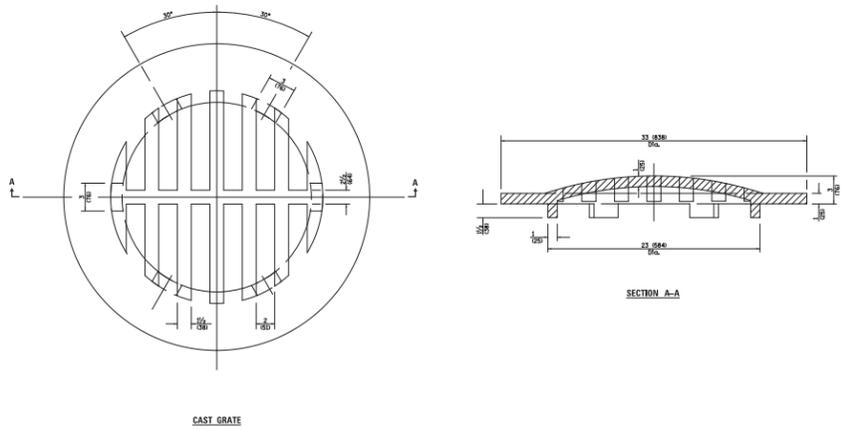
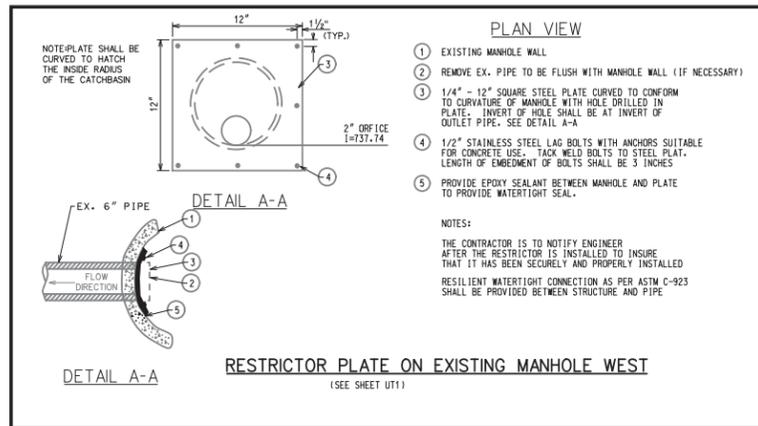
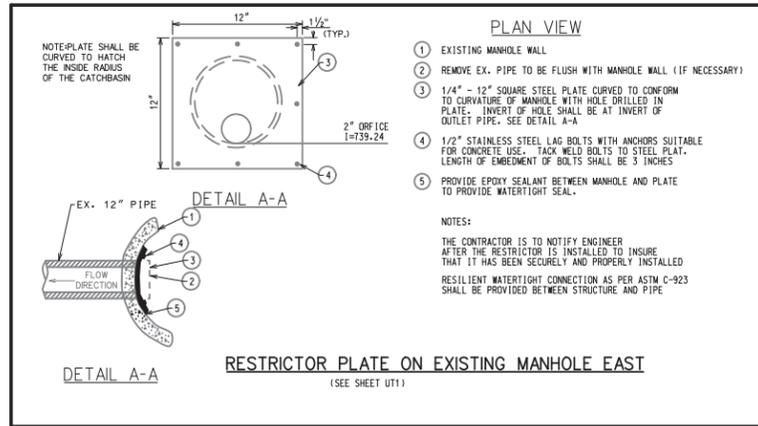
EARTHWORK NOTES	PAVING NOTES	SANITARY SEWER NOTES	STORM SEWER NOTES	
<p>1. GENERAL</p> <p>A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER.</p> <p>B. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRAISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE SUFFICIENT FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.</p> <p>C. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC. MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.</p> <p>D. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ASSESSMENT OF THE RISK OF EROSION OR UNSUITABLE MATERIALS BEING CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC.</p> <p>E. PLANS FOR THE SITE Dewatering, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR Dewatering DURING CONSTRUCTION.</p> <p>F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES", THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC. TO PROTECT ADJACENT PROPERTY. WETLANDS, ETC. SHALL OCCUR BEFORE GRADING BEGINS. A MUNICIPAL EROSION CONTROL INSPECTION MAY BE REQUIRED BEFORE ANY EARTHWORK IS PERFORMED.</p> <p>G. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A "SNOW FENCE" AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE. THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRASS WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.</p> <p>H. EXCESS MATERIALS, IF NOT UTILIZED AS FILL, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.</p> <p>1. ALL EARTHWORK SHALL BE DONE UNDER THE SUPERVISION OF AN ILLINOIS LICENSED ENGINEER WHO SPECIALIZES IN THE GEOTECHNICAL FIELD (SOILS ENGINEER). THIS ENGINEER WILL BE RESPONSIBLE FOR ENSURING THAT ALL UNSUITABLE MATERIALS ARE REMOVED, ALL STRUCTURAL FILL MATERIALS ARE PROPERLY PLACED AND COMPACTED, ALL PAVEMENT SUBGRADES ARE PROPERLY PREPARED, PROOF ROLLING SUBGRADES AND BASE COURSES, AND ENSURING THAT ALL WATER RETAINING EMBANKMENTS ARE PROPERLY CONSTRUCTED. THE DEVELOPER PAYS FOR ALL GEOTECHNICAL SERVICES.</p> <p>2. TOPSOIL EXCAVATION INCLUDES:</p> <p>A. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH REMOVED TO PROTECT ADJACENT PROPERTY. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.</p> <p>B. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.</p> <p>C. TOPSOIL STOCKPILED FOR REUSE SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.</p> <p>D. TOPSOIL SPREAD SHALL INCLUDE HAULING AND SPREADING 6" OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER.</p> <p>E. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.</p> <p>3. EARTH EXCAVATION INCLUDES:</p> <p>A. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVED AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.</p> <p>B. PLACEMENT OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE THE PROPOSED SUBGRADE ELEVATION.</p> <p>C. STRUCTURAL FILL MATERIAL SHALL BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCUERANCE OF THE OWNER.</p> <p>D. COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVED AREAS, SIDEWALKS, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.</p> <p>E. EXCAVATION: QUANTITIES OF EARTH EXCAVATION INDICATED ELSEWHERE IN THIS CONTRACT HAVE BEEN COMPUTED BY THE END AREA METHOD AS PROVIDED FOR IN SECTION 202 OF THE STANDARD SPECIFICATIONS. EXCAVATED MATERIAL NEED NOT BE REMOVED FROM THIS JOB SITE SHALL BE LEGALLY DISPOSED OF. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER CUBIC YARD OF EARTH EXCAVATION.</p> <p>4. UNSUITABLE MATERIAL</p> <p>UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCUERANCE OF THE OWNER.</p> <p>5. MISCELLANEOUS THE CONTRACTOR SHALL:</p> <p>A. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.</p> <p>B. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, TO THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIALS IN AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.</p> <p>C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.</p> <p>D. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. THE CURBS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE HAS CURED FOR AT LEAST 7 DAYS.</p> <p>E. TRENCH COMPACTION: ALL TRENCHES SHALL BE COMPACTED BY MECHANICAL TECHNIQUES APPROVED BY THE SOILS ENGINEER UNTIL PROPER COMPACTION IS ACHIEVED. THE REQUIREMENT FOR MECHANICAL COMPACTION MAY BE WAIVED BY THE ORDER OF THE SOILS ENGINEER AND THE MUNICIPAL ENGINEER. THE BACKFILLED TRENCHES MEET THE DENSITY REQUIREMENTS. JETTING OF TRENCHES FOR COMPACTION WILL NOT BE ALLOWED.</p> <p>6. TESTING AND FINAL ACCEPTANCE</p> <p>A. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY MUNICIPAL ENGINEER AND THE OWNER. SEE PAVING SPECIFICATION.</p> <p>B. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL, OR OTHERWISE CORRECTED, APPROVED BY THE SOILS CONSULTANT.</p> <p>C. ANY TESTING THAT IS REQUIRED OF THIS CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE.</p>	<p>1. GENERAL</p> <p>A. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION AND COMPACTION; PLACEMENT OF SUB-BASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR CURB COURSES; FORMING, FINISHING AND CURING CONCRETE PAVEMENT, CURBS AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.</p> <p>B. COMPACTION REQUIREMENTS: [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)] SUB-GRADE = 93%; SUB-BASE = 93%; AGGREGATE BASE COURSE = 95% BITUMINOUS COURSES = REFER TO SSBRC ARTICLE 406.07. THE SOILS ENGINEER IS RESPONSIBLE FOR ENSURING THAT MATERIALS ARE PROPERLY PLACED AND COMPACTED.</p> <p>C. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MAINTENANCE OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION AND IN ACCORDANCE WITH THE MUNICIPAL CODE.</p> <p>2. SUB-GRADE PREPARATION</p> <p>A. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.</p> <p>B. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. THE SOILS ENGINEER SHALL CONDUCT AND THE VILLAGE SHALL WITNESS ALL PROOF ROLLS. IF UNSUITABLE SUBGRADE IS UNCORRECTED, IT SHALL BE CORRECTED IN A MANNER APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> 1) SCARIFY DISC AND AERATE. 2) REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL. 3) REMOVE AND REPLACE WITH GRANULAR MATERIAL. 4) USE OF GEOTEXTILE FABRIC. <p>MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE 1/4" TO 1/2" IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.</p> <p>C. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE GRADED TO WITHIN 0.04 FEET (1/2") OF FINAL SUBGRADE ELEVATION. TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB, SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.</p> <p>D. PRIOR TO PLACEMENT OF THE BASE COURSE, ALL SUBGRADES MUST BE APPROVED BY THE MUNICIPAL ENGINEER, SOILS ENGINEER AND/OR OWNER.</p> <p>3. CONCRETE WORK</p> <p>A. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE CLASS 51 OR PV PER (SSBRC) SECTION 1000.04 WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT FOURTEEN (14) DAYS. THE CONCRETE PERFORMED ON EITHER SIDE OF THE CURB SHALL BE IDENTIFIED BY THE ADDITION OF CALCIUM CHLORIDE AND THE SUBSTITUTION OF FLY ASH FOR PORTLAND CEMENT IS PROHIBITED. 1-50 LBS OF COLLATED, FILLERATED, POLYPROPYLENE OLEFIN FIBERS 0.50 TO 0.75 INCHES IN LENGTH SHALL BE ADDED TO EACH CUBIC YARD OF CONCRETE USED FOR SIDEWALKS.</p> <p>B. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVING SPECIFICATION TO DETERMINE THE OUTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PRECURED FIBER EXPANSION JOINTS, WITH TWO 3/4" X 18" EPOXY COATED STEEL DOGEL BARS, SHALL BE INSTALLED AT SIXTY (60) FOOT INTERVALS AND AT ALL PC'S, PT'S AND CURB RETURNS. ALTERNATE ENDS OF THE DOGEL BARS SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES. SAVED OR FORMED CONTRACTION JOINTS SHALL BE PROVIDED AT NO GREATER THAN FIFTEEN (15) FOOT INTERVALS BETWEEN EXPANSION JOINTS. NO HONEY-COMBING OF THE CURB AND GUTTER WILL BE ACCEPTED.</p> <p>C. CURBS SHALL BE DEPRESSED AT LOCATIONS WHERE PUBLIC WALKS/PEDESTRIAN PATHS INTERSECT CURB LINES, AND OTHER LOCATIONS AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY. (SEE CONSTRUCTION STANDARDS FOR DETAIL). BARRIER CURB SHALL ALSO BE DEPRESSED AT DRIVEWAY LOCATIONS.</p> <p>D. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE. THE CONCRETE MUST CURE FOR AT LEAST SEVEN DAYS BEFORE THE CURBS ARE BACKFILLED.</p> <p>E. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5 FOOT INTERVALS AND 1/2" PREMOULDED FIBER EXPANSION JOINTS AT 50 FOOT INTERVALS, AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, ETC.</p> <p>F. CONCRETE DRIVEWAY APRONS SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE 6" X 6" NO. 6 WELDED WIRE MESH IN DRIVEWAYS. PROVIDE 1/2" PREMOULDED FIBER EXPANSION JOINT ADJACENT TO CURBS AND CONCRETE SIDEWALKS. PROVIDE SAVED OR FORMED CONTRACTION JOINT AT MID-POINT AND 15 FOOT MAXIMUM.</p> <p>H. STANDARD REINFORCED CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. SAVED OR FORMED CONTRACTION EXPANSION JOINTS SHALL BE AS SHOWN ON THE PLANS.</p> <p>H. CONCRETE CURING AND PROTECTION SHALL BE IN ACCORDANCE WITH (SSBRC) - METHOD J, 11, OR 111.</p> <p>I. THE COST OF AGGREGATE BASE OR SUB-BASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.</p> <p>4. FLEXIBLE PAVEMENT</p> <p>A. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, DRIVEWAYS, SIDEWALKS AND PATHS SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B; BITUMINOUS CONCRETE BINDER COURSE; AND BITUMINOUS CONCRETE SURFACE COURSE. THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS, THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS. THE PAVING IS TO BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.</p> <p>B. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE BITUMINOUS W.C. - 30.</p> <p>C. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED, AND TACK COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS SPECIFIED IN (SSBRC) SECTION 406.02.</p> <p>D. SEAMS IN BASE, BINDER AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6".</p> <p>E. FOR NEW STREETS, THE CONTRACTOR SHALL PERMIT THE BITUMINOUS CONCRETE BINDER COURSE TO WEATHER ONE (1) WINTER SEASON PRIOR TO THE INSTALLATION OF THE BITUMINOUS CONCRETE SURFACE COURSE UNLESS OTHERWISE SPECIFIED BY THE MUNICIPAL ENGINEER OR OWNER.</p> <p>5. TESTING AND FINAL ACCEPTANCE</p> <p>A. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE OWNER AND/OR MUNICIPALITY. TESTING SHALL BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THE TESTING REQUIREMENTS OF THE MUNICIPALITY.</p> <p>B. WHEN REQUESTED BY THE OWNER, TEST RESULTS AND DOCUMENTATION FOR THE CONCRETE, BASE COURSE, BITUMINOUS CONCRETE BINDER, AND/OR SURFACE COURSE, SHALL BE SUBMITTED FOR VERIFICATION.</p> <p>C. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE OWNER OR MUNICIPALITY, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED FOR THE PURPOSE OF THICKNESS VERIFICATION.</p> <p>D. WHEN REQUIRED BY THE OWNER OR MUNICIPALITY, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED, IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD DESCRIBED IN (SSBRC), ART. 401.10.</p> <p>E. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.</p>	<p>1. GENERAL</p> <p>A. SANITARY SEWER PIPE SHALL BE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMENSION RATIO (SDR) OF 26 CONFORMING TO ASTM D-3034 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3212 AND PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMENSION RATIO (SDR) OF 21 CONFORMING TO ASTM D-2241 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3159 AS SHOWN ON THE PLANS. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF SANITARY SEWER COMPLETE IN PLACE.</p> <p>B. SANITARY SEWER PIPE 18" AND LARGER, WHEN NOTED ON THE PLANS, OR WHERE THE IEPA MINIMUM SEPARATION CANNOT BE MAINTAINED, SHALL BE ONE OF THE FOLLOWING:</p> <p>PLAN CODE DESCRIPTION</p> <p>DIP: DUCTILE IRON WATERMAIN QUALITY PIPE, CLASS 52, (ANSI A-21-51) WITH MECHANICAL OR O-RING GASKETED JOINTS (ANSI A-21-11).</p> <p>PVC: PRESSURE RATED PVC PIPE MEETING ASTM D-2241 WITH ASTM D-3159 GASKETED JOINT, SDR 26</p> <p>"BAND-SEAL" OR SIMILAR FLEXIBLE TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS. "BAND SEAL", "FERROC", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON ANY SEWER MAIN.</p> <p>D. ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.</p> <p>E. ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER.</p> <p>F. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY.</p> <p>G. WATERMANS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH IEPA REQUIREMENTS AS SPECIFIED IN "WATER MAIN" SECTION.</p> <p>H. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE EXCEPT UNDER SPECIAL CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES:</p> <ol style="list-style-type: none"> a) PERMISSION SHALL BE OBTAINED FROM THE MUNICIPAL ENGINEERING DEPARTMENT IN WRITING PRIOR TO BEGINNING CONSTRUCTION. b) THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18" ABOVE THE TOP OF THE SEWER AND 18" HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER. <p>2. BEDDING:</p> <p>A. BEDDING SHALL CONSIST OF A MINIMUM OF FOUR (4") INCHES OF COMPACTED CRUSHED GRAVEL OR STONE, 1/4" - 3/4" IN SIZE. THE SEWER SHALL HAVE MECHANICALLY TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE THE TOP OF THE PIPE TO A MINIMUM OF TWELVE (12") INCHES FOR PVC PIPE AND TO THE SPRING LINE FOR DIP. THE BEDDING AND COVER MATERIAL SHALL BE ASTM D-2321 CLASS II FOR PVC PIPE AND ASTM D-448 SIZE 67 FOR DIP PIPE. THE COST OF THE BEDDING AND COVER SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER.</p> <p>B. ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CA-6 CRUSHED GRAVEL OR STONE.</p> <p>C. ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF FIVE (5) FEET ON EITHER SIDE OF THE SEWER SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6) AND THOROUGHLY MECHANICALLY COMPACTED IN 9" THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS NOT PERMITTED. REFER TO THE TRENCH BACKFILL LIMITS DETAIL.</p> <p>3. MANHOLES:</p> <p>A. SANITARY SEWER MANHOLES SHALL BE 4'-0" I.D. PRECAST CONCRETE SECTIONS CONFORMING TO ASTM D-478 WITH PREFORMED BITUMINOUS OR "O" RING JOINTS. IN ACCORDANCE WITH MUNICIPAL REGULATIONS, AND HAVE AN ECCENTRIC CONE INSTALLED TO LINE UP WITH THE MANHOLE STEPS. ALL MANHOLE STEPS SHALL BE AT 16" O.C. SIMILAR TO NEENAH R-1980.</p> <p>B. ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT SLEEVES. THE BOTTOM OF MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.</p> <p>4. FRAMES AND LIDS:</p> <p>A. ALL SANITARY SEWER MANHOLE FRAMES AND LIDS SHALL BE NEENAH R-1712 UNLESS OTHERWISE NOTED ON THE PLANS. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF SEALING WITH AN "O" RING GASKET. THE LIDS SHALL HAVE THE WORDS "SANITARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN FRAME AND CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE.</p> <p>B. A MAXIMUM OF EIGHT (8) INCHES OF CONCRETE ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE.</p> <p>5. DROP MANHOLE ASSEMBLIES:</p> <p>A. DROP MANHOLE ASSEMBLIES: DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE DIFFERENCE IN INVERT GRADES EXCEEDS TWO FEET (2'), OR AS SHOWN ON THE PLANS. THE ENTIRE DROP ASSEMBLY SHALL BE CAST IN CONCRETE MONOLITHICALLY WITH THE MANHOLE BARREL SECTION.</p> <p>6. CLEANING:</p> <p>A. ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.</p> <p>7. TESTING:</p> <p>A. DEFLECTION AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE AS SPECIFIED IN THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", OR MUNICIPAL CODES. IN THE EVENT OF A DISCREPANCY BETWEEN THE STANDARD SPECIFICATIONS AND THE MUNICIPAL CODE, THE MUNICIPAL CODE SHALL GOVERN. THE FULL LENGTH OF THE SANITARY SEWER IS REQUIRED TO BE BOTH AIR TESTED AND DEFLECTION TESTED.</p> <p>B. TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH MUNICIPAL CODE.</p> <p>C. TESTING OF MANHOLES TO BE IN ACCORDANCE WITH ASTM C-969.</p> <p>8. TELEVISIONS:</p> <p>A. ALL SANITARY SEWERS SHALL BE TELEVIEWED AND A COPY OF THE TAPE /VIDEO AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE OWNER OR MUNICIPALITY BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE SUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS AND LENGTHS. IDENTIFY MANHOLE TO MANHOLE BOTH VERTICALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN REPORT SHALL BE THE SAME AS THE VIDEO TAPES/VIDEOS.</p> <p>9. TEST RESULTS:</p> <p>A. IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE ALL MATERIALS, AND WORKMANSHIP AS MAY BE NECESSARY TO COMPLY WITH THE TEST REQUIREMENTS.</p> <p>10. CERTIFICATION:</p> <p>A. CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TEST SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING", ASTM STANDARD D-2412 OR BY OTHER MEASUREMENTS APPROPRIATE FOR THE PIPE TO BE USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.</p> <p>11. RECORD DRAWINGS:</p> <p>A. THE CONTRACTOR SHALL PROVIDE ALL INFORMATION TO PREPARE RECORD DRAWINGS INCLUDING SERVICE SUB LOCATIONS, TO SPACE, SPACED SHALL PREPARE RECORD DRAWINGS AND SUBMIT TO APPROPRIATE PUBLIC AGENCIES. IF FINAL MEASUREMENTS INDICATE DEFICIENCIES, THE CONTRACTOR, AT HIS OWN COST, WILL ADJUST MANHOLES AND/OR SEWERS TO PROPER ELEVATIONS AND OTHERWISE CORRECT THE DEFICIENCIES.</p>	<p>2. BEDDING:</p> <p>A. ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRANULAR BEDDING, 1/4" TO 3/4" IN SIZE (CA-13) WITH A MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE BEDDING MATERIALS SHALL BE COMPACTED TO 90% OF MAXIMUM PROCTOR DENSITY. BEDDING SHALL EXTEND TO THE SPRINGLINE ON ALL DIP AND DIP PIPE. BEDDING SHALL EXTEND TO OVER ANY PVC OR HDPE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS.</p> <p>3. STRUCTURES:</p> <p>A. MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE MANHOLES AND CATCH BASINS SHALL BE A MINIMUM 4" IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH O-RING OR BUTYL ROPE. A MAXIMUM OF EIGHT (8") INCHES OF ADJUSTING RINGS SHALL BE USED.</p> <p>B. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.</p> <p>C. THE FRAME, GRATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.</p> <p>D. MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM CAST ON THE LID". THE JOINTS BETWEEN CONCRETE SECTION ADJUSTING RINGS, AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.</p> <p>4. FRENCH DRAIN:</p> <p>A. ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF LID. THE HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL.</p> <p>5. CASTINGS:</p> <p>A. CASTINGS FOR SEWER OR OTHER STRUCTURES SHALL BE "NEENAH" OR APPROVED EQUAL. COST OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE STRUCTURE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.</p> <p>6. CLEANING:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.</p> <p>7. TELEVISIONING:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE TELEVIEWED IF REQUIRED BY MUNICIPALITY.</p>	<p>REMARKS</p> <p>NO. DATE</p> <p>1 09/17/18 PER VILLAGE COMMENTS</p> <p>NO. DATE</p>
<p>SIGNING AND PAVEMENT MARKING</p> <p>1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSBRC), MUNICIPAL CODE AND THESE PLANS.</p> <p>2. CONTRACTOR SHALL ESTABLISH LOCATION OF ALL SIGNS AND MARKINGS FOR APPROVAL BY THE OWNER PRIOR TO INSTALLATION.</p> <p>3. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080 INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE IN ACCORDANCE WITH SSBRC SECTION 720. LEGEND SHALL BE IN ACCORDANCE WITH MUTCD AND AS SHOWN ON THE PLANS.</p> <p>4. POSTS: SIGN POSTS SHALL BE A HEAVY DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT SUCH AS A TYPE B METAL POST PER (SSBRC) SECTION 729 [OR 2" PERFORATED STEEL TUBE PER (SSBRC) SECTION 728].</p> <p>5. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE ABOVE (SSBRC) SECTIONS AND IDOT STANDARD 729001 EXCEPT AS MODIFIED BY THE PLANS.</p> <p>6. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE ROADWAY LIMITS, SUCH AS STOP LINES, CENTER LINES, CROSSWALKS AND DIRECTIONAL ARROWS SHALL BE REFLECTORIZED THERMOPLASTIC PER (SSBRC) SECTION 780, EXCEPT AS MODIFIED BY THE PLANS. (NOTE TO ENGINEER: IDOT PERSERS REFLECTORIZED PAINT ON CONCRETE PAVEMENT - CHECK WITH AGENCY WHO WILL MAINTAIN ROAD.)</p> <p>7. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW WEAR" APPLICATIONS, SHALL BE PAINT IN ACCORDANCE TO (SSBRC) SECTION 780, EXCEPT AS MODIFIED BY THE PLANS. REFLECTIVE BEADS ARE NOT REQUIRED.</p> <p>8. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH (MUTCD) EXCEPT AS MODIFIED BY THE PLANS.</p> <p>9. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55° F AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50° F AND RISING.</p>	<p>STORM SEWER NOTES</p> <p>1. GENERAL:</p> <p>A. ALL STORM SEWER PIPE SHALL BE RCP, UNLESS OTHERWISE NOTED ON THE PLANS, IN ACCORDANCE WITH THE FOLLOWING:</p> <p>PLAN CODE MATERIAL</p> <p>RCP: REINFORCED CONCRETE PIPE (ASTM C-761 WITH O-RING GASKETED JOINTS, (ASTM C-443); TYPE 1, CLASS IV, PER SSBRC SECTION 603. ELIPTICAL RCP OF PIPE SHALL BE TYPE 1, HE-111 PER SSBRC SECTION 111. PRECAST FLOOR END SECTIONS MAY HAVE MASTIC JOINTS. PAYMENTS SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF STORM SEWER COMPLETE IN PLACE.</p> <p>DIP: DUCTILE IRON WATERMAIN QUALITY PIPE CLASS 52 (ANSI 21-51) WITH MECHANICAL OR PUSH-ON JOINTS (ANSI 21-11). CEMENT LINING IS NOT REQUIRED.</p> <p>PVC: POLYVINYL CHLORIDE SEWER PIPE, SDR 26, CONFORMING TO ASTM D-3034 WITH ASTM D-3212 PUSH-ON GASKETED JOINTS.</p> <p>HOPE: HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR MEETING AASHTO M-294 SUCH AS ADS N-12 BY ADVANCED DRAINAGE SYSTEM, COLUMBUS, OH; OR H-10 BY HANCOX, FINDLEY, OH. JOINTS SHALL BE SPLIT CORRUGATED BANDS BY THE PIPE MANUFACTURER.</p> <p>UD: RIGID, PERFORATED PVC UNDERDRAIN PIPE (ASTM D-2729), SDR 35, OR SCHEDULE 40, WITH SOLVENT WELD JOINTS AND FILTER FABRIC WRAPPING OR SOX, PERFORATED HOPE PIPE ALSO ACCEPTABLE.</p> <p>B. "BAND SEAL" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS. "BAND SEAL", "FERROC", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON SEWER MAINS. CHANGES IN PIPE MATERIAL SHALL BE MADE AT A STRUCTURE.</p> <p>C. ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.</p> <p>D. ALL FOOTING DRAIN AND SUMP PUMP DISCHARGE PIPES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM. DOWNSPUTS SHALL DISCHARGE TO THE GROUND.</p> <p>E. THE CONTRACTOR SHALL MAINTAIN AT LEAST THREE (3') FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN OVER ANY PIPES WHICH HAVE LESS THAN THREE (3') FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.</p>	<p>STORM SEWER NOTES</p> <p>1. GENERAL:</p> <p>A. ALL STORM SEWER PIPE SHALL BE RCP, UNLESS OTHERWISE NOTED ON THE PLANS, IN ACCORDANCE WITH THE FOLLOWING:</p> <p>PLAN CODE MATERIAL</p> <p>RCP: REINFORCED CONCRETE PIPE (ASTM C-761 WITH O-RING GASKETED JOINTS, (ASTM C-443); TYPE 1, CLASS IV, PER SSBRC SECTION 603. ELIPTICAL RCP OF PIPE SHALL BE TYPE 1, HE-111 PER SSBRC SECTION 111. PRECAST FLOOR END SECTIONS MAY HAVE MASTIC JOINTS. PAYMENTS SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF STORM SEWER COMPLETE IN PLACE.</p> <p>DIP: DUCTILE IRON WATERMAIN QUALITY PIPE CLASS 52 (ANSI 21-51) WITH MECHANICAL OR PUSH-ON JOINTS (ANSI 21-11). CEMENT LINING IS NOT REQUIRED.</p> <p>PVC: POLYVINYL CHLORIDE SEWER PIPE, SDR 26, CONFORMING TO ASTM D-3034 WITH ASTM D-3212 PUSH-ON GASKETED JOINTS.</p> <p>HOPE: HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR MEETING AASHTO M-294 SUCH AS ADS N-12 BY ADVANCED DRAINAGE SYSTEM, COLUMBUS, OH; OR H-10 BY HANCOX, FINDLEY, OH. JOINTS SHALL BE SPLIT CORRUGATED BANDS BY THE PIPE MANUFACTURER.</p> <p>UD: RIGID, PERFORATED PVC UNDERDRAIN PIPE (ASTM D-2729), SDR 35, OR SCHEDULE 40, WITH SOLVENT WELD JOINTS AND FILTER FABRIC WRAPPING OR SOX, PERFORATED HOPE PIPE ALSO ACCEPTABLE.</p> <p>B. "BAND SEAL" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS. "BAND SEAL", "FERROC", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON SEWER MAINS. CHANGES IN PIPE MATERIAL SHALL BE MADE AT A STRUCTURE.</p> <p>C. ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.</p> <p>D. ALL FOOTING DRAIN AND SUMP PUMP DISCHARGE PIPES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM. DOWNSPUTS SHALL DISCHARGE TO THE GROUND.</p> <p>E. THE CONTRACTOR SHALL MAINTAIN AT LEAST THREE (3') FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN OVER ANY PIPES WHICH HAVE LESS THAN THREE (3') FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.</p>	<p>STORM SEWER NOTES</p> <p>2. BEDDING:</p> <p>A. ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRANULAR BEDDING, 1/4" TO 3/4" IN SIZE (CA-13) WITH A MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE BEDDING MATERIALS SHALL BE COMPACTED TO 90% OF MAXIMUM PROCTOR DENSITY. BEDDING SHALL EXTEND TO THE SPRINGLINE ON ALL DIP AND DIP PIPE. BEDDING SHALL EXTEND TO OVER ANY PVC OR HDPE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS.</p> <p>3. STRUCTURES:</p> <p>A. MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE MANHOLES AND CATCH BASINS SHALL BE A MINIMUM 4" IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH O-RING OR BUTYL ROPE. A MAXIMUM OF EIGHT (8") INCHES OF ADJUSTING RINGS SHALL BE USED.</p> <p>B. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.</p> <p>C. THE FRAME, GRATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.</p> <p>D. MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM CAST ON THE LID". THE JOINTS BETWEEN CONCRETE SECTION ADJUSTING RINGS, AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.</p> <p>4. FRENCH DRAIN:</p> <p>A. ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF LID. THE HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL.</p> <p>5. CASTINGS:</p> <p>A. CASTINGS FOR SEWER OR OTHER STRUCTURES SHALL BE "NEENAH" OR APPROVED EQUAL. COST OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE STRUCTURE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.</p> <p>6. CLEANING:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.</p> <p>7. TELEVISIONING:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE TELEVIEWED IF REQUIRED BY MUNICIPALITY.</p>	<p>REMARKS</p> <p>NO. DATE</p> <p>1 09/17/18 PER VILLAGE COMMENTS</p> <p>NO. DATE</p>

SPECIFICATIONS
 2501 OGDEN AVENUE
 ADDITIONAL PARKING
 DOWNERS GROVE, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065

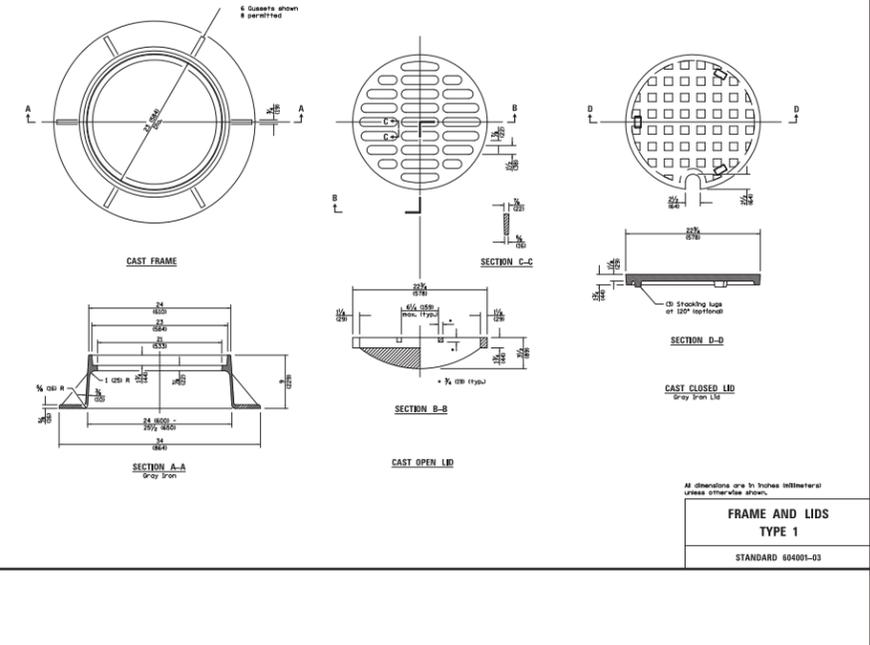
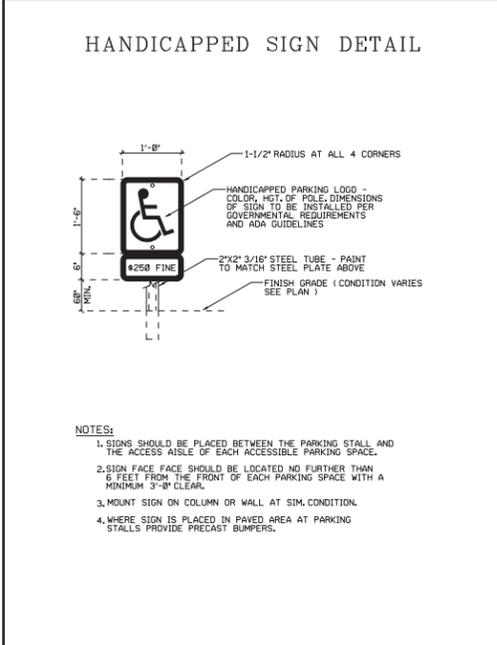
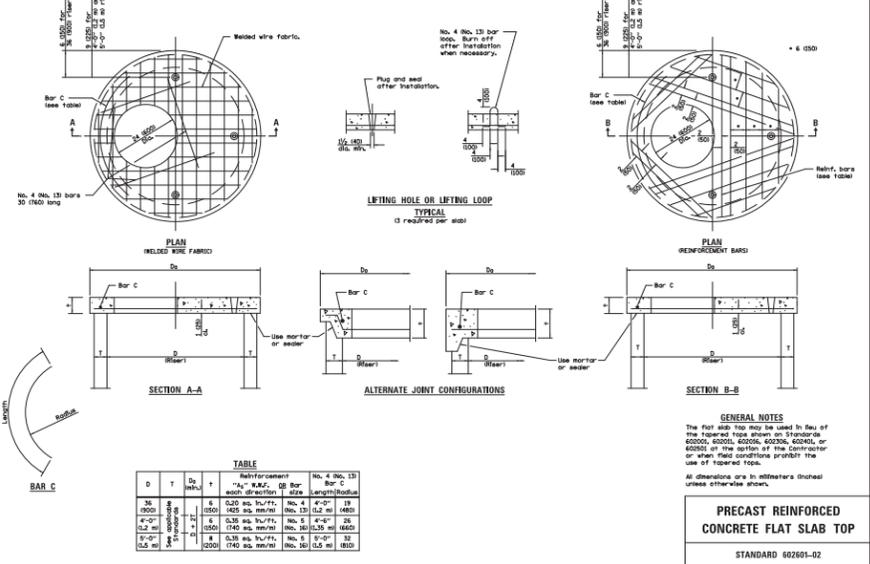
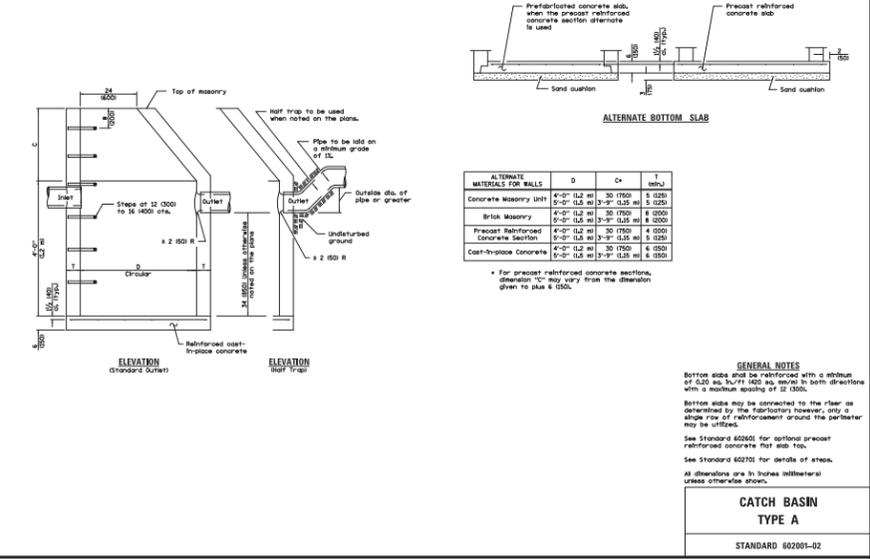
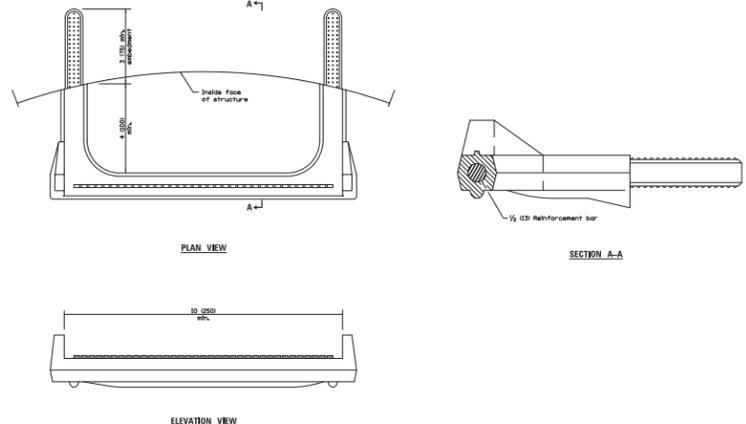


FILENAME:
 6122_06SPEC
 DATE:
 08/27/2018
 JOB NO.
 6122.06
 SHEET
 SP1
 8 OF 10



All dimensions are in inches unless otherwise shown.

GRATE TYPE 8
STANDARD 604036-02



NO.	DATE	REMARKS
1	09/17/18	PER VILLAGE COMMENTS

DETAIL 1

2501 OGDEN AVENUE ADDITIONAL PARKING
DOWNERS GROVE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 694-4040 Fax: (847) 694-4045

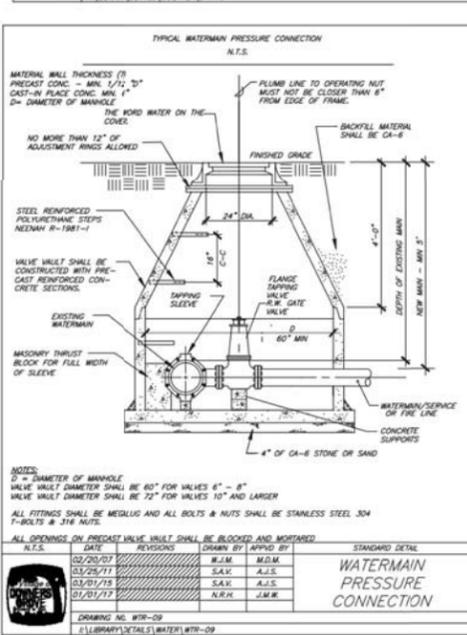
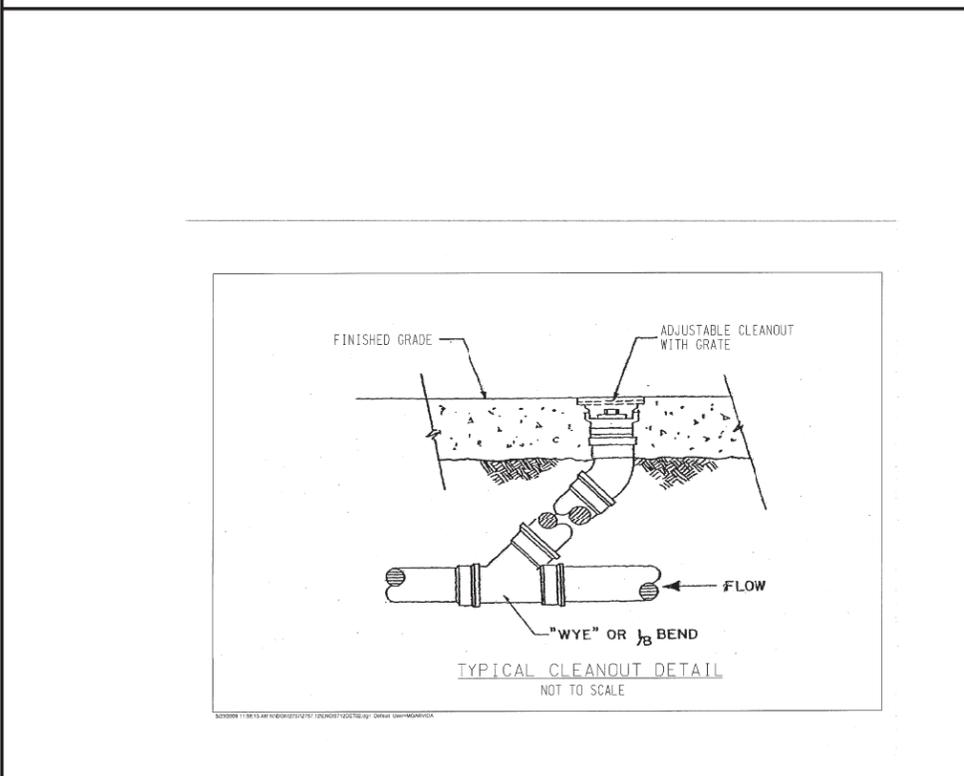
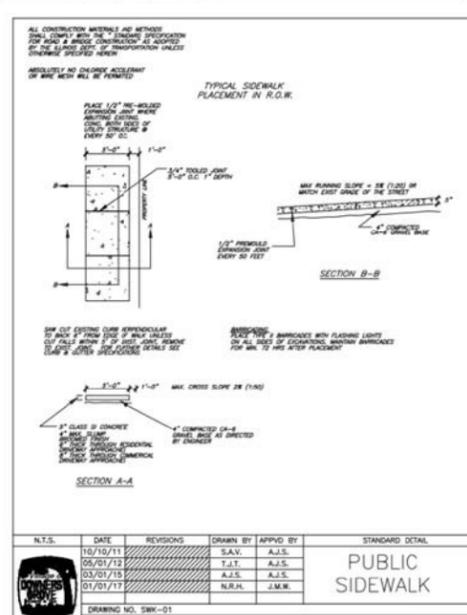
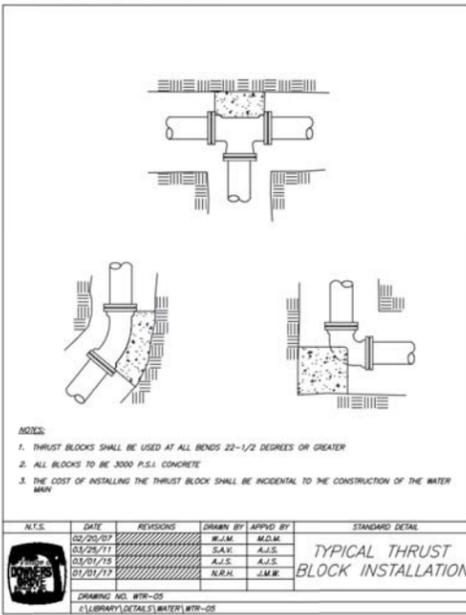
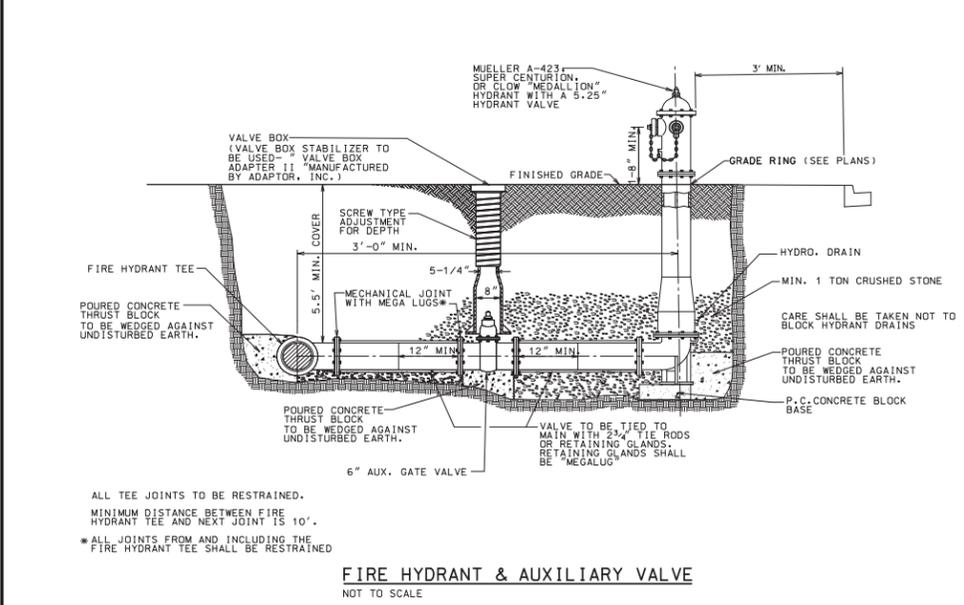
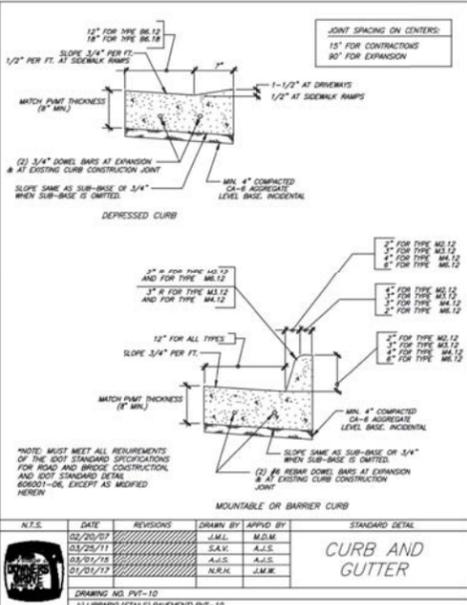
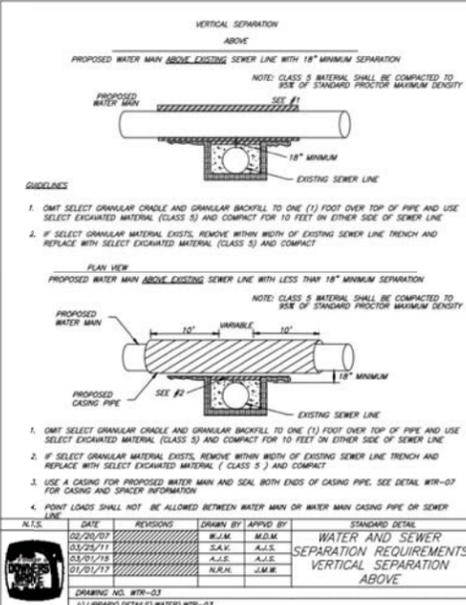
SPACECO INC.

FILENAME:
6122_06DET01

DATE:
08/27/2018

JOB NO.
6122.06

SHEET
D1
9 OF 10



1 09/17/18 PER VILLAGE COMMENTS

NO. DATE REMARKS

NO. DATE REMARKS

DETAIL 2

2501 OGDEN AVENUE
 ADDITIONAL PARKING
 DOWNERS GROVE, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4040 Fax: (847) 694-4045

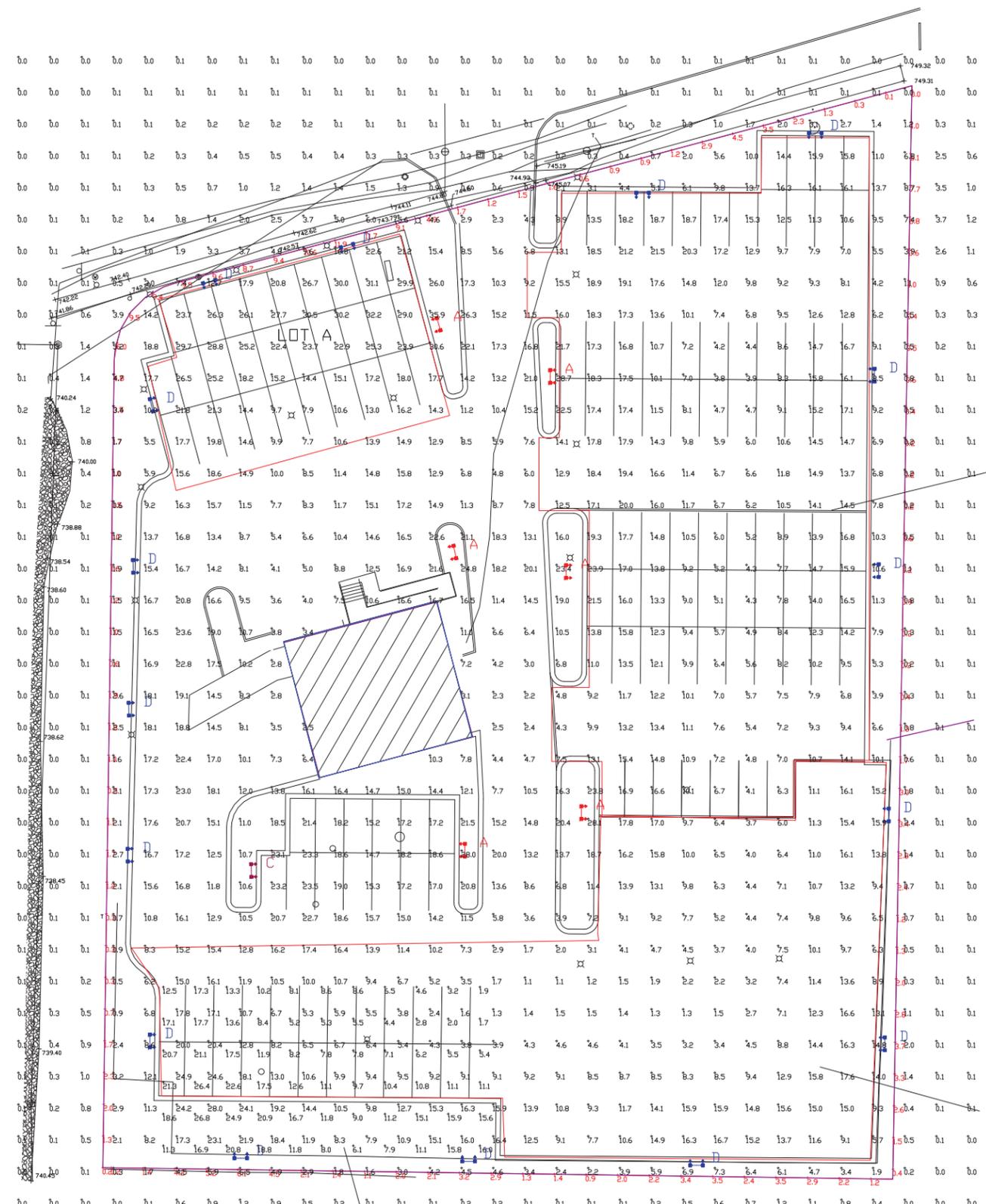
SPACECO INC.

FILENAME:
 6122_06DET02

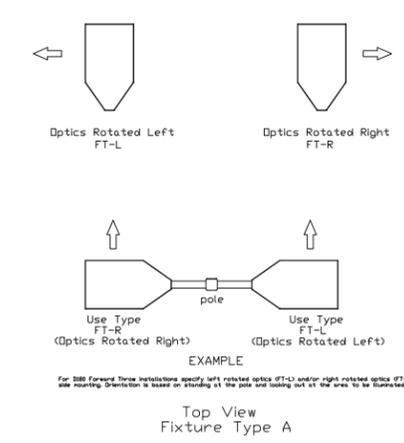
DATE:
 08/27/2018

JOB NO.
 6122.06

SHEET
 D2
 10 OF 10



FRONT ADDITION FULL SUMMARY



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CALCS @ 4' AFG- 10' X 10'	Illuminance	Fc	8.01	35.9	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	2.65	11.9	0.0	N.A.	N.A.
REAR LOT SECTION	Illuminance	Fc	12.02	26.8	1.7	7.07	15.76
FRONT ADDITION FULL SUMMARY	Illuminance	Fc	11.78	21.5	3.8	3.10	5.66
LOT A	Illuminance	Fc	20.53	32.2	7.7	2.67	4.18
LOT B	Illuminance	Fc	9.58	26.4	1.1	8.71	24.00

LOT B

REAR LOT SECTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
A	6	A	D180° 2RTD	SLM-LED-30L-SIL-FT-50-70CRI-D180RT-(1)FT-L;(1)FT-R	1.000	N.A.	63478	497.2
C	1	C	D180° 2RTD	SLM-LED-30L-SIL-FT-50-70CRI-IL-D180RT-(1)FT-L;(1)FT-R	1.000	N.A.	39886	497.2
D	16	D	D180° 2RTD	SLM-LED-24L-SIL-FT-50-70CRI-IL-D180-(1)FT-L;(1)FT-R	1.000	N.A.	31770	377.6

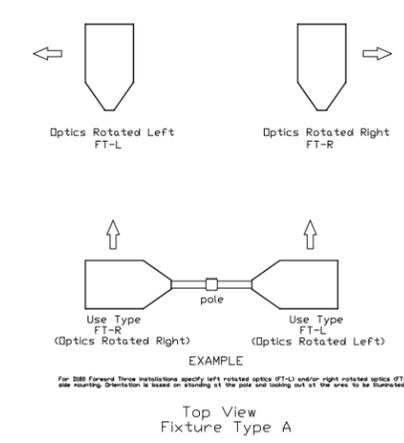
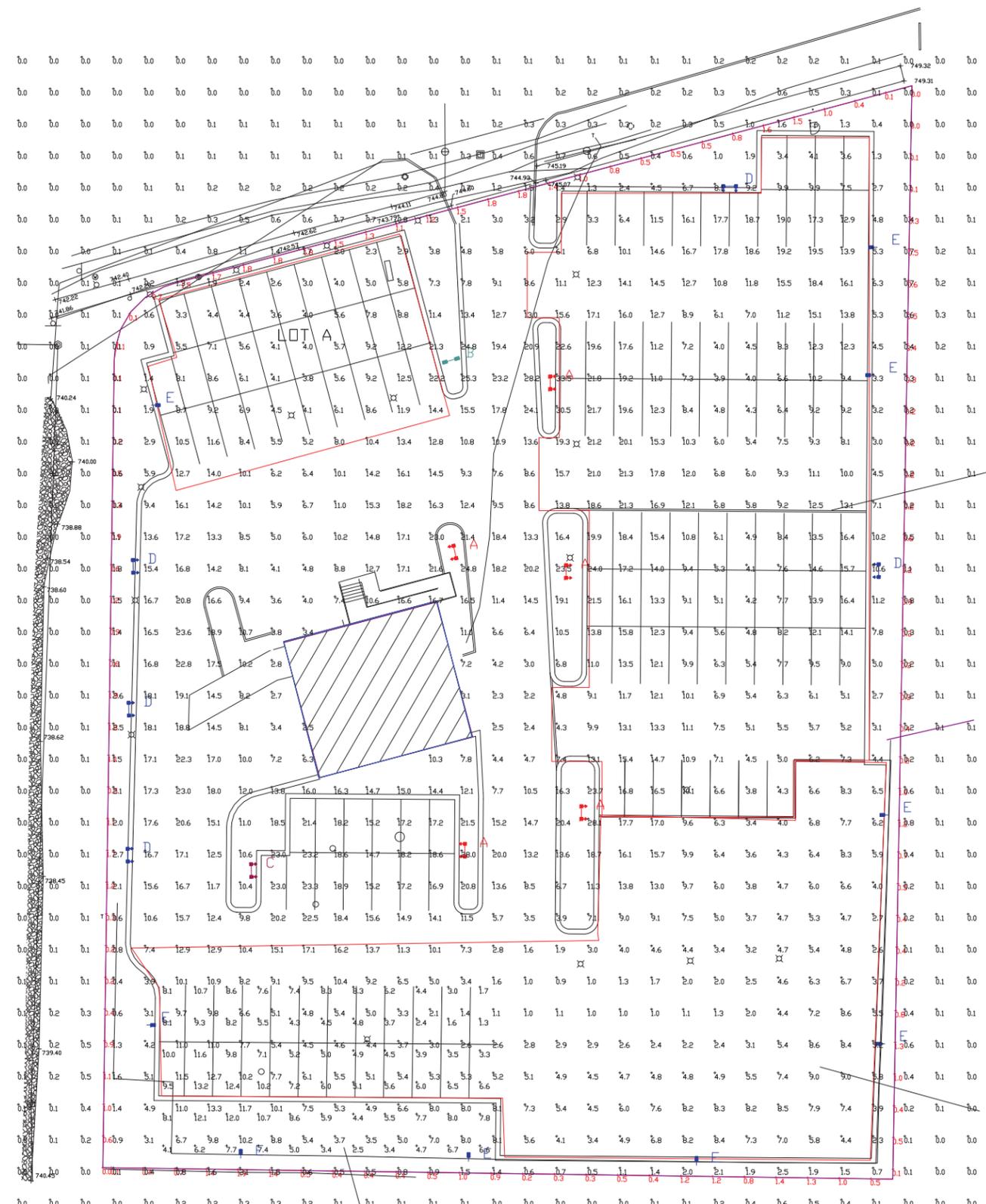
Total Project Watts_1
Total Watts = 9521995

LIGHTING PROPOSAL LO-142448-5

ZIEGLER AUTOMOTIVE
DOWNERS GROVE, IL

BY: SHB DATE: 4/28/18 REV: 9/14/18 SHEET 1 OF 1

SCALE: 1"=20'



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CALCS @ 4' AFG- 10' X 10'	Illuminance	Fc	6.19	33.5	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.76	1.9	0.0	N.A.	N.A.
REAR LOT SECTION	Illuminance	Fc	6.57	13.2	1.3	5.05	10.15
FRONT ADDITION FULL SUMMARY	Illuminance	Fc	11.08	21.8	3.3	3.36	6.61
LOT A	Illuminance	Fc	7.20	22.2	2.3	3.13	9.65
LOT B	Illuminance	Fc	6.15	17.7	0.9	6.83	19.67

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

REAR LOT SECTION

LOT B

Symbol	Qty	Label	Arrangement	Description	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	5	A	D180° 2RTD	SLM-LED-30L-SIL-FT-50-70CRI-D180ROT-(1)FT-L;(1)FT-R-22' MH	N.A.	63478	497.2
	1	B	D180°	SLM-LED-30L-SIL-FT-50-70CRI-D180-22' MH	N.A.	63478	497.2
	1	C	D180° 2RTD	SLM-LED-30L-SIL-FT-50-70CRI-IL-D180ROT-(1)FT-L;(1)FT-R-22' MH	N.A.	39886	497.2
	5	D	D180° 2RTD	SLM-LED-24L-SIL-FT-50-70CRI-IL-D180-(1)FT-L;(1)FT-R-22' MH	N.A.	31770	377.6
	9	E	SINGLE	SLM-LED-24L-SIL-FT-50-70CRI-IL-SINGLE-22' MH	N.A.	15885	188.8

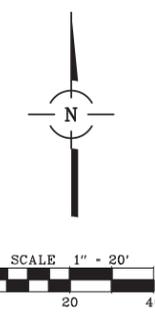
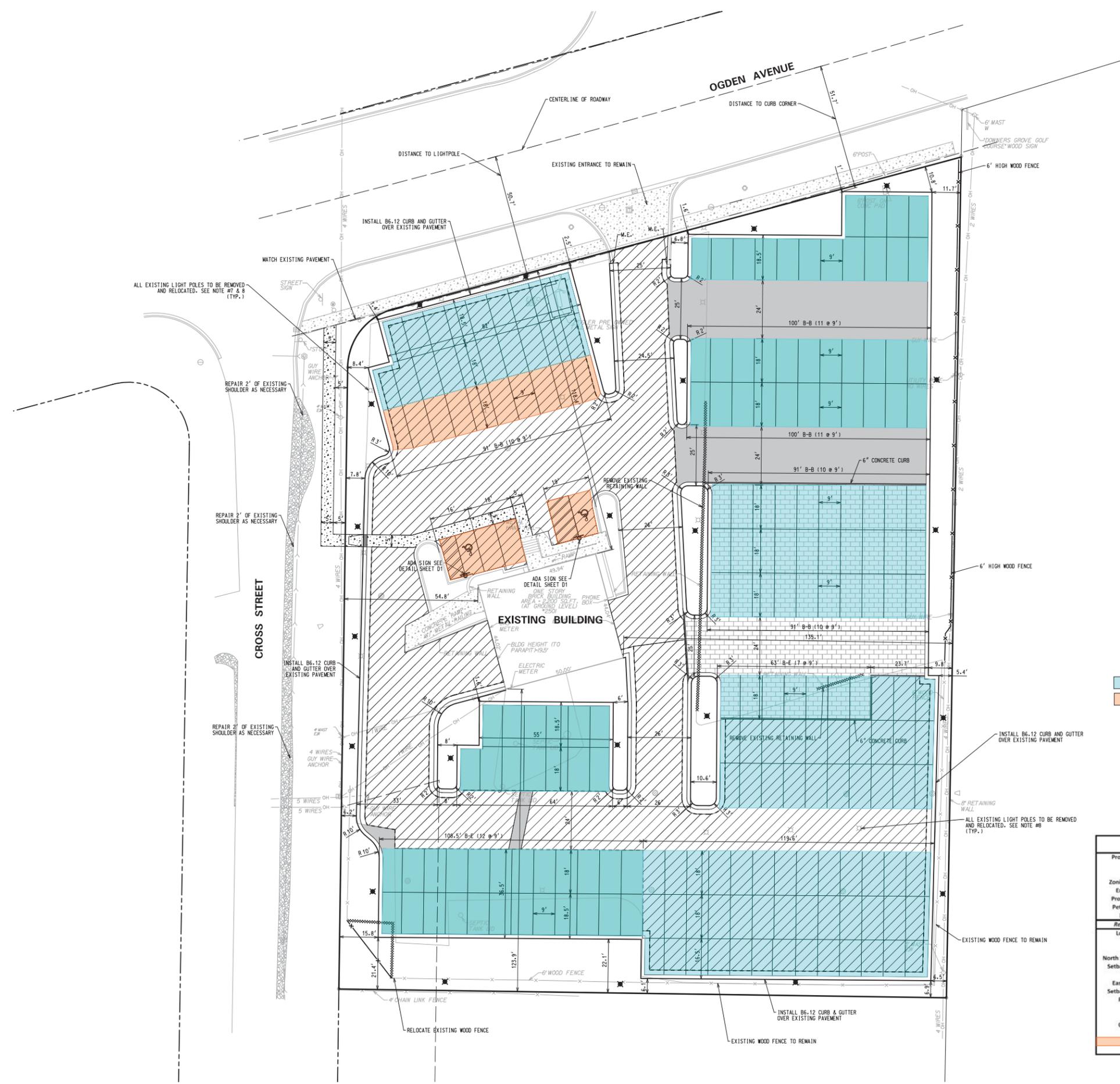
Total Project Watts_1
Total Watts = 7067.598

LIGHTING PROPOSAL LO-142448-5B

ZIEGLER AUTOMOTIVE
DOWNERS GROVE, IL
LSI-RECOMMENDATION

BY: SMH DATE: 4/28/18 REV: 9/14/18 SHEET 1 OF 1

SCALE: 1"=20' 0 20



- LEGEND**
- ASPHALT PAVEMENT
 - PAVEMENT GRIND AND RESURFACE (2.0")
 - PERVIOUS PAVERS
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
 - PITCH-IN CURB
 - DEPRESSED CURB & GUTTER
 - PAVEMENT PATCH LIMITS
 - PROPOSED LIGHT POLE LOCATION
 - REMOVE EXISTING FENCE/WALL

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS ARE PITCH-OUT UNLESS OTHERWISE NOTED.
 3. SEE SHEET GN1 FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE 4" WHITE PAINT.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS.
 7. ALL EXISTING LIGHT POLES ON SITE TO BE REMOVED AND PATCHED IN PAVEMENT AS NECESSARY.
 8. SEE PHOTOMETRIC PLANS BY LSI INDUSTRIES FOR PROPOSED LIGHT POLE DESIGN.
 9. CALL COMMUNITY DEVELOPMENT AT 630-434-5529 TO INSPECT THE PERMEABLE PAVEMENT BASE PRIOR TO BACKFILLING TO VERIFY THE DIMENSIONS, FABRIC PLACEMENT, AND BACKFILL MATERIAL.
- Legend:**
- = INVENTORY PARKING (192)
 - = REQUIRED PARKING (14)

OPEN SPACE CALCULATION:

TOTAL SITE	= 77,222 S.F.
GREENSPACE	= 13,770 S.F. = (17.8%)
OPEN FRONTAGE	= 8,428 S.F. = (10.9%)
NEW IMPERVIOUS	= 19,146 S.F.

* 10% REQUIRED BY CODE
** 5% REQUIRED BY CODE

ZONING ANALYSIS

Project Name: 2501 OGDEN AVENUE ADDITIONAL PARKING
 Address: 2501 OGDEN
 PIN(s): 08-01-306-024
 Zoning District: B-1
 Existing Use: Automobile dealership inventory lot
 Proposed Use: Automobile dealership inventory lot
 Petition Type: SPECIAL USE PERMIT
 Deviations: Increase number of inventory space for dealership with associated utility and grading improvements

Requirement	Factor	Required	Proposed/Existing	Meet Req.?	Difference
Lot Frontage	Minimum	N/A	528	N/A	N/A
Lot Area*	Minimum	N/A	77,222 s.f. (1.773 ac.)	N/A	N/A
Lot Width	Minimum	N/A	250	N/A	N/A
North Street Yard	50' from centerline of				
Setback Parking	Minimum		50'	YES	0'
Rear Yard	Minimum		20'	YES	0'
East Side Yard	Minimum		5'	N/A	N/A
Setback (W) Parking (W)	Minimum		8'	YES	0'
Sideyard	Minimum		8'	YES	0'
Height	Maximum	60'	N/A	N/A	N/A
Open Space	Minimum	10% of lot area	17.80% (13,770 s.f.)	YES	6048
FAR	Maximum	N/A	0.028	N/A	N/A
Parking*	Minimum	13**	14	YES	1
Donations	Minimum	N/A	N/A	N/A	N/A

Remarks: * 1.4 Spaces per 1,000 s.f. of outdoor display space + 2 spaces per service bay (if applicable)
 ** (192 x 9' x 18') x 0.4/1000

PARKING LEGEND EXHIBIT

**2501 OGDEN AVENUE
ADDITIONAL PARKING**

DOWNERS GROVE, ILLINOIS

NO.	DATE	REMARKS
1	09/17/18	PER VILLAGE COMMENTS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065

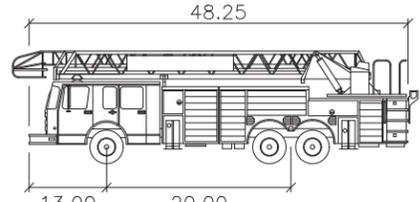
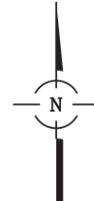
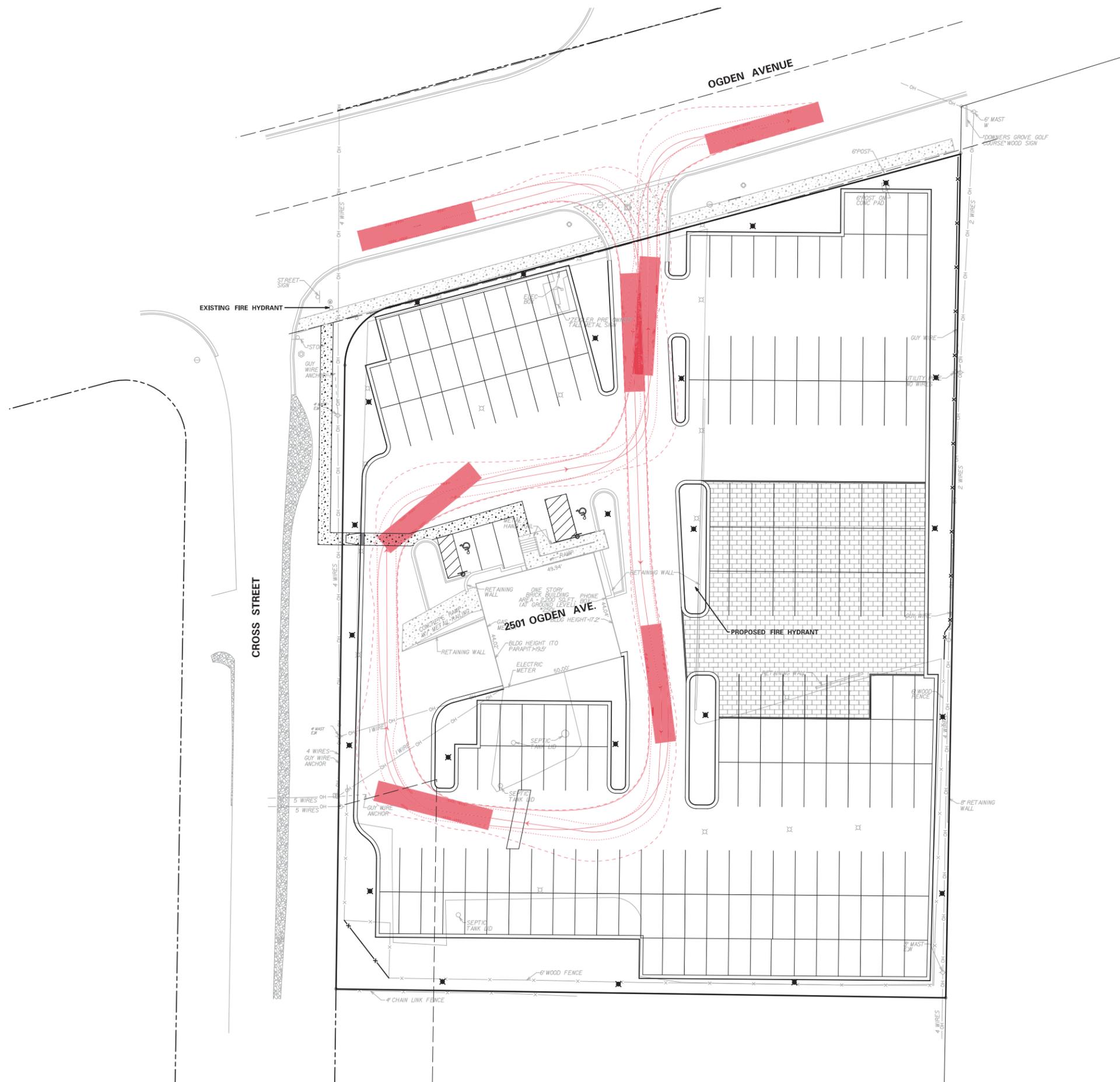
SPACECO INC.

FILENAME:
6122_06

DATE:
08/27/2018

JOB NO.
6122.06

SHEET



Downers Grove Fire Truck

Width	: 8.33
Track	: 7.83
Lock to Lock Time	: 6.0
Steering Angle	: 38.6

VEHICLE ENVELOPES

- FRONT TIRE PATH
- REAR TIRE PATH
- - - - VEHICLE BODY ENVELOPE

NO.	DATE	REMARKS

NO.	DATE	REMARKS

FIRE DEPARTMENT EXHIBIT
2501 OGDEN AVENUE
ADDITIONAL PARKING
 DOWNERS GROVE, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 694-4060 Fax: (847) 694-4065



SPACECO INC.

FILENAME:
6122_06EXH-FIRE

DATE:
09/17/2018

JOB NO.
6122.06

SHEET
FDE
1 OF 1