

**VILLAGE OF DOWNERS GROVE  
PLAN COMMISSION**

VILLAGE HALL COUNCIL CHAMBERS  
801 BURLINGTON AVENUE

June 26, 2017  
7:00 p.m.

**AGENDA**

**1. Call to Order**

**a. Pledge of Allegiance**

**2. Roll Call**

**3. Public Hearings**

- a. 16-PLC-0019:** The purpose of the request is to consider updates to the downtown development regulations. Village of Downers Grove, Petitioner.

**4. Adjournment**

**THIS TENTATIVE REGULAR AGENDA MAY BE SUBJECT TO CHANGE**



# DEPARTMENT OF COMMUNITY DEVELOPMENT MEMO

**To:** Plan Commission  
**From:** Stan Popovich, AICP  
 Director of Community Development  
**Subject:** 16-PLC-0019, Downtown Development Regulations Framework  
**Date:** June 26, 2017

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## Synopsis

The Plan Commission will review the downtown development regulatory framework prepared by the Comprehensive Planning Ad Hoc Committee and provide comments and recommendations to the Village Council.

## Background

The Village Council created the Comprehensive Planning Ad Hoc Committee (CPC) to complete two items:

- Update the Village’s 2011 Comprehensive Plan
- Develop a downtown development regulatory framework based on the policy detailed in the Comprehensive Plan.

The CPC completed their work on the Comprehensive Plan at their November 2016 meeting and the updated Comprehensive Plan was adopted by the Village Council on June 13, 2017. As shown below, the downtown focus area of the Comprehensive Plan was discussed at various meetings by the CPC, Plan Commission and the Village Council.

### Comprehensive Plan Downtown Focus Area Meetings

Board	2016								2017					
	M	J	J	A	S	O	N	D	J	F	M	A	M	J
CPC	★	★					★							
PC		★						★	★					
VC			★			★				★	★	★	★	★

The development and review of a downtown development regulatory framework in support of the Comprehensive Plan will go through a similar process. The CPC developed the regulatory framework in January and February of 2017. The Plan Commission is charged with reviewing, commenting and making a recommendation to the Village Council on the regulatory framework in the next three months. The Village Council will review the regulatory framework and Plan Commission comments and recommendations beginning in September.

**Downtown Development Regulatory Framework Schedule**

Board	2017								
	J	F	M	A	M	J	J	A	S
CPC	★	★							
PC						★	★	★	
VC									★

The role that each Board has in the development of the regulatory framework in support of the Comprehensive Plan is shown in the table below:

Board	Role	Deliverables
<p>CPC - 7 member Ad Hoc Board</p> <ul style="list-style-type: none"> <li>• 2 PC members</li> <li>• 2 ZBA members</li> <li>• 1 ADRB member</li> <li>• 1 EDC member</li> <li>• 1 Downtown Mgmt member</li> <li>• 1 SFPOC member</li> <li>• 1 TPC member</li> </ul>	<p>Develop a downtown regulatory framework in support of the policies and recommendations in the Comprehensive Plan</p>	<p>Recommended regulatory framework</p>
<p>Plan Commission</p>	<p>Review the CPC regulatory framework</p> <p>Provide comments and recommendations to the Village Council</p>	<p>Meeting minutes and a report to the Village Council</p>
<p>Village Council</p>	<p>Review CPC regulatory framework</p> <p>Review PC comments and recommendations on the regulatory framework</p> <p>Approve the regulatory framework or direct that the PC or CPC make revisions to the framework</p>	<p>Approved regulatory framework</p>

**Comprehensive Plan, Regulatory Framework and Development Regulations**

The Comprehensive Plan is a long-range guide for the maintenance and enhancement of existing areas and for improvements, developments and redevelopments within the Village. The Plan serves as a foundation for decision making in the community. It is intended to inform regulatory tools (such as the Zoning Ordinance) and also the Village’s decisions as leaders determine courses of action and the most appropriate forms of development and growth in the community. The Plan’s policies and guidelines should inform any revision to the development regulations to ensure consistency between the Plan and the development regulations.

Development regulations are intended to be used on a daily basis to ensure improvements to existing developments, redevelopments and new developments meet the standards of the Village. Development regulations protect the public health, safety and general welfare of the community while also implementing the policies and goals contained within the Comprehensive Plan. These regulations establish the types of uses allowed on specific properties and prescribe the overall character and intensity of development to be permitted.

It is essential that the development regulations are reviewed and updated as necessary to reflect the vision and policies in the Comprehensive Plan.

A regulatory framework is a bridge between the Comprehensive Plan and development regulations. The regulatory framework identifies Comprehensive Plan concepts and develops key regulatory topics for review and discussion that allows for concurrence before the regulations are drafted and adopted.

A summary of these three items is provided below:

Comprehensive Plan	Regulatory Framework	Development Regulations
<ul style="list-style-type: none"> <li>• 15-20 year vision of the future beyond the day-to-day issues</li> <li>• Guideline for decision making</li> <li>• Plan is not legally binding</li> <li>• Desired state of Downtown               <ul style="list-style-type: none"> <li>○ Physical</li> <li>○ Economic</li> <li>○ Social</li> <li>○ Environmental</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• Includes key concepts for regulations that serve as the basis to draft zoning, subdivision, historic preservation or design ordinances</li> <li>• Key concepts should be designed to produce the physical, social and economic conditions described in the Comprehensive Plan</li> <li>• Allows for discussion and concurrence prior to spending resources to create legally binding regulations</li> </ul>	<ul style="list-style-type: none"> <li>• Regulates day-to-day activities</li> <li>• Implements the vision of the Comprehensive Plan</li> <li>• Regulations are legally binding</li> <li>• Laws which govern development and use</li> <li>• Multiple ordinances and documents</li> <li>• Each document intended to create conditions that were recommended in the Comprehensive Plan</li> <li>• Developed by staff, including the Village Attorney</li> </ul>

### **Proposed Downtown Development Regulatory Framework**

The CPC's proposed downtown development regulatory framework includes:

- Creation of four zoning districts
  - Downtown Core
  - Downtown Edge-1
  - Downtown Edge-2
  - Downtown Transition
- Modifications to the Zoning Ordinance bulk requirements
- Modifications to the Zoning Ordinance land use table
- No modifications to existing Downtown Design Guidelines and their application
- No modifications to Historic Preservation as it relates to historic structures in the downtown

**Zoning Districts**

The CPC found that the three downtown subareas identified in the Comprehensive Plan would best be implemented by creating four zoning districts:

- *Downtown Core* is a place that has served as the social and civic heart of the downtown for 150 years and continues to attract people to gather as pedestrians.
- *Downtown Edge-1* is a place that is a combination of transit-oriented development and an area of greater residential density. Due to its proximity to the Downtown Core, this district should contain many of the characteristics of the core, including minimal building setbacks.
- *Downtown Edge-2* is a place that is a combination of transit-oriented development and an area of greater residential density. However, due to its location near the Downtown Transition and adjacent residential neighborhoods, this district should contain characteristics similar to the transition, such as building setbacks.
- *Downtown Transition* is an area that plays an important role in helping transition between more intensive uses in the downtown and the surrounding neighborhoods.

**Bulk Requirements**

Bulk requirements guide the physical development of a property primarily through height, parking, setback and density. These requirements determine where on the property a building can be placed, how big the building can be and how tall that building can be. The proposed bulk regulations in the regulatory framework reflect the Comprehensive Plan’s vision for the downtown. Shown below are the significant proposed modifications to the bulk regulations. It should be noted that in some instances, the new downtown districts encompass one or more existing zoning classifications. As such, some existing regulations are shown with a varying range.

*Downtown Core*

<b>Regulation</b>	<b>Existing</b>	<b>Proposed</b>
Maximum Height	70 feet	40 feet / 3 stories
Minimum Height	32 feet	24 feet / 2 stories

*Downtown Edge 1*

<b>Regulation</b>	<b>Existing</b>	<b>Proposed</b>
Maximum Height	70 feet	72 feet / 6 stories
Minimum Height	32 feet	24 feet / 2 stories
Side Yard Setback	Varies from 0-5 feet	5 feet / 10%
Rear Yard Setback	0 feet	10 feet

*Downtown Edge 2*

<b>Regulation</b>	<b>Existing</b>	<b>Proposed</b>
Maximum Height	60 - 70 feet	60 feet / 5 stories
Minimum Height	32 feet	n/a
Street Yard Setback	Varies from 0 – 20 feet	10 feet
Side Yard Setback	Varies from 0-5 feet	5 feet / 10%
Rear Yard Setback	Varies from 0 – 20 feet	10 feet

*Downtown Transition*

<b>Regulation</b>	<b>Existing</b>	<b>Proposed</b>
Maximum Height	35 - 70 feet	36 feet / 3 stories
Minimum Height	32 feet	n/a
Street Yard Setback	Varies from 0 – 20 feet	10 feet
Side Yard Setback	Varies from 0-5 feet	5 feet / 10%
Rear Yard Setback	Varies from 0 – 20 feet	10 feet

**Land Use Table**

The location of industrial, institutional, retail, residential and service uses in the Village are regulated by a Use Table within the Zoning Ordinance. Based on CPC discussions, a proposed use table has been created which identifies allowable uses in each of the four proposed districts. Similar to the bulk regulations, some proposed districts encompass one or more existing zoning classifications and their uses. A few significant recommendations are noted below:

*Downtown Core*

- Apartment / condominium uses are allowed by-right on the 2nd floor or above as part of a mixed-use development
- Building service (contractor office, plumbing or landscape services), day care center, lodging, fueling stations and personal vehicle sales and rental uses are no longer permitted

*Downtown Edge-1 and Edge-2*

- Apartment / condominium uses are allowed by-right
- Convenience goods, convenience shopping goods and building supply uses permitted by right with no limitation on size
- Fueling stations and personal vehicle sales and rentals are no longer permitted

### *Downtown Transition*

- Apartment / condominium uses are allowed by-right
- Bed and breakfast use is added as a Special Use
- Art galleries and studios no longer permitted

### Design Guidelines

The Village currently uses the [Downtown Design Guidelines](#) to guide the exterior appearance of downtown developments that require entitlement approvals. The guidelines are not intended to dictate architecture or building style, but rather influence the design of the building so that they adhere to the Comprehensive Plan recommendations to create pedestrian-oriented development, and maintain a commitment to quality architecture. The guidelines cover five sections: site design, building design, building base, building middle and building top. The guidelines describe elements which support good design and provide visual references which identify both encouraged and discouraged elements. Design guidelines are similar to the Comprehensive Plan in that both are visionary documents but are not regulatory.

Currently, staff works with petitioners on meeting the design guidelines and makes recommendations to petitioners to meet the design guidelines during the review process. Compliance with the design guidelines is applied as a standard for approval. The CPC explored the use of Design Guidelines in the downtown and determined that the current guidelines and their application are appropriate for the downtown.

### Historic Preservation

The new historic preservation ordinance was established to encourage preservation of historically significant structures throughout the Village. Since its adoption in late 2015, there have been no landmark applications from downtown property owners. Additionally, the Comprehensive Plan identifies several buildings and sites in the downtown which may be historically significant. The CPC did not discuss the historic preservation ordinance and its application to the downtown.

### **Upcoming Plan Commission Schedule**

The Village envisions three meetings to comment on the CPC recommended regulatory framework and develop a report and recommendation to the Village Council. A schedule of topics to be covered at each meeting is shown below:

- |           |   |
|-----------|---|
| June 26   | <ul style="list-style-type: none"><li>• Review process</li><li>• Review roles and responsibilities of CPC, PC and Village Council</li><li>• Review deliverables</li><li>• Review Comprehensive Plan's Downtown Focus Area – pages 104-113</li><li>• Review and comment on CPC bulk regulation recommendations</li><li>• Review and comment on CPC use table</li></ul> |
| July 24   | <ul style="list-style-type: none"><li>• Review existing design guidelines and their use</li><li>• Review and comment on CPC design guideline recommendations</li><li>• Discuss Historic Preservation in the downtown</li></ul>  |
| August 28 | <ul style="list-style-type: none"><li>• Finalize report to the Village Council</li><li>• Make recommendation to the Village Council</li></ul>   |

## **Attachments**

Comprehensive Plan - Downtown Focus Area  
CPC recommended regulatory framework  
Downtown Design Guidelines  
CPC meeting minutes (January and February)

## **Additional Links**

Comprehensive Plan – adopted June 13, 2017

[http://www.downers.us/public/docs/departments/com\\_dvlpment/CompPlan2017\\_Approved\\_061317.pdf](http://www.downers.us/public/docs/departments/com_dvlpment/CompPlan2017_Approved_061317.pdf)

January CPC meeting agenda packet

[http://www.downers.us/public/docs/board\\_commission/Comp\\_Plan\\_2016/Agenda-011617.pdf](http://www.downers.us/public/docs/board_commission/Comp_Plan_2016/Agenda-011617.pdf)

February CPC meeting agenda packet

[http://www.downers.us/public/docs/board\\_commission/Comp\\_Plan\\_2016/Agenda-022017.pdf](http://www.downers.us/public/docs/board_commission/Comp_Plan_2016/Agenda-022017.pdf)

Downtown Design Guidelines

[http://www.downers.us/public/docs/board\\_commission/architectural\\_design\\_review/Downtown\\_Design\\_Guidelines.pdf](http://www.downers.us/public/docs/board_commission/architectural_design_review/Downtown_Design_Guidelines.pdf)

# Key Focus Areas

## Downtown

For over 150 years, downtown Downers Grove has been the symbolic heart of the community and remains a key focal point for social and civic life. The downtown area is notable for many historic buildings and places such as the Tivoli Theatre, the Main Street Cemetery and the Masonic Temple among others. The importance of downtown to the identity of the community cannot be overstated. Downtown is the "place" where all of Downers Grove comes together; preserving that characteristic is the single most important aspect for downtown planning. Accordingly, a "placemaking" approach to planning, zoning and design should be adopted and implemented. Going forward, the challenge will be to maintain this traditional sense of place as well as the look and feel of a historic downtown in a manner that is economically sustainable.

Downtown is bisected by the BNSF railroad tracks and adjacent commuter parking lots. Main Street is the central business corridor in Downtown and has a coordinated streetscape from Franklin Street to Maple Avenue. In recent years, several new developments have occurred in Downtown providing new housing, parking and retail opportunities. Recommendations in this subarea plan take into consideration both the history of Downtown as well as these recent developments.

## Key Concepts

- An improved Downtown wayfinding system should be a priority for Downtown. Wayfinding should include key destinations, public parking facilities, Village Hall, historic landmarks, Downtown parks and facilities, and Metra. Wayfinding can not only direct pedestrians and motorists to destinations in the Downtown, but can help promote the Downtown's unique amenities to commuters and visitors.
- Downtown's urban environment contains a lot of concrete and asphalt, which contributes to stormwater runoff. Where possible, best management practices should be constructed in order to improve stormwater management. Grove Street's permeable pavers serves as a good example of how this could be implemented in downtown.
- Developing boundaries for the Downtown's transition areas should be a priority for the Downtown. Opportunities to expand the boundaries of the Downtown are limited, however there are opportunities for intensification. The priority for the Downtown should be on infill development and redevelopment of key sites in order to maximize the Downtown's potential while strategically evaluating opportunities to expand the boundaries.
- Infill development and redevelopment should be pedestrian-oriented in order to complement the historic building pattern of the Downtown. Retail shops with attractive display windows and restaurants with sidewalk cafes maintain visual interest and generate foot traffic.
- Prohibit new and redevelop existing, non-pedestrian-oriented businesses including the strip commercial center on north Main Street and auto-oriented businesses, including drive-thru uses which should be relocated outside of the Downtown. Office uses should be encouraged to occupy space above the ground floor.



- To maintain the Downtown's unique identity and character, the Village should consider policies, programs and tools to identify and facilitate the protection of historic buildings and sites and encourage adaptive reuse of historic structures.
- The Village should maintain a commitment to quality architecture through the development of tools and design guides for the Downtown properties.
- As key properties redevelop, a sense of enclosure should be maintained to provide comfort to pedestrians. A sense of enclosure is attained through the combination of street widths and building height in proportion to the historic building pattern of the Downtown
- The importance of public uses (churches, Village Hall, parks, library, post office, and social services) cannot be overstated for the continued success of the Downtown. Preserving key streets as commercial corridors (e.g. Main Street) while also providing areas for public uses encourages visitors to make several stops during a trip to Downtown and encourages them to stay longer.
- Consider dedication of surface parking for shoppers and parking deck use for commuters. The Village should also consider parking counters at public lots and the Parking Deck that will provide drivers with real time information on the number of available parking spots as they navigate the Downtown.
- Reinforce the Downtown as the primary focal point in the community by working with Downtown Management to promote the activation of the Downtown's gathering spaces with special events, public art, and other temporary outdoor uses.
- Guided by the findings of the 2011 Parking Study, explore suitable locations on the north side of the railroad tracks for expanded parking, including the potential for a new parking deck. Not only would this provide businesses on the north end of the downtown and north side commuters with a parking option, but it could serve as a catalyst for north side investment by allowing new development to buy into the parking deck and allow them to fully utilize their property. On either Forest Avenue or Main Street between Franklin Street and Warren Avenue may represent a potential location.
- Identify areas for centralized garbage collection for businesses in the Downtown Core. A centralized dumpster area should be well screened and can remove this unsightly, yet necessary component of business operation to open up alleyways and the rear of buildings for storefronts and rear entrances.

- Encourage outdoor seating areas for restaurants and entertainment uses by streamlining the permitting process and reducing restrictions on sidewalk seating. Additionally, the Village should identify opportunities to expand sidewalks where appropriate and utilize existing set backs on buildings to create plazas and larger outdoor areas. The Village could consider a pilot program to expand outdoor seating into on-street parking spaces as some other communities have done.
- Promote business initiated/focused special events, such as sidewalk sales, to increase energy and activity in Downtown.
- Promote historic preservation as a means to preserve the existing building stock and historic architectural character of the village.
- With bus and train service, the Downtown is, and should remain, a multi-modal environment that fosters a sense of energy and vitality. As a complement to public transportation, active transportation and the use of bicycles should also be supported and encouraged. However, the Downtown should first remain a “walkable” area. The Village should support the installation of additional bike parking at both public and private facilities in the Downtown’s periphery to allow cyclists to park and secure their bikes and become “pedestrians” in the Downtown.
- The Village should explore the feasibility of constructing a pedestrian grade separated crossing near the Metra station. This significant capital investment would increase the safety of commuters and residents as they cross the railroad tracks. The Village should look into funding sources to help finance its construction, including grants from Burlington Northern Santa Fe (BNSF), the Illinois Commerce Commission, federal grants, and Metra.
- Ensure that adequate parking is provided for motorcycles and scooters in the Downtown.
- The Village should review circulation patterns, roadway capacities, and parking availability in the downtown after the completion of the Marquis on Maple development and the mixed-use and residential developments currently planned in the Downtown.
- Consider the establishment of a Downtown Design Review Board.
- Encourage greater residential density in the Downtown Edge to help facilitate a vibrant and energetic downtown. By allowing taller buildings and increased density in the Edge this will also increase the importance of the Downtown Transition area to buffer the neighboring residential areas.
- The success of downtown can be attributed to the coordination and combination of these key features: architectural detailing, a mix of land uses, pedestrian-oriented design, appropriate building heights, streetwalls and storefronts, a compact street grid, and public spaces and gathering areas. Future development or redevelopment should take into consideration these elements.
- Use the 2008 Downtown Pattern Book as a resource and guide for future development or redevelopment.
- As new development or redevelopment occurs, infrastructure improvements, such as the BNSF crossing at Washington Street, may be necessary to accommodate increased residential density.

Consider relocating commuter parking to new structures in the periphery of Downtown to encourage commuters to walk through downtown and patronize downtown businesses

TO OGDEN AVENUE

Reestablish the alley to provide service entrances for all buildings along Main Street

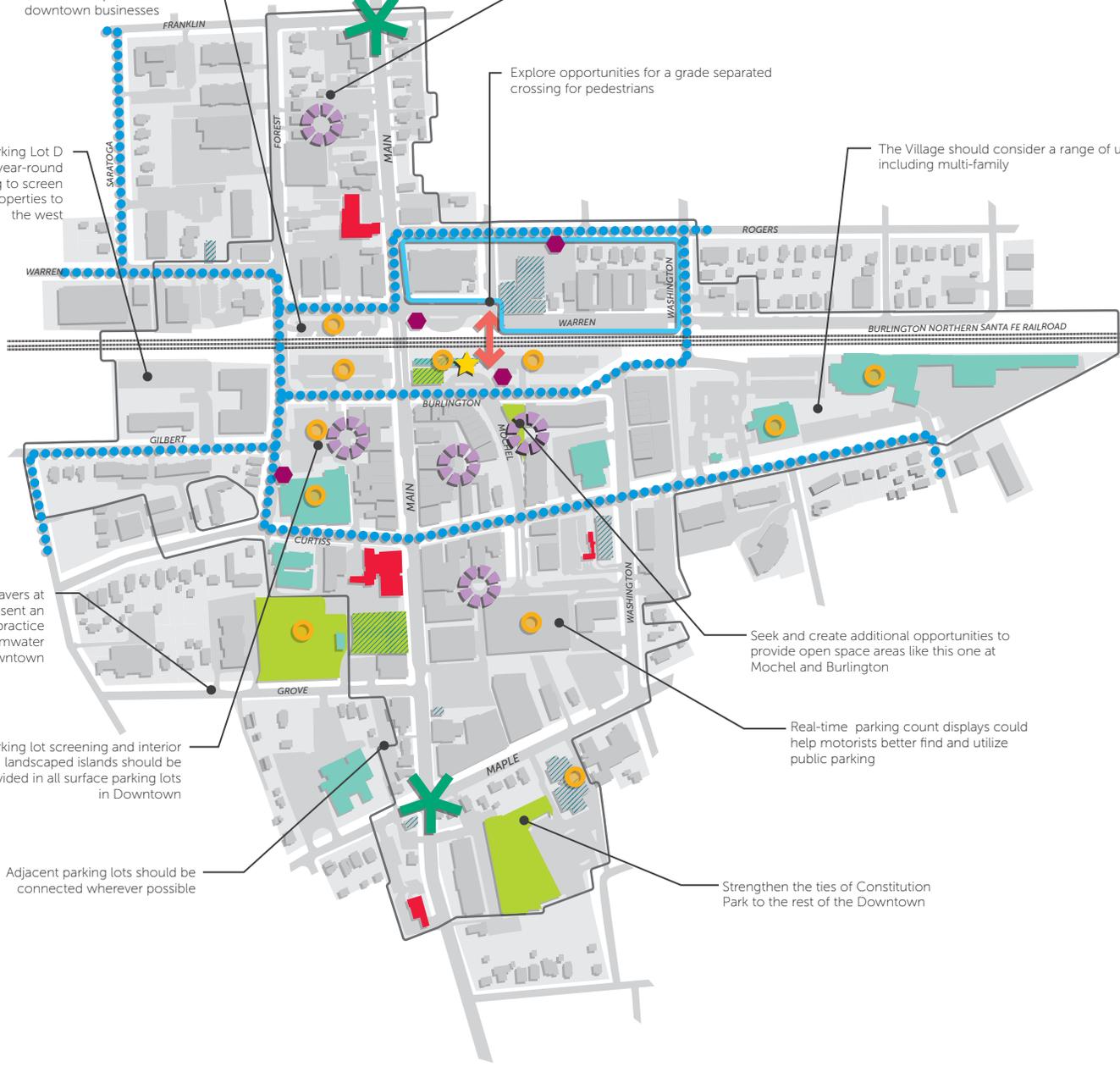
Commuter parking Lot D should have year-round landscaping to screen residential properties to the west

Explore opportunities for a grade separated crossing for pedestrians

The Village should consider a range of uses including multi-family

To Aurora Via Lisle

To Chicago Via Fairview



The permeable pavers at Grove Street represent an excellent best practice toward stormwater management Downtown

Seek and create additional opportunities to provide open space areas like this one at Mochel and Burlington

Parking lot screening and interior landscaped islands should be provided in all surface parking lots in Downtown

Real-time parking count displays could help motorists better find and utilize public parking

Adjacent parking lots should be connected wherever possible

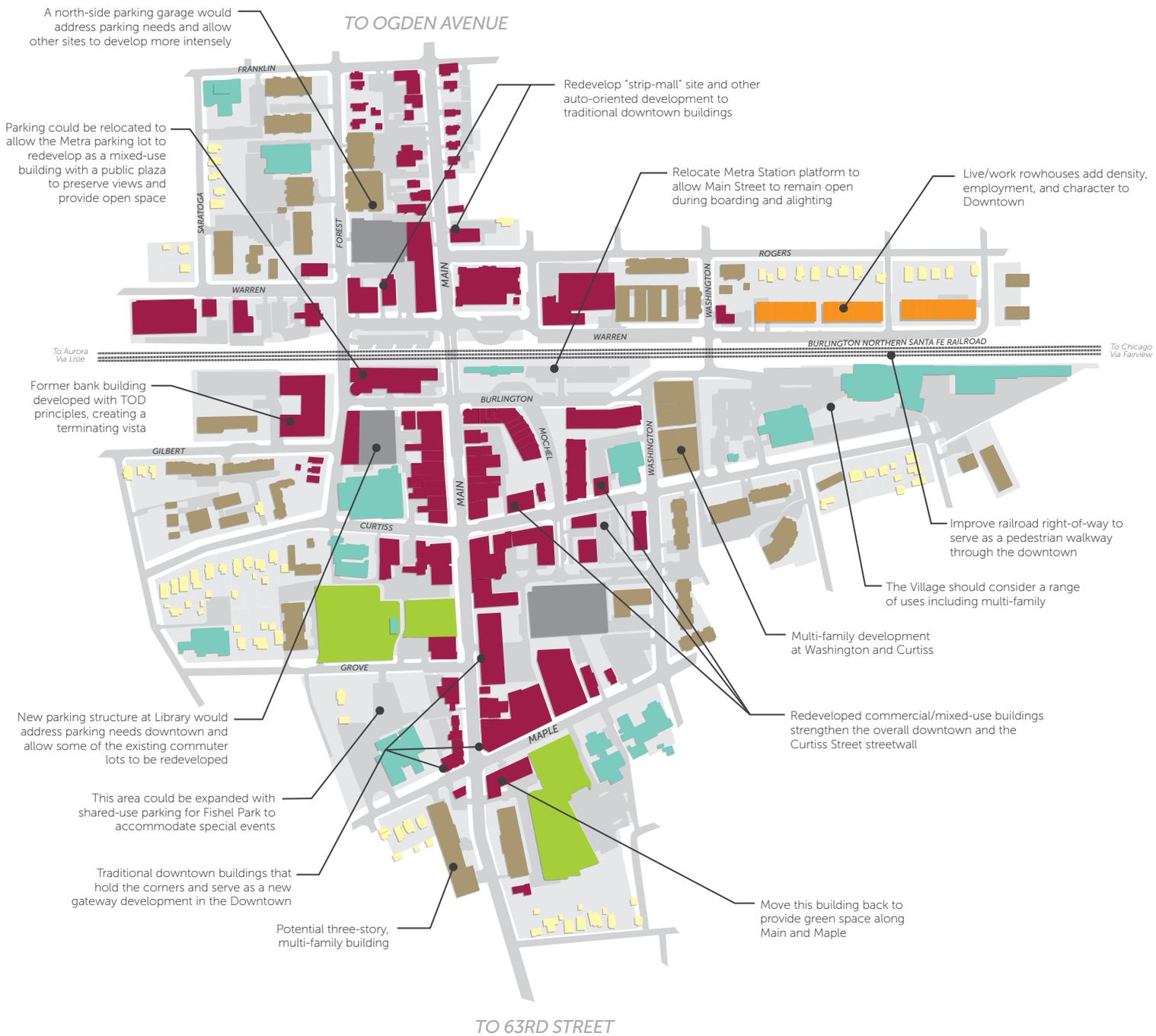
Strengthen the ties of Constitution Park to the rest of the Downtown

TO 63RD STREET



## Key Concept Recommendations

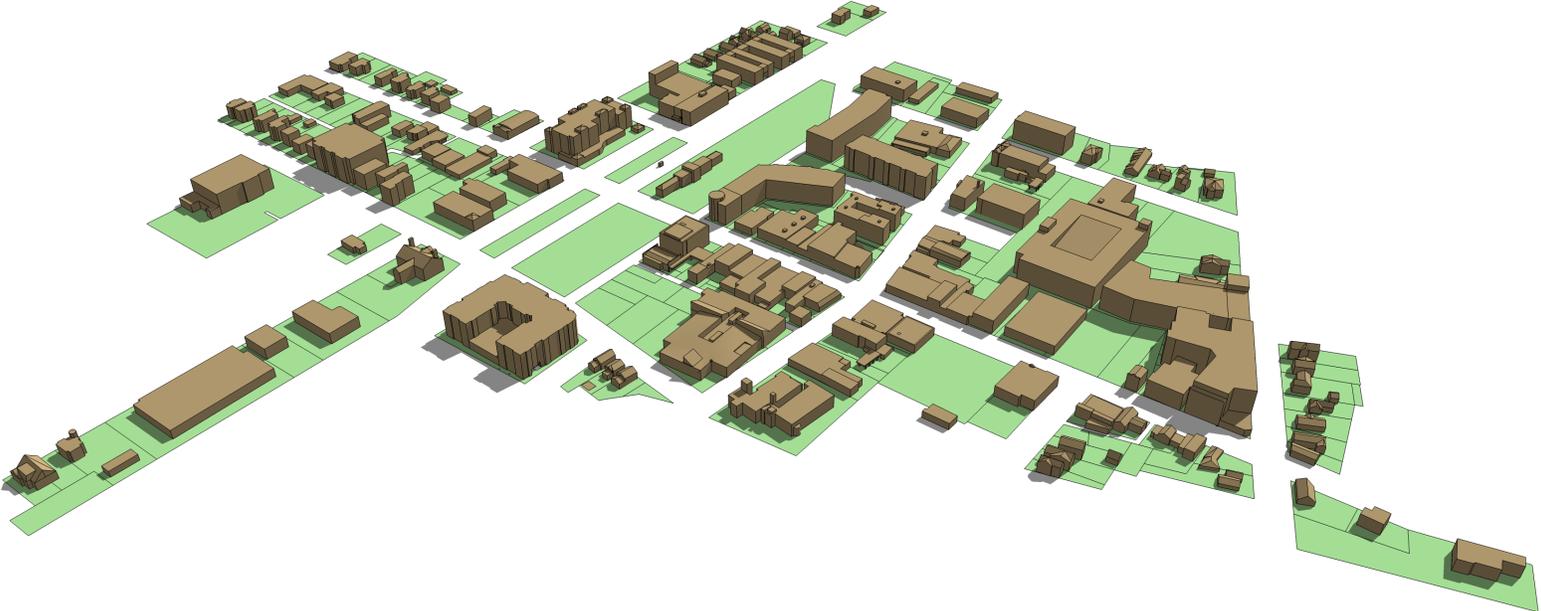
- Key Downtown Destination
- Gateway/Directory Signage
- Existing TIF District
- Existing Auto-Oriented Business
- Historic Structure or Site
- Centralized Garbage Collection
- North-side Parking Deficiency
- Pedestrian Underpass
- Park & Open Space
- Public Use
- Metra Commuter Station
- Village-Propose Bike Route
- Bike Parking



## Land Use & Development

- Single Family Residential
- Mixed-Use
- Multi-Family Residential
- Park & Open Space
- Live/Work Units
- Parking Garage
- Public/Semi-Public

# Existing Bulk Model



## Key Focus Areas

# Downtown Catalyst Sites

### **B1** AT&T Switching Station Parking Lot

This parking lot next to the AT&T Switching Station holds redevelopment potential. This site is ideally located for residential or for parking on the north side of the tracks to serve commuters and businesses. The parking lot is underutilized during the middle of the workday. The Village should explore how much of the lot is used by AT&T and see if it would be feasible to acquire.

### **B2** Main & Warren

This site presents an opportunity to redevelop an auto-oriented strip center and a one-story building into a multi-story, mixed-use development. Complementing this development, this site could accommodate a parking structure catering to the Downtown employees, shoppers and commuters along Forest Avenue.

### **B3** Washington & Warren

This area provides an important transition from residential areas to the north to the Downtown. Portion of this site designated 'Downtown Edge' may be taller and denser while those designated 'Downtown Transition' may contain less bulk. This site provides an opportunity to provide additional multi-family, office, mixed-use or parking.

### **B4** Main & Burlington

This site could be redeveloped as a mixed-use TOD development with residential above retail. A mixed-use building could provide a public plaza to preserve views and provide open space. A mixed-use development could provide retail opportunities along Main Street and Burlington Avenue and assist in connecting Main Street and Forest Avenue.

### **B5** Library Parking Lot

This site presents a unique opportunity for a mixed-use TOD development with an attached parking structure. Any building located on this site should be oriented towards Burlington Avenue so that it connects Main Street to Forest Avenue. The development would need to include structured parking to potentially serve the needs of many users, including building occupants, library patrons, commuter parking and downtown retail parking. The existing drive through on Main Street should be eliminated and redeveloped so that there is not a break in the Main Street streetwall.

### **B6** Post Office Operations

The post office provides an important civic function and a vital traffic-generator for the Downtown. Consideration should be given to splitting the retail and service functions from the delivery operations in order to minimize truck traffic Downtown. Removing the truck operations/parking would also create a potential redevelopment site on the west side of the post office site. The retail function of the post office should remain Downtown.

### **B7** Curtiss & Washington

Parcels on the northeast corner of Curtiss and Washington Streets could be redeveloped individually or assembled to create a 1.5-acre redevelopment site. Proximity to the train station makes this site an ideal location for a mixed-use TOD with residential above ground-floor retail.

### **B8** Curtiss Street

This site includes a bank drive-through lane and a one-story commercial building. This site has the potential to be redeveloped into a mixed-use TOD development that fronts onto Curtiss Street. A redevelopment here should respect the architectural features and bulk of the bank building at the southwest corner of Curtiss and Main Streets.

### **B9** Masonic Temple Parking Lot

The parking lot west of the Masonic Temple has development potential to add more housing units and commercial space in the downtown. Currently, the lot is underutilized and has a drive-thru structure that is no longer in use. Any building constructed on this site should be set back as to not disrupt the view of the Masonic Temple, which may have historic significance within the Downtown and should remain.

### **B10** Grove & Main

An underutilized, one-story building and the neighboring surface parking lot provides a redevelopment opportunity for a stronger relationship to the historic building pattern of Downtown. A multi-story building oriented towards Main Street maintains the streetwall, provides a sense of enclosure, and provides a terminating vista for Grove Street. Parking could be provided in the rear of the building where access presently exists, with a pedestrian arcade or alley providing access to Main Street. A building with a high-quality of architecture would provide a terminating vista for Grove Street.

### **B11** Maple & Washington

This area is an important transition from Downtown to the adjacent residential areas to the south and east. This site provides an opportunity for additional multi-family residential that is sensitive to the adjacent height and massing of nearby buildings.

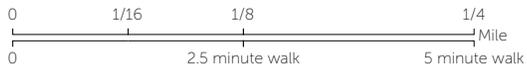
### **B12** Maple & Main

This intersection is the southern gateway into the Downtown. Except for the historic building on the southwest corner, the condition, setback and/or orientation of the buildings surrounding this intersection do not contribute to creating a true gateway. Preservation of the blacksmith shop, which may have historic significance, should be a component of any proposed redevelopment at the southwest corner of this intersection. Redevelopment around the blacksmith shop should respect the massing of the blacksmith shop.

TO OGDEN AVENUE



TO 63RD STREET



## Recommendations

 Catalyst Redevelopment Opportunity

## Key Focus Areas

# Downtown Functional Subareas

Downtown is often referred to, and treated as, a single place. While it is true that Downtown is a unique destination in the community, it is actually comprised of several distinct areas, with different form, uses, conditions, characteristics and potentials. The Downtown Subarea Plan addresses the specific needs of each "Functional Subarea" area and establishes recommendations for the improvement and enhancement of each area in the future, including appropriate uses and intensities.

## Downtown Core

The Downtown Core is a place that attracts people to gather as pedestrians. Placemaking should be the essential attribute and primary objective of planning for the Core.

In general, the concept of zoning by use should be subordinated by the objective of maintaining the built form of the Core. Maintaining a sense of place should be given priority over the importance of individual buildings and uses.

## Land Uses

**Residential.** Residential uses should not be encouraged in the Downtown Core, however, residential uses should be restricted to upper stories of mixed-use buildings.

**Retail.** Retail uses should be promoted within all areas of the Downtown Core.

**Entertainment.** Entertainment uses, including restaurants, bars, and theatres and any other should be promoted within all areas of the Downtown Core. Opportunities for al fresco dining, including sidewalk seating, should be promoted throughout.

**Office.** Office uses should be largely restricted to the greatest extent feasible to upper stories of mixed-use buildings unless such office uses generate foot traffic and streetscape vitality.

**Service.** Commercial service uses that generate frequent customers and contribute to the energy and activity in Downtown and on the sidewalk should be integrated into the mix of ground floor uses in the Downtown Core.

**Public Uses.** Public uses that generate visitors and activity should be considered appropriate within the Downtown Core. Public uses consisting of primarily office functions should be treated like office land uses.

## Built Form

The built form of the Downtown Core should support and facilitate the function of the Core, which is to establish and maintain a place that serves as the social and civic core of the community. The built form of the Core should foster a walkable environment that attracts and encourages people to gather, walk and mingle. A

continuous streetwalls and zero foot setbacks encourage fine granularity by increasing the density of doorways along a given segment of streetscape. However, alcoves and overhangs do allow for outdoor seating and places for pedestrians to linger in poor weather.

Building heights should not exceed three stories and be respectful of the existing structures. The Downtown Pattern Book should be used as a guide in designing buildings in the Core. Larger parking lots and decks should be located outside the Core with limited on-site parking accessed by alleyways in the rear of buildings. Eliminating existing drive-thru uses within the Core is a high priority objective of this Plan. Application of planning concepts such as triangulation should also be employed to facilitate placemaking.

## Downtown Edge

While the Core provides a place that has served as the social and civic heart of the community for more than 150 years, the Downtown Edge should be understood as a combination of (1) transit-oriented development (TOD) - a mixed-use residential and commercial area that seeks to leverage access to public transportation, and (2) an area of greater residential density to facilitate a vibrant and energetic downtown while providing economic sustainability to the Core. As with the Core, land use regulation and the built form should be subordinate to the purpose and intended function of the area.

## Land Uses

**Residential.** Residential development, generally of greater density than elsewhere in the Village, should be the predominant desired land use within the Downtown Edge. Within a particular development, a variety of mixed uses should be allowed if appropriate to facilitate the economic viability of such developments. Otherwise, uses that promote pedestrian traffic and / or triangulation with desired Core businesses should be encouraged to locate in the Core.

**Retail.** Retail uses should first be directed to the Downtown Core before developing within the Edge. Retail uses in the Edge should be focused near the Downtown Core. While retail, entertainment and restaurant uses should be most strongly encouraged in the Core, within particular Edge developments, a variety of mixed uses should be allowed if appropriate to facilitate the economic viability of such developments.

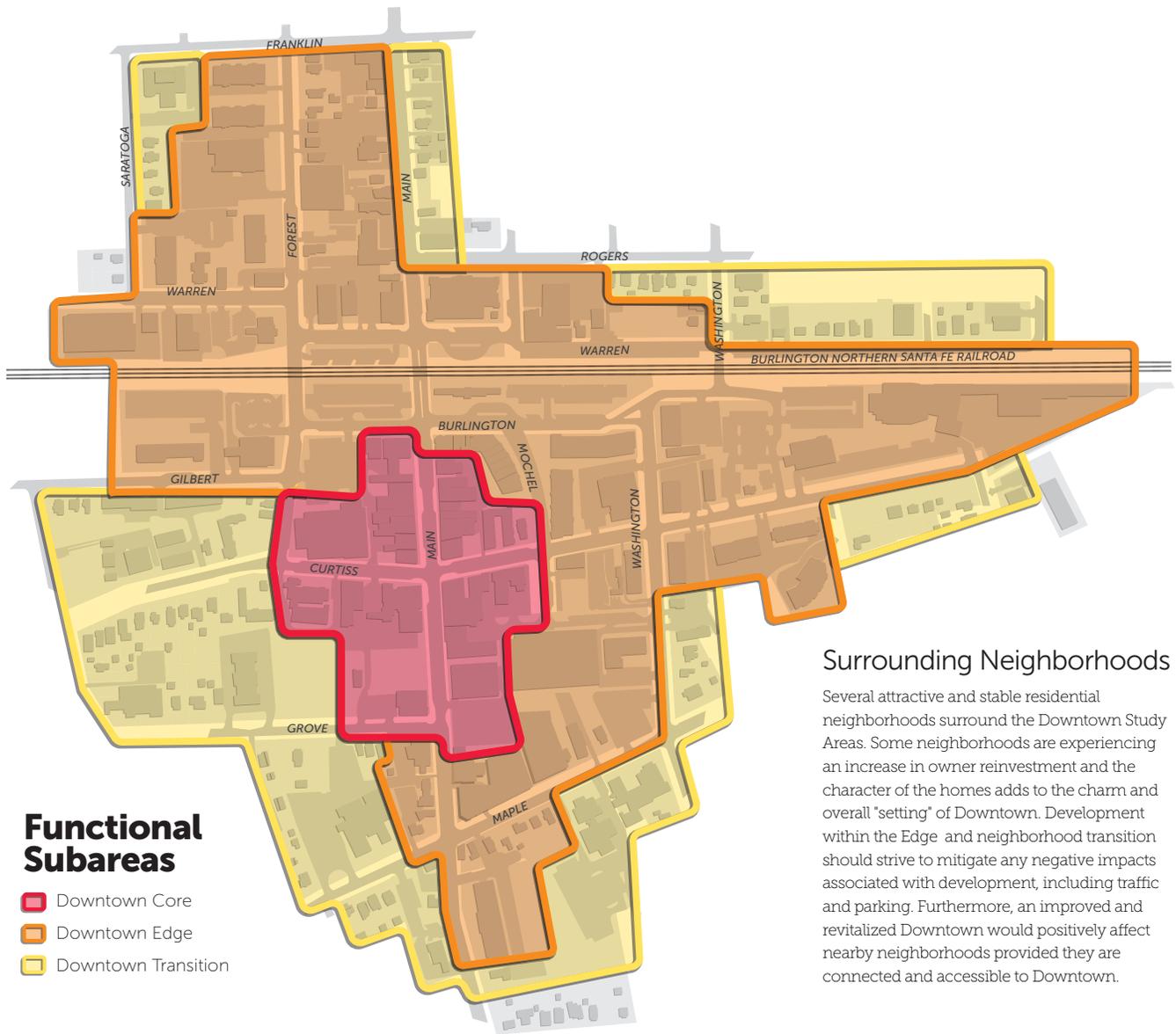
**Service.** Commercial service uses that generate frequent customers and contribute to the energy and activity in Downtown and on the sidewalk should be directed to the Downtown Core before developing within the Edge. Other types of commercial service uses should be considered appropriate in the Edge.

**Office.** Office uses should be encouraged as a component of mixed-use buildings within the Edge; however like residential, office uses on the ground floor should be permitted.

**Public Uses.** Public uses should be considered appropriate within the Edge.

## Built Form

The Downtown Edge is uniquely located adjacent to the Downtown Core with denser, commercial development and the Downtown Transition and residential neighborhoods with residential characteristics. The built form of the Downtown Edge should be generally consistent with transit-oriented development. As such, the location of edge properties should play a role in the built form. For those Edge properties nearer the core, buildings should exhibit core characteristics, such as larger buildings at, or near the sidewalk and front property lines and a continuous streetwall. For those Edge properties near the Downtown Transition and surrounding residential neighborhoods, buildings should exhibit these characteristics. Buildings may be larger but should include front and side setbacks to create open green space around the buildings. Parking in these areas should be provided on-street or in the rear of the buildings accessed by entry drives or side streets. Surface parking lots should follow the Village's landscaping and screening requirements.



## Functional Subareas

- Downtown Core
- Downtown Edge
- Downtown Transition

## Surrounding Neighborhoods

Several attractive and stable residential neighborhoods surround the Downtown Study Areas. Some neighborhoods are experiencing an increase in owner reinvestment and the character of the homes adds to the charm and overall "setting" of Downtown. Development within the Edge and neighborhood transition should strive to mitigate any negative impacts associated with development, including traffic and parking. Furthermore, an improved and revitalized Downtown would positively affect nearby neighborhoods provided they are connected and accessible to Downtown.

## Downtown Transition

The areas outside of the Downtown Core and Edge but within the Downtown Study Area comprise the Downtown Transition area. This area plays an important role in helping transition between more intensive uses in the Downtown Core and Downtown Edge into the neighborhoods that surround Downtown.

## Land Uses

**Residential.** All types of residential uses are appropriate in the Downtown Transition Area.

**Retail.** Retail uses should not be encouraged in the Downtown Transition area. Retail uses should be directed to the Downtown Core and Edge.

**Service.** Commercial service uses that generate frequent customers should not be encouraged in the Downtown Transition area. Other types of commercial service uses with primarily an office function may be appropriate, but should be considered on a case-by-case basis.

**Office.** Low intensity and professional office uses, including lawyers, accountants, doctors, should be considered appropriate in the Downtown Transition area.

**Public Uses.** Public uses should be considered appropriate within the Downtown Transition area.

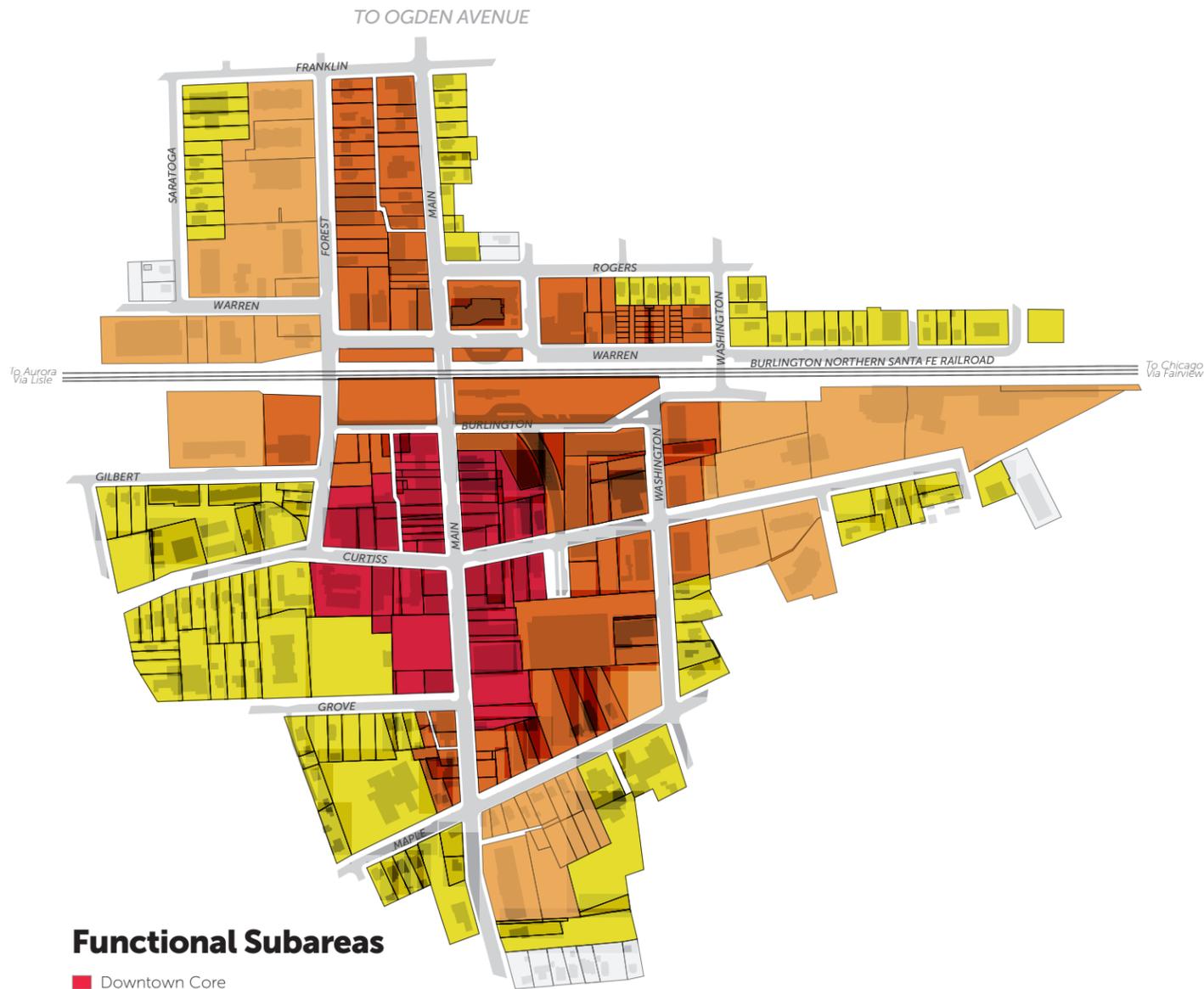
## Built Form

The built form of the Downtown Transition area should buffer nearby residential areas from taller and denser developments and should consist of buildings that are smaller than what is found in the Core and Edge subareas. These buildings should not have a street wall and should be setback from the front lot line in a manner that creates a front yard with some open space. The building should also be setback from side property lines to create a side yard. This subarea should be denser compared to the surrounding neighborhoods outside of the downtown, but should be respectful of the height of surrounding neighborhoods.

## Key Focus Areas

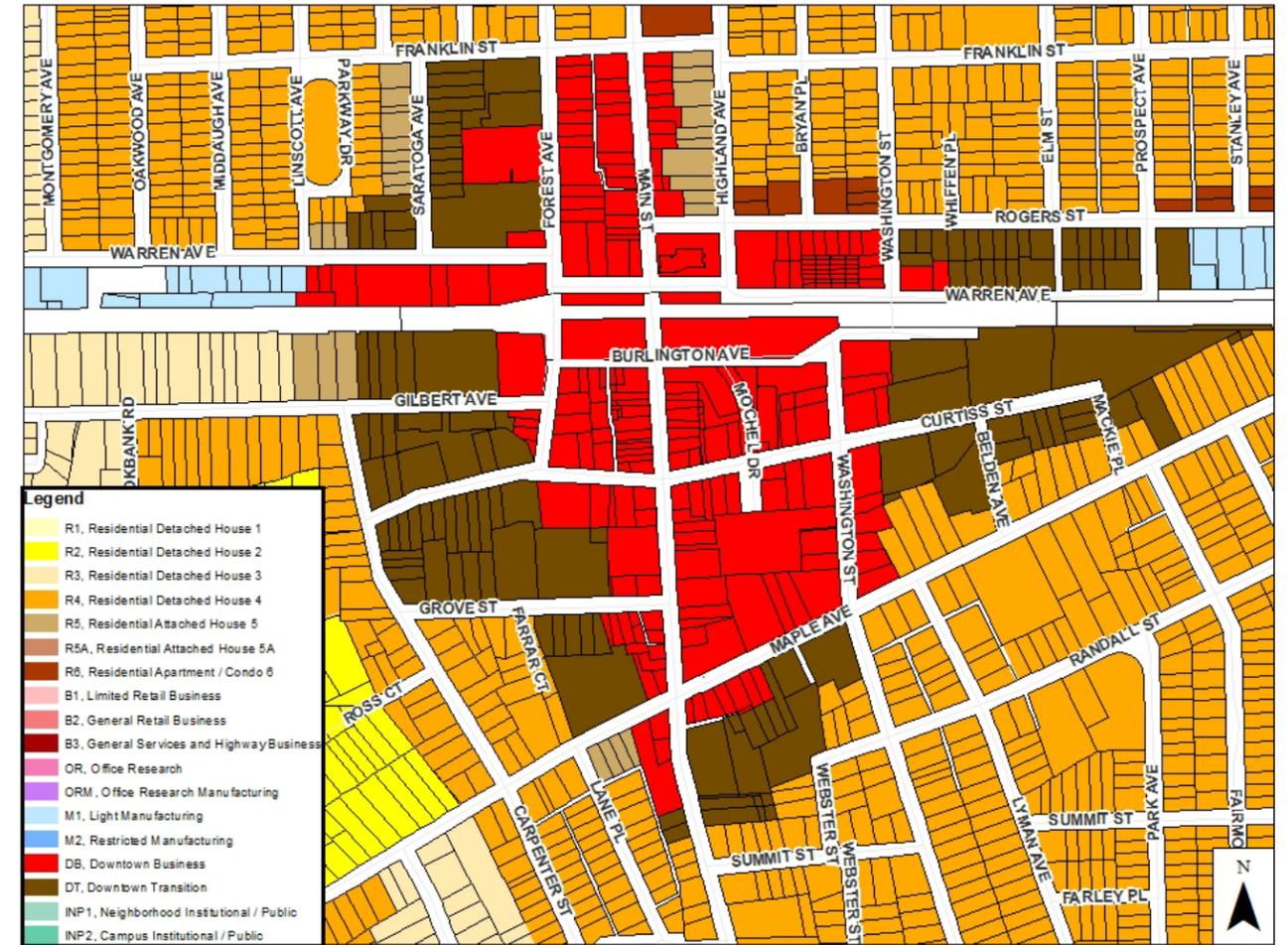
# Downtown Functional Subareas

Downtown is often referred to, and treated as, a single place. While it is true that Downtown is a unique destination in the community, it is actually comprised of several distinct areas, with different form, uses, conditions, characteristics and potentials. Therefore, to better accommodate and encourage new appropriate development, new zoning districts and standards are being proposed to better align with the Downtown Plan. The new zoning addresses the specific needs of each "Functional Subarea" and establishes recommendations for the improvement and enhancement of each area in the future, including appropriate uses and intensities.



### Functional Subareas

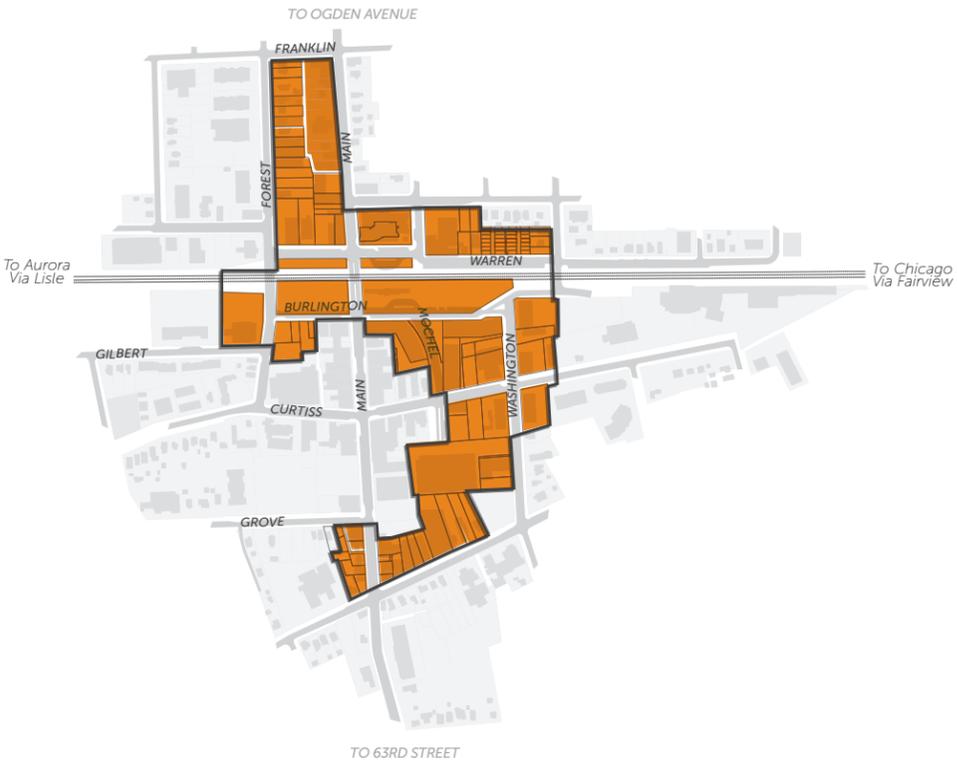
- Downtown Core
- Downtown Edge 1
- Downtown Edge 2
- Downtown Transition



**Downtown** Current Zoning



# Downtown Edge District (DE-1)



Existing Front Setback Requirement

0ft Front Setback



Existing Building Height Maximum

70ft Max Building Height  
 X Approximate Stories of Existing Buildings

## Downtown Edge District (DE-1)

**Desired/Planned Character:**

*Building Height:* 1-6 stories  
*Setbacks:* variable – proportional to height and proximity to neighborhood and downtown core  
*Uses:* wide ranging – mixed-use, residential, commercial, office, institutional, entertainment, civic, etc.

**Building Height:**

- Current zoning allows maximum height of 60-70 feet depending on parcel location
- Proposed maximum 72 feet/6-stories (approx. 12' per floor)

**Setbacks:**

- Street Setback:*
- Majority of parcels have no street setback required, but a few sites require a 10' street setback
  - Existing street setbacks vary within the district, from 0'-20+'
  - Proposed 0' street setback throughout district
- Side Setback:*
- The majority of the existing properties have 0'-5' side yard setback
  - Proposed side yard setbacks shall be a minimum of 5' or 10% of lot width, whichever is greater
  - Proposed side yard setback for properties adjacent to the DC District and those properties along Main Street shall be 0'

*Rear Setback:*

- Proposed rear setback is 10' throughout the district
- Special rear setbacks standards apply to property abutting an R zoned lot (see table).

**Uses:**

- Commercial, retail, office, entertainment, service, restaurant, civic, and residential (apartment, condominium, attached single-family)

# Downtown Edge District (DE-2)



## Downtown Edge District (DE-2)

**Desired/Planned Character:**

*Building Height:* 1-5 stories  
*Setbacks:* variable – proportional to height and proximity to neighborhood and downtown core  
*Uses:* wide ranging – mixed-use, residential, commercial, office, institutional, entertainment, civic, etc.

**Building Height:**

- Current zoning allows maximum height of 60-70 feet depending on parcel location
- Proposed maximum is 60 feet/5-stories (approx. 12’ per floor)

**Setbacks:**

- Street Setback:*
- Majority of parcels have no street setback required, but a few sites require a 10’ street setback
  - Existing street setbacks vary within the district, from 0’-20+’
  - Proposed 10’ street setback throughout district
- Side Setback:*
- The majority of the existing properties have 0’-5’ side yard setback
  - Proposed side yard setbacks shall be a minimum of 5’ or 10% of lot width, whichever is greater

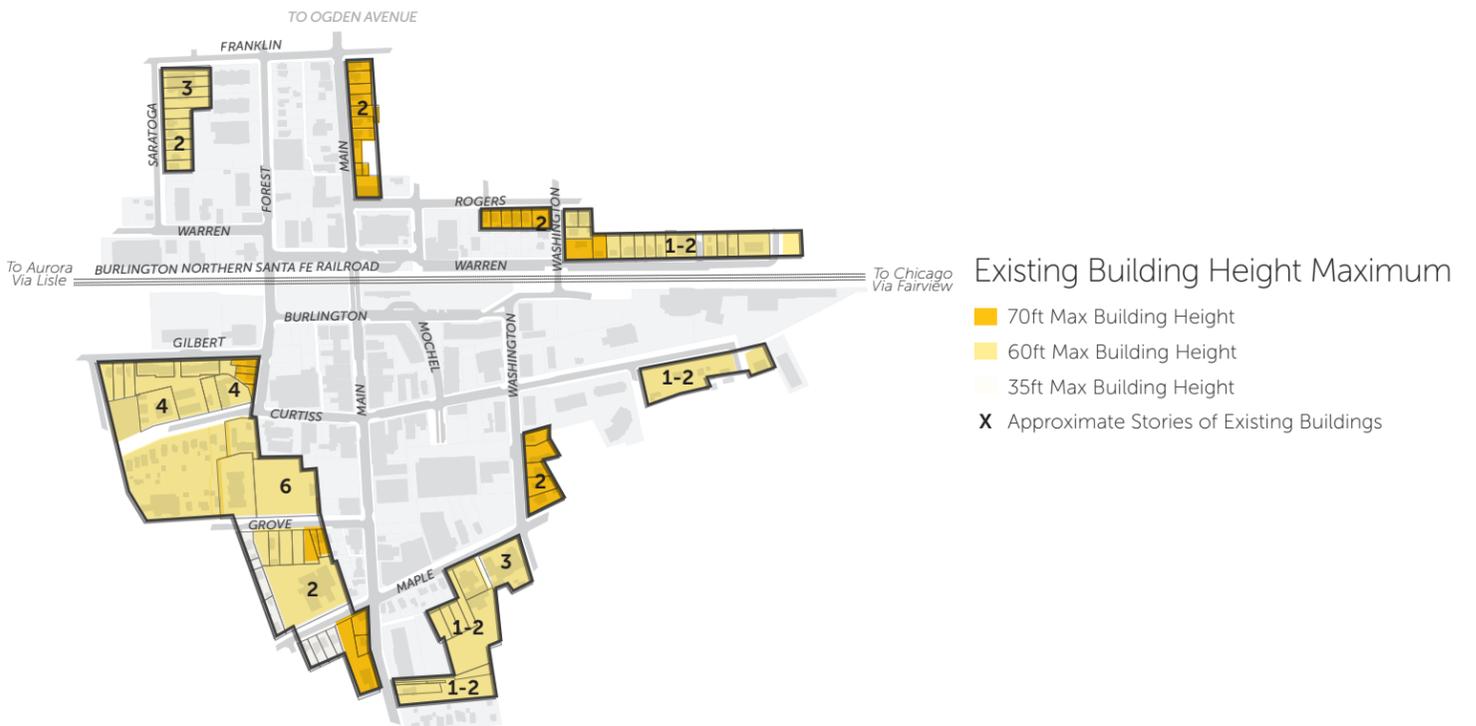
*Rear Setback:*

- Proposed rear setback is 10’ throughout the district
- Special rear setback standards apply to property abutting an R zoned lot (see table)

**Uses:**

- Commercial, retail, office, entertainment, service, restaurant, civic, and residential (apartment, condominium, attached single-family)

# Downtown Transition District (DT)



## Downtown Transition District (DT)

**Desired/Planned Character:**  
*Building Height:* 1-3 stories (existing buildings range from 1-6 stories in height)  
*Setbacks:* Buildings with landscaped setbacks reflective of residential districts.  
*Uses:* residential, office, service, home occupations, institutional (residential scale and compatibility)

**Building Height:**  
 Current zoning allows maximum height of 70' or 60' for most parcels, and 35' for a few parcels.  
 Proposed maximum is 36 feet/3-stories (approx. 12' per floor)

- Setbacks:**
- Street Setback:*
- Majority of parcels have no street setback required, or 10' street setback required. A few have 25' setback required.
  - Proposed 20' street setback throughout district, except for properties fronting Main Street, which will have a 10' required street setback.

- Side Setback:*
- The majority of the existing properties have 0'-5' side yard setback.
  - Proposed side yard setbacks shall be a minimum of 5' or 10% of lot width, whichever is greater.
  - Special side setbacks standards apply to property abutting an R zoned lot (see table).

- Rear Setback:*
- Proposed rear setback is 20' throughout the district, except for properties fronting Main Street, which will have a 10' required rear setback.
  - Special rear setback standards apply to property abutting an R zoned lot (see table).

- Uses:**
- Single-family, multi-family, office, service, home occupations, institutional (residential scale and compatibility), lodging (bed and breakfast only)

# Downtown Zoning Comparison Table

Regulation	DB	DT	DC	DE-1	DE-2	DT
<b>Building Height</b>						
Maximum	70'	60'[4]	40'/3-story	72'/6-story	60'/5-story	36'/3-story
Minimum	32'	-	24'/2-story	24'/2-story	-	-
<b>Parking</b> (per residential unit)	1.4	2	1.4	1.4	1.4	2
<b>Minimum Lot Area per D.U.</b> (square feet)	800	4,000[1]	800	3,000[1]	4,000[1]	4,000[1]
<b>Maximum Floor Area Ratio</b>						
Apartment/Condo	-	2.5	-	2.5	2.5	2.5
Non-residential	-	2.5	-	2.5	2.5	2.5
<b>Minimum Lot Area</b> (square feet)						
Detached House	-	7,500	-	-	7,500	7,500
Attached House (applies to development not individual units)	-	10,500	-	10,500	10,500	10,500
Two -Unit House (applies to development not individual units)	-	10,500	-	10,500	10,500	10,500
Apartment/Condo (applies to development not individual units)	-	10,500	-	10,500	10,500	10,500
Other Non-residential Building Uses	-	7,500	-	7,500	7,500	7,500
<b>Minimum Lot Width</b> (feet)	-	50'	-	50'	50'	50'
<b>Minimum Building Setback</b> (feet)						
Street	0'	10'[2]	0'	0'	10'	20'[x]
Side (interior)	0'	5'	0'	5'/10%	5'/10%	5'/10%
Rear	0'[3]	20'	0'	10'[3]	10'[3]	20'[3]
<b>Building to Zone</b>						
Minimum/maximum (feet)	0/10'	-	0/5'	0/40'	-	-
Minimum percent of building in primary street Building to Zone	80	-	80	80	-	-
Minimum percent of building in secondary street Build to Zone	30	-	30	30	-	-
<b>Maximum Building Coverage</b>	-	-	-	-	-	-
(% of Lot, Principal + Accessory)						
<b>Uses</b>						
See Downtown Uses table on page 8						

[1] Does not apply to detached houses or apartment/condo projects.

[2] No street setback required if street lot line abuts DC zoning districts or if front lot line is located on Main Street

[3] A rear setback is required when abutting the side or rear lot line of an R-zoned lot. When abutting the rear lot line of an R-zoned lot, the setback must be at least 20 feet in depth, plus one foot of additional setback for each foot of building height in excess of 20 feet. When abutting the side lot line of an R-zoned lot, the setback must be at least as deep as the side setback required on the abutting R-zoned lot, plus one foot of additional setback for each foot of building height in excess of 20 feet. See Figure 4-3.

[4] Detached houses, attached houses and two-unit houses subject to 35-foot maximum height.

[x] 10' minimum setback required for properties fronting Main Street

[xx] Only permitted as part of a mixed-use development; Residential uses not permitted on ground floor

Existing Districts: DB=Downtown Business; DT=Downtown Transition

Proposed Districts: DC=Downtown Core; DE-1=Downtown Edge 1; DE-2=Downtown Edge 2; DT=Downtown Transition

# Downtown Design Guidelines

## Intent:

The Design Guidelines for development within the four new Downtown zoning districts (DC, DE-1, DE-2, DT) are intended to ensure quality, compatible, attractive, and market viable development that fits the overall Downtown, as well as the character of each of the different zoning districts that comprise the greater Downtown area. The guidelines are not standards or formulas but rather principles and approaches which could be applied with understanding and sensitivity in context of the use of the site, nearby buildings and the streetscape of adjacent public rights-of-way.

The Design Guidelines are intended to promote an attractive and pedestrian-friendly Downtown. The guidelines will work cooperatively with zoning to establish a flexible and creative environment that seeks to accommodate a wide range of uses and development types.

The Design Guidelines are not intended to dictate architecture or building design, but rather guide development to ensure the desired Downtown character and sense of place while facilitating appropriate new development and exterior renovations.

The Design Guidelines shall apply to all new construction and exterior renovations of all non single-family residential development within the DC, DE-1, DE-2, and DT Districts.

## When and How to Use the Design Guidelines:

The Design Guidelines should be used to guide and evaluate new construction and exterior renovations of all non-single family residential developments within the four Downtown zoning districts. The following outlines the process for use of the Design Guidelines on a proposed development.

1. The developer is provided with the Design Guidelines. The intent is for the developer to follow the Design Guidelines as the development plans and designs are created. Village staff can answer any questions the developer may have regarding the Design Guidelines.
2. A new construction development or exterior renovation is proposed. Staff will determine if the proposed development meets the zoning standards for the district in which it is located, and whether or not the proposed development complies with the Design Guidelines.
3. Staff will work with the applicant or developer to encourage compliance with the Design Guidelines, understanding that the guidelines are not standards or formulas but rather principles and approaches to be applied to design.
4. If Village staff determines that the proposed improvements comply with all zoning standards, then the development or exterior renovation can be approved 'by-right'. In this case, Village staff will work with the developer to encourage compliance with the Design Guidelines. If all zoning standards are met, the development or renovation can continue without full compliance with Design Guidelines.
5. If Village staff determines that a proposed development does NOT comply with zoning, then the proposed development will require approval as a Planned Unit Development or a variation(s) can be sought for the necessary zoning relief. A Planned Unit Development would require a public hearing with the Plan Commission and a variation would require a public hearing with the Zoning Board of Appeals. As part of either a Planned Unit Development or a variation request, the Design Guidelines could be used as a standard of review to help determine the overall appropriateness of the proposed development.

## Components/Features:

The Design Guidelines will address a wide range of development and architectural components/features. Different guidelines will likely need to be developed for the different districts, as the type and intensity of development may vary wildly from one district to the next, as well as within each district.

## Identified below are many of the likely components/features to be addressed in the Design Guidelines:

### *Building Base*

- Windows - % opening
- Windows - transparency
- Knee Walls (12' - 30')
- Entry Features (articulation, elaboration, materials)
- Horizontal expression to establish ground level
- Materials - complement existing
- Materials - restore/repair existing
- Materials - discourage covering existing features and materials
- Materials - brick, manufactured stone, terra cotta, metal accents, metal panels, wood, hardiboard
- Materials - discourage EIFS, utility brick, CMU, vinyl or aluminum siding
- Materials - differentiate importance of building features

### *Base - Façade Elements*

- Awnings
- Outdoor cafes
- Protruding light fixtures
- Landscaping
- Benches / Seating
- Balconies
- Projecting sign

### *Building Middle*

- Windows in rhythm w/ base - % of window openings?
- Visual interest - sills, lintels, divided lights and style
- Replacement windows - fill entire historic window opening
- Fill in historic window - use different material

### *Middle - Façade*

- Proportionate shapes and patterns
- Visually appealing w/ detailing, openings & material
- Corner buildings - articulated comers and elaborated to reflect importance of corner

### *Middle - Materials*

- Complimentary
- Materials - brick, manufactured stone, terra cotta, metal accents, metal panels, wood, hardiboard
- Materials - discourage EIFS, utility brick, CMU, vinyl or aluminum siding
- Materials - differentiate importance of building features

### *Building Top*

- Distinctive corner and cornices
- Screen mechanical equipment

# Downtown Land Uses

Uses Category	DB	DT	DC	DE-1	DE-2	DT
<b>Residential</b>						
Housing Living						
Detached house	-	P	-	-	-	P
Attached house	-	P	-	P	P	P
Two-Unit house	-	P	-	P	P	P
Apartment/condo	S	S	P[17]	P	P	P
Group Living <i>(except for the following uses)</i>	-	-	-	-	-	-
Group home, small (8-person max. occupancy)	-	-	-	-	-	-
Group home, large (9 or more occupants)	-	-	-	-	-	-
Nursing home	-	-	-	-	-	-
Sheltered Care	-	-	-	-	-	-
<b>Public, Civic &amp; Institutional</b>						
Aircraft Landing Area	-	-	-	-	-	-
Cemetery	S[6]	-	S[6]	-	-	-
College or University	S	S	S	S	S	S
Community Center	S	S	S	S	S	S
Fraternal Organization	S	-	S	S	S	-
Governmental Facility	P	P	P	P	P	P
Hospital	-	-	-	-	-	-
Library	S	S	S	S	S	S
Museum or Cultural Facility	S	S	S	S	S	S
Natural Resource Preservation	P	P	P	P	P	P
Parks and Recreation	-	-	-	-	-	-
Religious Assembly	S[6]	S	S[6]	S	S	S
Safety Service	S	S	S	S	S	S
School	-	S	-	-	S	S
Utilities and Public Service Facility						
Minor	P	P	P	P	P	P
Major		S	S	S	S	S
Wireless Telecommunications						
Freestanding tower	S	S	S	S	S	S
Building or tower-mounted antenna	P	P	P	P	P	P
<b>Commercial</b>						
Adult Entertainment Establishment	-	-	-	-	-	-
Animal Service						
Boarding or shelter	-	-	-	-	-	-
Grooming	P	-	P	P	P	-
Veterinary Care	S	-	S	S	S	-
<b>Assembly and Entertainment <i>(except for the following)</i></b>						
Auditorium	S	-	S	S	S	-
Cinema	S	-	S	S	S	-
Theater	S	-	S	S	S	-
<b>Commercial Service</b>						
Building service	S	-	-	S	S	-
Business Support Services	P	-	P	P	P	-
Consumer maintenance and repair	P	-	P	P	P	-
Personal improvement service	P	P[13]	P	P	P	P[13]
Fortune telling or psychic service	-	-	-	-	-	-
Massage therapy	-	-	-	-	-	-
Research service	S	-	S	S	S	-
Day Care						
Day care home	-	P	-	-	-	P
Day care center	S	S	-	S	S	S
Eating and Drinking Establishment						
Restaurant	P	-	P	P	P	-
Wine boutique	P	-	P	P	P	-

Uses Category	DB	DT	DC	DE-1	DE-2	DT
Financial Service	P	-	P	P	P	-
Funeral or Mortuary Service	-	-	-	-	-	-
Lodging	S	-	-	S	S	-
<i>Bed and Breakfast</i>			-	-	-	S
Office						
Business and professional office	P	S	P	P	P	S
Medical, dental and health practitioner	P/S[8]	S	P/S[8]	P	P	S
Parking, Non-Accessory	S	S	S	S	S	S
Retail Sales						
Convenience goods	P/S[12]	-	P/S[12]	P	P	-
Consumer shopping goods	P/S[12]	P[14]	P/S[12]	P	P	-
Guns and firearm supplies	-	-	-	-	-	-
Building supplies and equipment	P/S[12]	-	P/S[12]	P	P	-
Self-service Storage Facility	-	-	-	-	-	-
Studio, Instructional or Service	P	S	P	P	P	S
Trade School	S	-	S	S	S	-
Vehicle Sales and Service						
Commercial vehicle repair and maintenance	-	-	-	-	-	-
Commercial vehicle sales and rentals	-	-	-	-	-	-
Fueling station	S	-	-	-	-	-
Personal vehicle repair and maintenance	-	-	-	-	-	-
Personal vehicle sales and rentals	S	-	-	-	-	-
Vehicle body and paint finishing shop	-	-	-	-	-	-
Automobile dealership off-site vehicle storage	-	-	-	-	-	-
<b>Wholesale, Distribution &amp; Storage</b>						
Equipment and Materials Storage, Outdoor	-	-	-	-	-	-
Trucking and Transportation Terminals	-	-	-	-	-	-
Warehouse	-	-	-	-	-	-
Wholesale Sales and Distribution	-	-	-	-	-	-
<b>Industrial</b>						
Artisan Industrial	-	-	-	-	-	-
Limited Industrial	-	-	-	-	-	-
General Industrial	-	-	-	-	-	-
Intensive Industrial	-	-	-	-	-	-
Junk or Salvage Yard	-	-	-	-	-	-
<b>Recycling</b>						
Recyclable Material Drop-off Facility	-	-	-	-	-	-
Recyclable Material Processing	-	-	-	-	-	-
<b>Agriculture</b>						
Animal Agriculture <i>(except as allowed under Chapter 5 of the Downers Grove Municipal Code)</i>	-	-	-	-	-	-
Crop Agriculture	-	-	-	-	-	-
Community Garden	P	P	P	P	P	P
<b>Other</b>						
Drive-in or Drive-Through Facility	-	S	-	-	-	-
Medical Cannabis Cultivation Center	-	-	-	-	-	-
Medical Cannabis Dispensing Organization	-	-	-	-	-	-

[1] Requires minimum lot area of 40 acres. Maximum 25% building coverage.

[2] Requires minimum lot area of 10 acres.

[3] Requires minimum lot area of 25 acres. Maximum 25% building coverage.

[4] Must be within 150 feet of a B district.

[5] Requires special use approval if above one dwelling unit per 4,000 square feet of lot area.

[6] Special Use only if use was in existence on or prior to June 7, 2005.

[7] Requires minimum seating capacity of 125 persons.

[8] Permitted as of right up to 3,000 sq. ft. (gross floor area); larger requires special use approval.

[9] Must be in a completely enclosed building.

[10] Maximum 10,000 sq. ft. (gross floor area).

[11] Permitted only if ancillary to the following principal uses: sporting goods stores, uniform supply stores and public safety equipment stores.

[12] Consignment stores and martial arts studios permitted as of right up to 3,000 square feet (gross floor area); larger requires special use approval. Other uses permitted as of right up to 15,000 sq. ft. (gross floor area); larger requires special use approval.

[13] Barber shops, beauty shops and salons only; must be on ground floor and may not exceed 2,500 square feet floor area.

[14] Art galleries and studios only; must be on ground floor and may not exceed 2,500 square feet floor area.

[15] Drive-through banks only.

[16] See Section 6.180.

[17] 2nd floor or above only as part of mixed-use development



**Design Guidelines  
for the  
Downers Grove  
Downtown Business District**

**January 20, 2009**

# SECTION 1 – INTRODUCTION

The Village has developed the following design guidelines for the downtown business district. The guidelines have been developed using the August 2008 Downers Grove Downtown Pattern Book prepared by Houseal Lavigne Associates & Topografis and a visual preference survey held in October 2008 with Village staff, Downtown Management and other interested downtown parties.

# SECTION 2 – HOW TO USE THE DESIGN GUIDELINES

The design guidelines have been developed to assist in creating a vibrant and diverse downtown and should serve as a guide for downtown development. The guidelines are divided into five separate sections, site design, building design, building base, building middle, and building top. Each section describes elements which support good design and provide visual references which identify both encouraged and discouraged elements of each guideline. The Village encourages that all development in the downtown incorporate items from each section.



- 1. Building Base
- 2. Building Middle
- 3. Building Top

Fig. 1: Building areas

## SECTION 3 - SITE DESIGN

The overall building design is important to create a sense of place, enclosure and activity. The following guidelines are offered:

- ✓ Building massing, height and lot coverage should be proportionate to adjacent buildings. Appropriate massing will assist in creating a sense of enclosure.

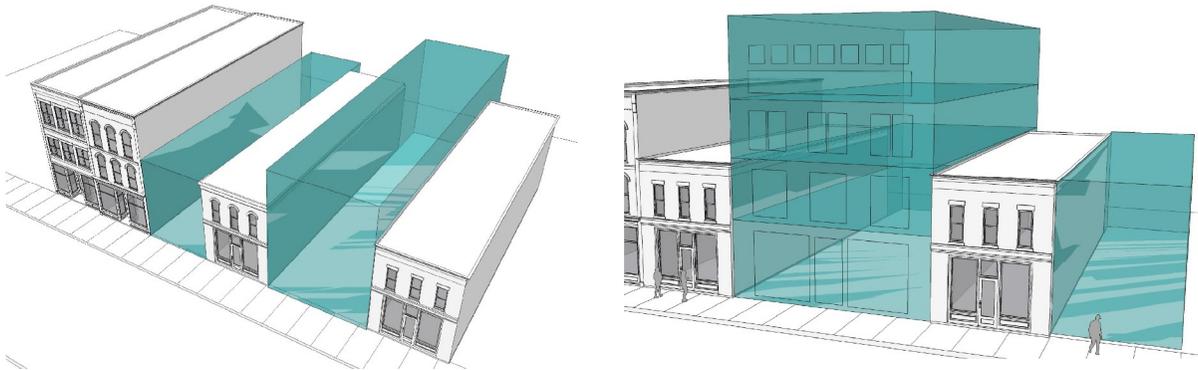


Fig. 1: Appropriate Building Massing

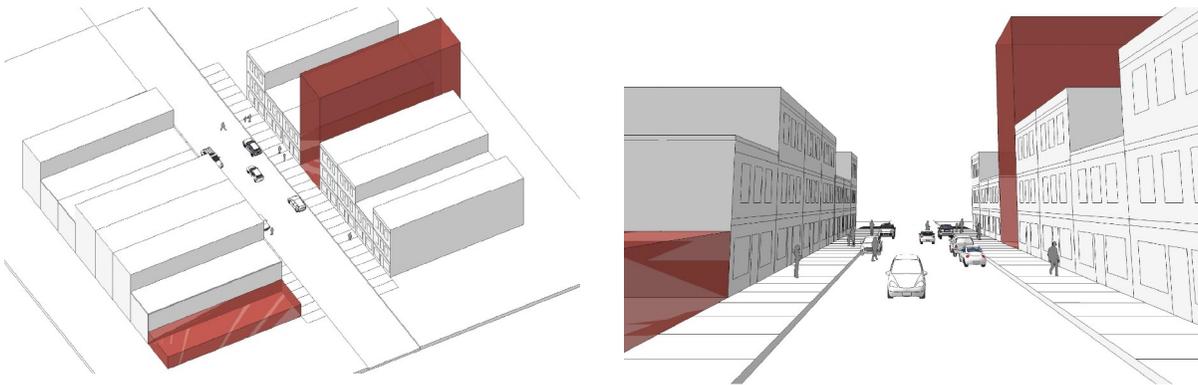


Fig. 2: Inappropriate Building Massing

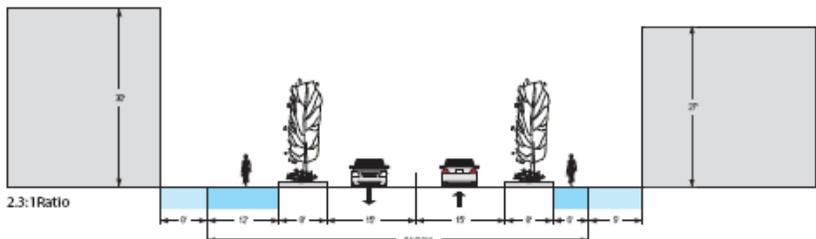


Fig. 3: Sense of enclosure

- ✓ Primary facades should be located near the property line. The urban quality of the street and the pedestrian experience are enhanced by buildings located at the street edge.
- ✓ Buildings should extend and establish a continual street wall.
- ✓ Parking lots are discouraged as they eliminate the street wall. Plazas and outdoor cafes are encouraged as they continue street walls.



Fig. 4: Example of strong street wall

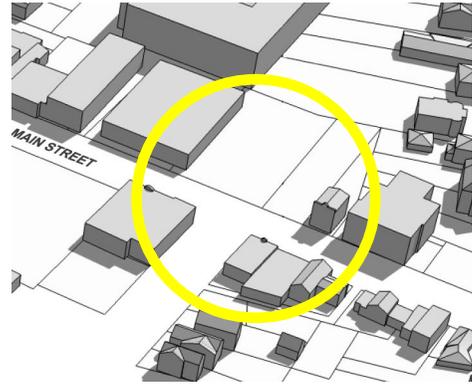


Fig. 5: Major gap in street wall should be avoided.

# SECTION 4 - BUILDING DESIGN – GENERAL

In general, individual buildings should have a distinctive and aesthetically pleasing architecture. Although the Village does not have a distinct style in the Downtown, individual buildings should have a single architectural style.

Although the Village is not seeking to exclude materials, buildings should be constructed of high-quality materials. A maximum of three materials is strongly encouraged. A variety of finishes within the same material is acceptable.



Fig. 6: Examples of appropriate use of materials.

## SECTION 5 - BUILDING BASE

Attractive storefronts can draw the attention of window shoppers, boost economic activities, enhance the image of the business and assist in marketing the goods and services of the business. To create attractive storefronts, certain design features can be used to create good storefronts:

### Windows

- ✓ Windows should be designed to encourage retail uses. Generally, a majority of the first floor should be windows because they enliven streets and provide interest and activity at the street.
- ✓ Knee walls are encouraged to provide a strong base. Knee walls should be between 12 and 30 inches tall.
- ✓ Windows should be transparent, not opaque.



Fig. 7: Encouraged: knee walls and windows which make up a majority of the storefront



Fig. 8: Encouraged: knee walls and windows which make up a majority of the storefront



Fig. 9: Storefronts without a knee wall or base should be avoided.



Fig. 10: Opaque windows and windows which do not make up the majority of the storefront are discouraged and should be avoided.

## Entry Features

- ✓ Entries should be prominent features of the base. Entries should be different from the standard building bay through articulation, elaboration and materials.



Fig. 11: Encouraged: articulated entry through corner piers and signage



Fig. 12: Encouraged: articulated design and material details



Fig. 13: Entries should be prominent features. Entries with lack of detail and elements that are out of proportion with the building should be avoided.



Fig. 14: Entries without detail and definition are unattractive and do not invite customers into the establishment. If entries are setback, extra care should be given to the detailing as in Figure 11.

## Building Materials

- ✓ Base materials should be consistent and new materials should compliment existing materials.
- ✓ Repair and restoration of original features and materials such as brick and stucco, etc., is encouraged. Covering original features and materials is discouraged.

- ✓ A horizontal expression should establish the ground level of the building from the rest of the building. The expression should compliment adjacent buildings and reinforce the street as a pedestrian friendly space.
- ✓ Building materials such as brick, stone, manufactured stone, terra cotta accents, metal accents and wood are encouraged as they provide visual interest and assist in creating a pedestrian friendly corridor.
- ✓ Building materials such as utility brick, concrete masonry units, and Exterior Insulating Finishing Systems (EIFS) are discouraged as they are perceived as cold and uninviting while do not create a pedestrian friendly scale.
- ✓ Materials should be used to differentiate between the importance of building features, and provide visual separations between material functions.



Fig. 15: Encouraged: brick and stone with horizontal expression of first floor



Fig. 16: Encouraged: brick, stone, and textured stone, quoins, projecting lights



Fig. 17: Materials such as EIFS can be used effectively as an accent. However, it is discouraged as a primary material

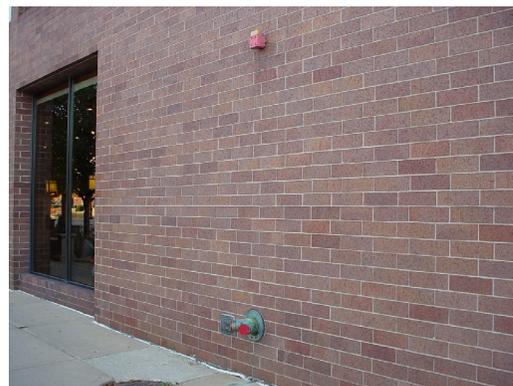


Fig. 18: Avoid blank facades with little detail and inappropriate materials such as utility brick

## Façade Elements

Features which extend out from the building façade can contribute to the character, scale and visual interest of the street. These elements add value and are encouraged:

- ✓ Awnings create visual interest, shield pedestrians from weather and should be compatible in material and style with adjacent properties. Awning can be used to advertise goods or provide visual cues to the location of an entrance.



Fig. 19: Encouraged: awnings

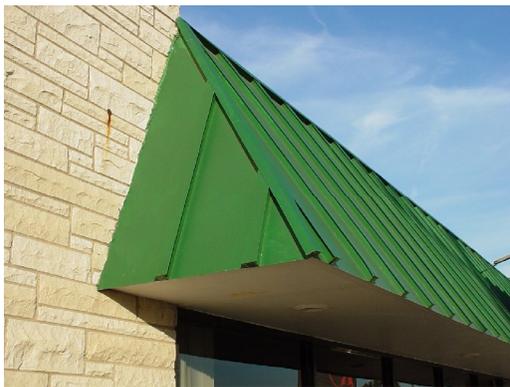


Fig. 20: Avoid using materials that do not compliment the building and surrounding buildings. Awnings should be in scale with the other façade elements and with neighboring buildings.

- ✓ Outdoor cafes can create active streets. Cafes should be clearly defined and provide adequate space for the existing sidewalk to function.
- ✓ Protruding light fixtures also add visual interest while highlighting building details.
- ✓ Landscaping can create pedestrian friendly sidewalks by separating vehicles from pedestrians.
- ✓ Benches adjacent to landscape areas assist in creating pedestrian friendly areas.

- ✓ Balconies within the middle section of the building assist in providing the desired solid and void which are important to the middle sections of buildings. Additionally, balconies add visual interest to the street wall.
- ✓ Projecting signs create visual interest and can assist businesses in advertising.



Fig. 21: Encouraged: appropriately scaled and located signage



Fig. 22: Encouraged: awnings and flower box



Fig. 23: Encouraged: outdoor cafe



Fig. 24: Encouraged: landscaping and benches



Fig. 25: Encouraged: projecting light

## SECTION 6 - BUILDING MIDDLE

The middle section of a building should be designed to tie the building base to the roof while creating visual interest. The middle of a building should be a series of solid and voids. Design features which compliment the base and roof are listed below:

### Windows

- ✓ Windows should be in rhythm with the base level.
- ✓ Visual interest should be created through sills, lintels, divided lights and style. Double-hung windows provide more visual interest than casement windows.
- ✓ Replacement windows should fill the entire historic window opening. If historic window openings require closing, the opening should be a different material or texture to maintain the rhythm of the wall.



Fig. 26: Encouraged: double-hung windows, divided lights, lintels and sills



Fig. 27: Encouraged: replacement windows that fill the entire window opening



Fig. 28 Windows should be in scale with the other façade elements. Avoid windows which do not maintain rhythm of the wall as in this example



Fig. 29 Replacement windows should fill the entire historic opening. Avoid replacing windows where the window opening is not filled

## Building Facade

- ✓ Facades should reflect proportionate shapes and patterns. Unarticulated walls create poor visual appearance, do not relate to the base nor the roof and are not allowed.
- ✓ Facades should be visually appealing through detailing, openings and materials.
- ✓ Corner buildings are exposed on two streets. As such, corners of these building should be articulated and elaborated to reflect this importance.



Fig. 30: Encouraged: detailing, window openings and material changes



Fig. 31: Encouraged: corner articulation



Fig. 32: Blank façades with no variation, windows or detailing should be avoided



Fig. 33: Façades with no detailing, as in this example, should be avoided

## Building Materials

- ✓ New materials should be complimentary.
- ✓ Building materials such as brick, stone, manufactured stone, terra cotta accents, metal accents, stucco and wood are encouraged as they provide visual interest.



Fig. 34: Encouraged: brick and stone materials



Fig. 35: Encouraged: complimentary materials



Fig. 36: Vinyl and aluminum siding are discouraged materials and should not be used to cover historic building materials

## SECTION 7 - BUILDING TOP

The building top should be an expression of form, ornament and detail as it meets the sky. The roof should give distinction to the entire building. To create an attractive roof, certain design features can be used to create good storefronts:

### Roofs

- ✓ Distinctive corners and cornices can create visual interest.
- ✓ Per the Downers Grove Zoning Ordinance, mechanical equipment must be screened from street level view.



Fig. 37: Encouraged: cornice detailing



Fig. 38: Encouraged: stone cornice detailing



Fig. 39: Cornices should have detailing and should be in scale with the rest of the building. New cornices should not cover original features.



Fig. 40: It is important to provide details at the top of buildings. In this example, the parapet does not have any detail or cornice. Buildings without detail at the top should be avoided

## Section 8 – Definitions

Concrete masonry unit (cmu) – A precast masonry unit, typically measuring 8” D x 8” H x 16” L, made mainly of portland cement, gravel, sand and water molded into various shapes.

Cornice – A continuous projection that crowns a wall or other construction, or divides it horizontally for compositional purposes.

Divided lights – A window with a number of smaller panes of glass separated and held in place by muntins or a single pane of glass with muntins placed on the surface of the glass to give the appearance of many smaller panes of glass.

Exterior Insulating Finishing Systems (EIFS) – A multi-layered exterior finish system that provide exterior walls with an insulated finish surface and waterproofing in an integrated composite material system.

Knee wall – A short wall upon which a window may sit.

Lintel – A horizontal member above a window opening

Massing –The three-dimensional bulk of a building: height, width and depth.

Pattern Book – The Village of Downers Grove Pattern Book is a document that contains the different patterns and components that create the fabric and context of Downtown Downers Grove and identifies the elements necessary for retaining and enhancing its character as new development, improvements, and changes are considered.

Sill – A horizontal member beneath a window opening.

Streetwall – A continuous built form of buildings at or near the front property line, with no or very small side yards.

Utility Brick – A brick which is larger in size than a standard brick. A standard brick measures 3 5/8” D x 2 1/2” H x 8” L.

VILLAGE OF DOWNERS GROVE  
COMPREHENSIVE PLANNING AD HOC COMMITTEE MEETING

PUBLIC WORKS BUILDING  
5101 WALNUT AVENUE  
JANUARY 16, 2017 - 7:00 P.M.

Chairman Gorman called the January 16, 2017 meeting of the Downers Grove Comprehensive Plan Ad Hoc Committee meeting to order at 7:03 p.m. and led the meeting with the recital of the Pledge of Allegiance.

**ROLL CALL**

**PRESENT:** Chairman Dave Gorman, Carine Acks, Ed Kalina, John Luka, Daiva Majauskas  
(7:15 p.m.) Jim Wilkinson

**ABSENT:** Members Irene Hogstrom

**STAFF:** Community Development Director Stan Popovich, Senior Planner Rebecca Leitschuh

**VISITORS:** John Houseal with Houseal Lavigne Associates, 188 W. Randolph, Chicago; Amy Gassen, 5320 Benton, Downers Grove; Linda Kunze, 933 Curtiss, Downers Grove; Rich Kulovany, 6825 Camden Rd., Downers Grove; Don Rickard, 4735 Main St., Downers Grove

**APPROVAL OF MINUTES – NOVEMBER 14, 2016**

**MINUTES OF NOVEMBER 14, 2016 WERE APPROVED ON MOTION BY MR. LUCA, SECONDED BY MR. WILKINSON. MOTION CARRIED BY VOICE VOTE OF 5-0.**

**INTRODUCTION OF DOWNTOWN DEVELOPMENT REGULATIONS**

Mr. John Houseal, with Houseal Lavigne Associates, recalled for the commissioners how the Downtown Development Regulations were approached, i.e., built on the understanding of the previously approved plan for the downtown which created three previously defined districts: 1) the Downtown Core, 2) the Downtown Edge, and 3) the Downtown Transition. Characteristics of each district followed.

Mr. Houseal discussed that tonight's discussion would focus on the content/breakdown of guidelines with the next meeting to discuss the procedures by which regulations would be administered or relief granted. Community Development Director, Mr. Popovich, added that with the regulations, the goal was to have the this Ad hoc Committee and the Plan Commission review the regulations and if the Village Council accepted the findings then staff would draft regulations to

incorporate into the village's zoning ordinance. Input and discussion from tonight's meeting was important.

### **REVIEW DOWNTOWN CORE**

A review of the Down Core Area followed on the overhead, noting there were many two- and three-story buildings at the sidewalk line, a few one-story buildings, and no setbacks between buildings. Referring to the plan diagram, Mr. Houseal summarized that according to the current plan, building height could be two to three stories. Buildings along the sidewalks had no setbacks and mixed-use was recommended (retail or commercial on ground floor with residential or office on the upper floors).

Per Mr. Houseal, the new maximum building height proposed for the Core area would be 40 feet or three stories, based off of a 12- to 15-foot first floor and a 10- to 12-foot upper floor. Setbacks would remain the same. Proposed uses for the ground floor included commercial, retail, entertainment, and restaurant-type uses. Proposed uses for the upper floors included multi-family residential, office, or service uses. No residential uses would be permitted on the ground floor.

Staff clarified that current drive-thrus were grandfathered in and if the use changed they would have to be removed within a certain period of time. If the use remained with a new tenant, the drive-thru could be used. However, Mr. Houseal recommended that the village continue to not allow drive-thrus in the Core area. He pointed out that parking would probably be the largest driver of development intensity in this area and recommended no changes to the village's parking standards either, as they were very good. (Ms. Majauskas arrives.)

Reviewing the use table depicted on Page 6, Mr. Popovich asked for comments regarding a 24-foot high, two-story minimum building height. No negative comments followed. Further review of the table followed. As for a constructing a building that came to the lot line but had an opening/courtyard or an outdoor dining area, Mr. Houseal stated the space could be factored in but the key was to have some sort of built structure next to the sidewalk, such as a fence.

Discussing office use, Mr. Popovich stated that office was a permitted use on the ground floor. However, Ms. Majauskas preferred to change that, believing that office should be allowed on the second floor only. Mr. Wilkinson asked if there was an option to promote retail without prohibiting office use, should vacancies start occurring, wherein Mr. Houseal suggested making retail and restaurant use permitted uses as of right and make office use a special use with the appropriate standards.

### **PUBLIC COMMENT**

Ms. Linda Kunze, 933 Curtiss Street, Downtown Management, appreciated the comments, stating the downtown businesses "were pleading" with her about this, commenting that Anderson's Bookstore was thinking of leaving because Berkshire Hathaway moved next to Caldwell Banker which has hurt Anderson's sales significantly. She stated that pedestrians stopped walking at Caldwell Banker and would not travel beyond that point. Ms. Kunze thought the idea of a special use may be fine and could also give the village an opportunity to think about the use if retail could not be obtained. At the same time though, Ms. Kunze asked whether the change would discourage the outdoor cafes currently. Mr. Popovich explained that as with any existing cafes, the building

line would not have to be moved and outdoor seating can be placed in the right-of-way with the proper license agreement. Anything new, however, would have to meet the 0 to 5-foot setback requirement. The Cellar Door was used as an example by staff.

Mr. Rich Kulovany, 6825 Camden, Downers Grove, asked if there was consideration for roof-top parking, citing a grocery store using it in Glenview, to which Mr. Houseal indicated other cities were doing that same thing and that currently, in the village, it was not prohibited. Mr. Popovich indicated that the maximum height for such scenario would be to the “flat part of the roof” with the screening of mechanicals or cars being required. Asked if there was consideration to have a single-family use above a store/restaurant, Mr. Popovich explained that single-family use would need multiple units above to be considered a multi-family unit in the district and so it would be permitted in the village’s code.

Asked if outdoor rooftop seating could be permitted currently or in the future, Mr. Popovich explained it could with the proper building code compliance.

### **REVIEW DOWNTOWN EDGE -1**

Mr. Houseal recalled this area was initially one sub-area under the Downtown Edge, but now delineated as Downtown Edge 1 (DE-1) and Downtown Edge 2 (DE-2). He recalled members had talked about having the greater intensity located closer to the Core area and the slightly less intensity located toward the Transitional area. Two districts were then created: DE-1 and DE-2, which were very similar districts except for their allowed height difference. An overview of the two districts were shown on the overhead. Current building height, setbacks and uses for the Downtown Edge were described.

Mr. Houseal then shared that the proposed building height maximum for the DE-1 District would be 72 feet to allow six stories, approximately 12 feet per floor. Proposed setbacks would be 0 feet. Proposed side yard setbacks would be a minimum of 5 feet or minimum of 10% of lot width, whichever was greater. Proposed side yard setback for properties adjacent to the Downtown Core District would be 0 feet. Proposed rear yard setbacks would be 10 feet throughout the entire district and special setback standards would apply if a building abuts the residential districts.

A variety of proposed uses followed. Mr. Popovich also added that since this district was so close to the Core district, staff wanted to incorporate some of the characteristics of the Core to this district and for the DE-2 district, characteristics from the Transition/residential area would be incorporated.

### **REVIEW DOWNTOWN EDGE – 2**

Mr. Houseal noted that this district was a bit further away from the Downtown Core area and was less intense. He pointed out that this area was where setback requirements were beginning to emerge and height was coming down. Much of the bulk standards were the same as DE-1 except the height was being decreased to 1 to 5 floors with maximum of 60 feet. Setbacks were proposed at 10-feet throughout the entire district to allow for some landscaping and trees. Proposed rear setbacks were the same as DE-1. A wide range of uses still existed.

Ms. Majauskas expressed concern about what was not written in the comprehensive plan. While she appreciated all the new developments that would come, she voiced concern that another parking

lot was being removed and questioned how businesses were suppose to remain and thrive when no one could park. Convenience and accessibility were important. Mr. Houseal explained the challenge was that buildings occupy the majority of the site and cannot provide the parking for all of their uses. In order for any downtown to be successful, he explained the municipality has to provide public parking whether surface or structure. He pointed out that it is typically the Village that needs to identify locations for future parking.

However, one member believed surface lots were moving toward development and an additional parking structure was needed for the downtown area, but the ideal uses had to draw people to the downtown. Agreeing, Mr. Houseal cited other cities that had full parking structures and that more were being constructed. He elaborated that if businesses could get their employees to park in a parking structure versus in front of their business, it would free up a significant amount of parking.

Mr. Kalina asked if the DE-1 on Forest Avenue could be pushed 100 to 200 feet north, or even to Franklin Street. Mr. Popovich indicated the Village Council delineated the subareas, but staff would follow up. Referring to zoning and its impact on a parking structure in the DE-1 area, someone asked if the structure would have to conform to the existing, as proposed, or could the village seek an exception. Mr. Houseal explained the village could seek a variation with the hardship being that it is not a typical standard DE-1 use because the village is providing parking for the entire downtown so the village cannot be bound by existing zoning regulations because it is a benefit for the entire three districts, not just the village's private use. So it becomes a hardship because no one else is in the same situation and it is entirely unique.

Dialog followed regarding some map discrepancies between the pages of the comprehensive plan relating to buildings located at Rogers and Washington which Mr. Houseal would fix. Additionally, there were concerns about building setbacks at the northwest corner of Maple and Washington and that if the nearby church removed its parking lot there could be a six-story building on the corner with three of the corners being "quaint." Staff pointed out that two newer developments on Maple Avenue were located nearby and were at the property line currently. Another member voiced concern that a six-story building could be constructed katty-corner from a residential home at the southeast corner Maple and Washington. Mr. Popovich pointed out that if the committee thought the church property and the property north of it should be in DE-2 district, they could discuss it. After discussing the matter, members believed there should be a setback due to the height and recommended the church parking lot designation should be changed from DE-1 to DE-2.

## **PUBLIC COMMENT**

Ms. Linda Kunze, with Downtown Management, appreciated the comments about parking and agreed parking was still an issue in the downtown. She expressed the challenges of keeping business owners when they complain that they have no customers or the customers complain about parking. While the village was helpful, Ms. Kunze believed it was time for the village to consider taking some older homes and converting them to a parking structure. She also voiced concern that some of the mayors attending conferences were not even being encouraged to build parking decks due to the new variety of ride-sharing occurring with services like Uber, etc.

Mr. Rich Kulovany agreed that the above corner should be redrawn to be included in the DE-2 district because the Main and Maple development was 70 feet in height and the roof at Marquee on Maple was 59-1/2 feet. The proposal would allow for a slight step down.

## **REVIEW DOWNTOWN TRANSITION**

Mr. Houseal referenced this district and noted those areas where no front setbacks existed, those areas where setbacks were required, and those areas that had 25 ft. front setbacks. Current height requirements were referenced. Proposed for this district were buildings with a maximum height of 36 feet or three stories in height. Also proposed was a 20-foot front street setback throughout the district except for properties fronting on Main Street, which would have a 10-foot setback. Proposed side setbacks would be five feet or 10% of lot width. Special side setbacks would apply when abutting against a residential district. Proposed rear setbacks would be 20 feet throughout the entire district except for properties fronting on Main Street, which would have a 10 foot required setback. Proposed uses include single, multi-family, office, service, home occupation and institutional but on a residential scale and with residential compatibility. No retail or restaurant uses would be allowed.

Mr. Popovich then raised the topic of minimum lot area per dwelling unit and asked whether the village should be concerned with how many units are in a development if a developer can provide parking. Mr. Luka indicated that the village should care about it because the village did not want 100 square foot units being constructed. Then conversation followed regarding the rage with tiny houses among the Millennial market as well as the range of unit sizes being constructed by developers for the merging of the Millennials and the retirees, who both wanted walkability, rentability (not own homes) and to have nearby amenities. One member cautioned that the village should ensure that its rentable units were a saleable size in order to convert them to ownership units, if necessary, since it would give the village more options to people.

## **PUBLIC COMMENT**

Mr. Kulovany recommended under “Usage” to add Inns and Bed & Breakfasts. Regarding the Millennial comments, Mr. Kulovany stated he was an Uber driver and shared some of the conversations he had while driving Millennials, who basically do not support owning cars in the city when a person can get to work for a relatively cheap fare. Millennials also rent cars and rent units because they do not want to fix anything. He stated that Millennials have a different mind set.

Further discussion followed how the Millennial demographics will change once children come into the picture and, as a demographic group, will eventually move out to the suburbs.

## **REVIEW DESIGN GUIDELINES**

Mr. Popovich depicted various buildings in the village on the overhead, pointing out that their design was based off of the village’s Pattern Book. He described how the various buildings are broken up, the materials used on them, and the rhythm of the buildings, i.e., window patterns, corner treatments, and cornice/roof lines. He stated that EFIS, CMU brick, and vinyl siding are not encouraged in the village. Per a question, projecting signage or awnings can encroach into the right-of-ways but not balconies. Staff administers these guidelines.

Mr. Houseal explained that the intent of the guidelines is to use them for the different types of components or features the village anticipates addressing. However, once the district regulations

are put into place, they are to be used as a reference. He recommended crafting design guidelines for each of the separate districts discussed above so developers know what to produce.

Asked if he has seen developers go green on their own or whether they need incentives, Mr. Popovich explained that he has seen developers go green when detention or stormwater practices are required. Details followed. Mr. Houseal also shared what he has seen in the field.

Of the three residential developments being constructed in the village, a question was asked whether the village had to change any of the designs wherein Mr. Popovich indicated that the designs were “tweaked” a bit, citing some of the design changes that were made at the Main and Maple project. Mr. Popovich inquired whether the guidelines should continue to be used as guidelines or whether they should be converted to regulations. He explained that currently, they are guidelines, whereby staff can enforce them. If they are regulations that require specific compliance, a review board would be needed. A review board could require developers spend more time to go through the process to receive approval from the board.

Members seemed to favor keeping the guidelines in place versus regulations. Mr. Houseal believed the guidelines needed to be drafted for each of the districts and the guidelines appeared to be successful currently. He reiterated that the guidelines were not meant to dictate architecture or dictate building design but to guide development to ensure the desired downtown character and sense of place is met.

**PUBLIC COMMENT** –

No additional public comment was provided.

Mr. Popovich closed the discussion by summarizing that he will revise the guidelines according to the changes discussed tonight and then at the next meeting he will discuss uses and procedures. The next meeting will be scheduled for February 20, 2017 at the Public Works Building.

**ADJOURNMENT**

**THE MEETING WAS ADJOURNED AT 9:10 P.M. ON MOTION BY MR. LUKA, SECONDED BY MRS. ACKS. MOTION CARRIED BY VOICE VOTE OF 6-0.**

Respectfully submitted,

/s/ Celeste K. Weilandt

(As transcribed by MP-3 audio)

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VILLAGE OF DOWNERS GROVE  
COMPREHENSIVE PLANNING AD HOC COMMITTEE MEETING

PUBLIC WORKS BUILDING  
5101 WALNUT AVENUE  
FEBRUARY 20, 2017 - 7:00 P.M.

Chairman Gorman called the February 20, 2017 meeting of the Downers Grove Comprehensive Plan Ad Hoc Committee meeting to order at 7:06 p.m. and led the meeting with the recital of the Pledge of Allegiance.

**ROLL CALL**

**PRESENT:** Chairman Gorman, Ms. Acks, Ms. Hogstrom, Ms. Majauskas, Mr. Wilkinson

**ABSENT:** Members Kalina and Luka

**STAFF:** Community Development Director Stan Popovich

**VISITORS:** John Houseal with Houseal Levigne Associates, 188 W. Randolph, Chicago; Amy Gassen, 5320 Benton, Downers Grove; Linda Kunze, 933 Curtiss, Downers Grove; Rich Kulovany, 6825 Camden Rd., Downers Grove; Don Rickard, 4735 Main St., Downers Grove; Graham Mosey, 4925 Forest Ave., Downers Grove; Steve Kuhn, 4925 Forest Ave., Downers Grove

**APPROVAL OF MINUTES – JANUARY 16, 2017**

A typographical error was noted on page 5, second paragraph. On the same page, under Public Comment, fourth line, delete the word “fair” and insert “fare”. **MINUTES OF THE JANUARY 16, 2017 MEETING WERE APPROVED ON MOTION BY MR. WILKINSON, SECONDED BY MRS. ACKS. MOTION CARRIED BY VOICE VOTE OF 5-0.**

**REVIEW DOWNTOWN DEVELOPMENT REGULATIONS**

Community Development Dir. Stan Popovich referenced a memo prepared for members, a copy of the functional sub-areas and some emails. He reviewed the latest updates to the plan. However, he pointed out that tonight’s meeting would focus on the development regulations and how they would impact the development throughout the downtown area and how each of the sub-areas would function in terms of setbacks and bulk requirements. Those changes, he clarified, would be made at the village council level.

Mr. John Houseal, with Houseal Associates, reviewed what changes were made between the boundaries and what changes could not be made, i.e., those between the three primary districts. Ms. Acks, referring to the northwest corner of Maple and Main, voiced concern that a six-story

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building could be located there, creating a canyon. She further expressed her concern that the parking along the railroad tracks, north of Burlington, could be removed and replaced with six-story buildings and block out the downtown. She believed a cap in height should be required.

Mr. Houseal explained that the ad hoc committee could reduce the height at the northwest corner of Maple and Main (up to Grove Street) if desired. Ms. Acks, along with others, preferred to expand the northwest corner of Main and Maple, as well as the two parcels along the tracks (east and west of Main Street) to become part of the Downtown Core.

Mr. Popovich reviewed the other changes that were made from the last meeting. The group also discussed cell towers in the downtown area.

## **PUBLIC COMMENT**

Mr. Graham Mosey, 4925 Forest Ave., Downers Grove, referenced his emails as well as another neighbor's email and shared his frustration that this committee was having its conversation and putting forth recommendations to council only to find out that the village council has made its decisions on district lines. Mr. Mosey stated his business has been in the village for forty years and the reason he purchased his business on Forest Avenue was because years ago the concept was to take off the load from the Downtown Central Business District and to bring it to secondary areas, such as Forest Avenue or Warren Avenue and to bring in service businesses, excluding retail, so that the downtown could have a vibrant retail area. He voiced frustration that council removed part of a footprint from Main Street at the corner of Maple and Main where parking existed and some very good opportunities existed for retail but instead residences were being constructed.

He said he was before this group because the footprint was being reduced, the real estate was being compromised with less services, less businesses and less opportunities for more multi-family high density to be developed in the downtown. Mr. Mosey summarized how Forest Avenue changed over the years and the variety of building types currently found on Forest Avenue. For the village to say that development could not increase in height was irresponsible and to make such changes on Forest Avenue would be economically impacted. He stated it was unfortunate that this committee did not have a say in such changes.

Mr. Mosey further explained he purchased his property with the knowledge that he could develop on Forest Avenue but that the proposed change hindered it and made it economically not feasible. He praised the downtown when a nearby business owner purchased three bankrupt properties with the idea that at some point all of the businesses could be doing a nice development on Forest Avenue. He was in the process of contacting other nearby property owners about this proposed change.

In response, Ms. Majauskas asked Mr. Mosey what he did want, wherein he stated he would not change anything on Forest Avenue. As an aside, he noted that prior to the changes being proposed, he and another property owner and tenant were discussing a proposed development with enclosed self parking for not only the building but "free range parking." His development would have been a mixed-use building.

Ms. Linda Kunze, Downtown Development Corporation, reiterated what the above speaker had said and also liked the comments that were made in Mr. Hinkel's letter to this committee – that some of the new Internet companies are hiring more employees because they want to be downtown and have

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access to Chicago as well as access to nearby amenities in the village. She supported having more offices on Forest Avenue.

Mr. Mosey returned and explained that people will begin to ask what was the reason for the village council to make such a proposal and he stated his job was to get in front of council to find out what was the reason and to make council responsible for that reason. Of the remaining businesses on Forest Avenue, Mr. Mosey explained they were tired because they could not afford to redevelop individually. He honestly thought that Forest Avenue would not have been discussed or compromised the way it had been and believed Forest Avenue should have been left alone.

Mr. Rich Kulovany, 6825 Camden, understood that Mr. Mosey's contention was tall buildings constructed on Forest Avenue as well as across the street and that the shorter buildings did not match the character of what already existed. Mr. Mosey returned and stated it did not match the character nor was it economical when considering the setbacks and the lower height because the ability for parking was being taken away – the taller the structure, the more ability there was to park internally. The lower buildings had no ability for parking. Mr. Mosey commented that the east side of Main Street could be compromised at some point as well, given that parking was an issue there.

Continuing, Mr. Mosey stated the downtown was slowly being “strangled” which made the transition area more important. However, now the transition area was being “strangled” especially on Forest Avenue. Asked if he needed 70 feet to make it feasible, Mr. Mosey indicated not necessarily so and proceeded to explain what his conversation was with staff from 20 years ago.

### **RECOMMENDATION OF DOWNTOWN DEVELOPMENT REGULATIONS**

Mr. Popovich summarized for those in attendance all of the committees and commissions the plan was reviewed by, including village council. Next steps were explained as well as the motions the committee should consider forwarding to the Village Council: 1) motion to review the northwest corner of Maple and Main Streets, running up to Grove Street – to bring the properties into the Downtown Core; 2) motion to review two properties on Main Street, north of Burlington, located on the east and west sides of Main; and 3) motion to review Franklin Street, 7 blocks south on the east side of Forest Avenue.

### **MOTION BY MR. WILKINSON TO RECOMMEND THE DEVELOPMENT REGULATIONS REGARDLESS OF WHAT THE ZONING MAP LOOKS LIKE.**

**SECONDED BY MS. HOGSTROM.**

**MOTION CARRIED BY VOICE VOTE OF 5-0.**

### **MOTION BY MS. ACKS THAT THE PLAN COMMISSION REVIEW THE NORTHWEST CORNER OF MAPLE AND MAIN STREETS, UP TO GROVE STREET AND TO CONSIDER BRINGING THE PROPERTIES INTO THE DOWNTOWN CORE.**

**SECONDED BY MS. MAJAUSKAS.**

**MOTION CARRIED BY VOICE VOTE OF 5-0.**

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Discussion then followed regarding the two parking lots located on the east and west sides of Main Street along the railroad tracks. Comments followed that the parcels should be an expansion of the Downtown Core area from Main to Washington. Other comments followed that the train station should be included in the Downtown Core also.

Discussing the west side of Main Street, consensus was to leave it as Downtown Edge 1.

**MOTION BY MS. ACKS THAT THE PLAN COMMISSION CONSIDER THE EXTENSION OF THE DOWNTOWN CORE TO THE AREA OF THE TRAIN STATION AND THE PARKING LOT NEXT TO IT (BETWEEN MAIN AND WASHINGTON, BURLINGTON AND THE TRAIN STATION).**

**SECONDED BY MS. MAJAUSKAS.**

**MOTION CARRIED BY VOICE VOTE OF 4-1 (NAY: MR. GORMAN)**

Asked what members thought about Forest Avenue (east side) up to Franklin Street and it being currently depicted as Downtown Transition, Mr. Wilkinson felt it should remain in character with what currently existed. On the Main Street side he noted the various businesses that were currently there and said they could be incorporated into the type of development Mr. Mosey discussed above, i.e., service organizations that could be anchored. The Franklin to Forest to Main area should be kept as is. The taller buildings can be constructed with the caveat that parking be created underneath the building.

Ms. Majauskas, however, pointed out that with the new condo building in the area now, the village began to make the area “big buildings”, other than the houses that were businesses, and so, to cut it off mid-block did not make sense. Further dialog followed.

**MOTION BY MR. WILKINSON THAT THE PLAN COMMISSION CONSIDER A RECOMMENDATION TO CONSIDER DOWNTOWN EDGE 2 ZONING FOR THE EAST SIDE OF FOREST AVENUE UP TO FRANKLIN.**

**SECONDED BY MS. ACKS.**

**MOTION CARRIED BY VOICE VOTE OF 5-0.**

Mr. Popovich reviewed the next steps the comprehensive plan would follow. He thanked all of the members for volunteering their time and effort on the village’s comprehensive plan.

### **ADJOURNMENT**

**THE MEETING WAS ADJOURNED AT 8:14 P.M. ON MOTION BY MR. WILKINSON, SECONDED BY MS. MAJAUSKAS. MOTION CARRIED BY VOICE VOTE OF 5-0.**

Respectfully submitted,  
/s/ Celeste K. Weilandt  
(As transcribed by MP-3 audio)