

**VILLAGE OF DOWNERS GROVE
ZONING BOARD OF APPEALS**

VILLAGE HALL COUNCIL CHAMBERS
801 BURLINGTON AVENUE

February 26, 2020
7:00 p.m.

AGENDA

1. Call to Order

2. Roll Call

3. Approval of Minutes – September 25, 2019

4. Other Business

- a. **20-ZBA-0001:** A petition seeking a zoning exception for vertically extending a non-conforming wall. The property is currently zoned R-4, Residential Detached House 4. The property is located at the northeast intersection of Chicago Avenue and Forest Avenue, commonly known as 1103 Chicago Avenue (PIN 09-08-102-001). Tim Sullivan, Petitioner and Owner.
- b. **20-ZBA-0002:** A petition seeking a zoning exception for vertically extending a non-conforming wall. The property is currently zoned R-4, Residential Detached House 4. The property is located at the northwest intersection of Benton Avenue and Randall Street, commonly known as 5152 Benton Avenue (PIN 09-08-403-017). Sean and Andrea Burns, Petitioner and Owner

5. Adjournment

THIS TENTATIVE REGULAR AGENDA MAY BE SUBJECT TO CHANGE

**VILLAGE OF DOWNERS GROVE
ZONING BOARD OF APPEALS MINUTES
September 25, 2019**

CALL TO ORDER:

Chairperson (Ch.) Michael McCann called the meeting to order at 7:01 PM.

ROLL CALL:

AYE: Ms. Eberhardt, Mr. Maier, Mr. Steffes, Mr. Foernssler, Ch. McCann

NAY: Mr. Frost, Mr. Werner

A quorum was established.

**Staff: Flora Ramirez, Development Planner
Stan Popovich, Director, Community Development**

Also Present: Greg Batelli

MEETING PROCEDURES:

Ch. McCann asked those in attendance to silence their phones for the duration of the meeting. He reviewed the procedures to be followed during the public hearing, noting that there was one petition before the Board for consideration. He verified with Staff that the proper notifications had been made regarding posting of the petition, and noted that members of the Zoning Board of Appeals have had an opportunity to review the materials provided by Staff and in some cases have visited the site in question. He explained that in order for a requested variation to be approved there must be a majority of four votes in favor of approval. Ch. McCann called upon anyone intending to speak before the Board on the Agenda item to be sworn in, as the public information portion of the meeting is an evidentiary hearing and comments made during this portion of the meeting are considered testimony. He explained that Staff would make its presentation first, followed by comments by the Petitioner. If anyone in the audience wishes to speak either in favor of or in opposition to the petition, they would have the opportunity to do so following the Petitioner's presentation. When the public participation portion of the meeting is closed, the Board will deliberate on the information provided and vote to either approve or deny the petition.

APPROVAL OF MINUTES – August 28, 2019

A Motion was made by Mr. Maier, seconded by Mr. Steffes to accept the minutes as presented.

Ch. McCann called for a Voice Vote. The Motion carried 5:0.

19-ZBA-0004: A petition seeking a zoning exception for vertically extending a non-conforming wall. The property is currently zoned R-4, Residential Detached House 4 located at the

DRAFT MINUTES

northwest intersection of Douglas Road and Wilson Street, commonly known as 4820 Douglas, Downers Grove, IL. (PIN 09-08-2324-038). Greg Batelli, Petitioner and Owner.

Staff Presentation:

Ms. Flora Ramirez, Development Planner, stated that the petition is seeking a zoning exception to allow a vertical extension of an existing non-conforming wall at the northwest intersection of Douglas Road and Wilson Street in an R-4 zoning district. She reviewed elevation drawings of the proposed wall extension. She explained that the required street setback is 25 feet from the street. The building is encroaching about half of the required setback. The existing two-story house is set back 11.01 feet to 12.3 feet from the south property line. She provided the east elevation as well, outlining the street setback line with the area of encroachment. She also noted that the petition would remodel the second story from a cross-gabled roof to a single-gabled roof addition. She noted that the windows are facing the street yard.

Ms. Ramirez noted that the Standards for Approval for a building exception have all been satisfied. The overall proposal will meet the building and zoning requirements. In addition, the actual horizontal length of the non-conforming wall will not be increased. She provided an outline of the goals of the Comprehensive Plan, noting that the proposal falls in line with those goals by re-investing housing stock to prevent deterioration.

Ms. Ramirez said that based on Staff's report dated September 25, 2019 and its analysis, Staff believes the standards and criteria for granting the exception have been met subject to the condition noted on page 4 of Staff's report.

A question was raised as to the square footage of the proposed extended wall versus the existing wall. Ms. Ramirez replied that there is a limit to a horizontal extension, however that does not apply to this petition, which is for a vertical extension. She further explained that the second floor gabled roof would be higher than the existing gable. There was some discussion as to how the extension affects the appearance of the existing house. The house will be under the 35' limitation on height.

Petitioner's Statement:

Mr. Greg Batelli said currently the configuration of the building is a two-flat which they intend to convert into a single-family home. They are attempting to create a more functional space and add the peak of the roof with the ridge only raising it by 2.5 feet. The top of the wall will be consistent with the top of the peak. He referenced the front elevation, which shows that the front window doesn't change at all. The footprint of the home will remain the same.

A question was raised as to feedback received from neighbors. Ms. Ramirez said that the primary question was whether the building would be a single-family home.

A Board member said that based on the drawings prepared, the amount of windows seem very small compared to the extension of the wall, and somewhat out of proportion. Mr. Batelli replied said the house has a lot of character, is located on the corner, and it's most artistic feature is probably the turret. Each side has the bay window with the rock at the bottom. They hope to make it aesthetically pleasing. The window placement is basically a function of the interior layout re bedrooms, bathrooms, etc. He further replied that the turret is the entry and faces east.

DRAFT MINUTES

Ch. McCann called for any comments from the public.

1. Rick Curley of 535 Wilson said the neighbors were wondering what was happening with the building. The house has been vacant for a long time. It is great to see someone taking the house and actually making it into a livable space again. As to feedback from neighbors, there was a block party this past weekend, and neighbors on the block are glad to see that it is not being torn down. The only concern of residents was the access to the garage, which is on the side or alleyway, which right now is gravel and overgrown. He asked whether the alley would be extended to Prairie again, or simply a drive to this house. He said it is good to see something happening with the property. Ch. McCann said this Board doesn't address the issue of alleyways. He said he assumes that topic would go through the Plan Commission.

Mr. Zawila said that there are options with the Village as to how they might proceed with the issue of the alley, and people would have to petition the Village.

There being no further comments, Ch. McCann closed the public portion of the meeting to Board deliberations on a voice vote.

Deliberation:

Ch. McCann said this is a petition that he would be in favor of recommending approval for. Ms. Eberhardt said this is a good example of revitalizing the housing stock. There were no conflicting opinions expressed by the Board members.

Ch. McCann moved that based on the analysis presented by Staff, that the Zoning Board recommends approval of the requested exception subject to the following condition:

1. The vertical wall exception shall substantially conform to the Staff report and architectural drawings prepared by Dimension Designs, dated September 9, 2019 except as such plans maybe modified to conform to the Village codes and ordinances. Mr. Maier seconded.

AYES: Ch. McCann, Mr. Maier, Ms. Eberhardt, Mr. Steffes, Mr. Foernssler

NAYS: None

The Motion to approve carrier unanimously, 5:0:0.

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Mr. Zawila stated that there was a meeting scheduled for next month.

Adjournment

Ch. McCann adjourned the meeting by voice vote at 7:36 PM.

Respectfully submitted,

Tonie Harrington
Recording Secretary
(transcribed from mp3 recording)



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE ZONING BOARD OF APPEALS
FEBRUARY 26, 2020 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
20-ZBA-0001 1103 Chicago Avenue	Zoning Exception	Flora Ramirez Planner

REQUEST

The petitioner is seeking a zoning exception to allow for a second story addition to be 11.58 feet from the north property line, where 12.1 feet is required per Section 2.030 of the Zoning Ordinance.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER/ PETITIONER: Tim Sullivan
4540 Main Street
Downers Grove, IL 60515

PROPERTY INFORMATION

EXISTING ZONING: R-4, Residential Detached House 4
EXISTING LAND USE: Single Family Detached House
PROPERTY SIZE: 6,676.425 square feet (.15 acres)
PINS: 09-08-102-001

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	R-4, Residential Detached House 4	Single Family Residential
SOUTH:	R-4, Residential Detached House 4	Single Family Residential
EAST:	R-4, Residential Detached House 4	Single Family Residential
WEST:	R-4, Residential Detached House 4	Single Family Residential

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development and attached to the report as noted:

1. Application/Petition for Public Hearing
2. Location Map
3. Plat of Survey
4. Site Plan
5. Floor Plans
6. Elevations

7. Project Summary/Narrative

PROJECT DESCRIPTION

The petitioner is requesting a zoning exception to vertically extend a portion of the existing wall for a second story addition. The existing northern wall is located in the required street setback. The property is located at the southeast corner of Chicago Avenue and Forest Avenue and is zoned R-4, Residential Detached House 4.

The building is considered a legal non-conforming structure as it was lawfully constructed, but has been deemed non-conforming due to Zoning Ordinance revisions.

A 25-foot street yard setback is required along Forest Avenue, while a 12.10 foot setback is required along Chicago Avenue. On corner lots, street setbacks apply along both streets, but applicable street setback requirements may be reduced along one of the street frontages if necessary to allow a building width of 30 feet, hence the required reduced setback on Chicago Avenue.

In the petitioner's case, the existing two-story house is setback 11.58 feet from the north property line (Chicago Avenue). As such, the petitioner is requesting an exception to vertically extend the north wall of the house along Chicago Avenue to allow for a second story addition. The existing cantilevered wall on the first floor will remain and be extended up to the second floor.

The existing exterior material will be updated entirely to match the proposed addition. This will allow for a cohesive design throughout the entire exterior of the home. There are new windows proposed within the proposed vertical extension, which will face the adjacent right-of-way. Aside from the current legal non-conforming street yard setback, the new addition will meet all requirements within the Zoning Ordinance.

ANALYSIS

Exception from the Zoning Ordinance, vertical extension of existing walls in one required setback

As noted above, the petitioner is requesting an exception from the required street setback to construct a second story addition where it is prohibited per Section 2.030 of the Zoning Ordinance. To grant the exception, the exception must meet the Zoning Exception standards and review criteria in Section 12.080.G and also the nonconforming structure alterations criteria in Section 11.040.C.2 of the Zoning Ordinance.

FINDINGS OF FACT

The petitioner has outlined the request in the attached narrative letter and supplemental documents. The petitioner will further address the proposal and justification to support the requested exception to the board at the public hearing.

Section 28.12.080.G Standards and Review Criteria

Zoning Exceptions require evaluation per Section 12.080 of the Zoning Ordinance, *Standards and Review Criteria*: "Zoning exceptions may be approved by the zoning board of appeals only when the board determines that any specific standards associated with the authorized zoning exception and the following general approval criteria have been met:"

(1) The exception is consistent with all relevant purpose and intent statements of this zoning ordinance and general purpose and intent of the comprehensive plan.

The purpose of the Zoning Ordinance (Section 1.060) is to protect and promote the public health, safety and general welfare and implement the policies and goals of the comprehensive plan. The proposed addition will not cause harm to the health, safety and general welfare of the community or immediate neighborhood. The proposed addition will meet the Comprehensive Plan recommendations to provide a variety of housing types, re-invest in the current housing stock, and ensure that quality housing stock remains a staple of the community. This standard is met.

(2) *The exception will not have substantial or undue adverse effect on adjacent properties, character of the area, or public health, safety and general welfare.*

The proposed addition will not have an adverse impact on adjacent properties, the character of the area, or public health, safety and welfare. The proposed vertical extension meets all other bulk requirements of the Zoning Ordinance. The new shed roof second story addition with windows will face an adjacent right-of-way and will not impact property owners across the right-of-way. The addition would complement the character of the area. This standard is met.

(3) *The exception will be constructed so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring properties in accordance with district regulations.*

The addition continues the existing structure vertically. The scale of the proposed addition is consistent with the surrounding homes in the vicinity. This standard is met.

(4) *The exception demonstrates high-quality design and uses construction materials and colors that are compatible with other structures on the property and other properties in the vicinity.*

The proposed modern addition will be constructed of typical residential construction materials. The overall renovation will lead to a cohesive high-quality modern design. The structure is compatible with other nearby single family residential properties. This standard is met.

(5) *Adverse impacts resulting from the exception will be mitigated to the maximum extent feasible.*

While the petitioner has included windows on the northern wall of the second floor, the proposed windows will face the adjacent right-of-way thus minimizing the adverse impacts of the addition. The proposed addition meets all other bulk requirements of the R-4 zoning district and mitigates any impacts to the maximum extent. This standard is met.

Section 28.11.040.C.2 Alterations and Expansions

Additionally, extensions of an existing building wall located within a required setback requires conformance with Section 11.040.C.2 of the Zoning Ordinance which states that “a structure with a nonconforming setback may not be expanded horizontally or vertically within the required setback area, except that the zoning board of appeals may approve either a horizontal or vertical extension of the nonconforming exterior walls of a detached house in accordance with the zoning exception procedures of Section 12.080. In order to approve such horizontal or vertical extension, the zoning board of appeals must find that all of the following criteria have been met”:

a) *The extended wall will comply with all other applicable lot and building regulations (other than the nonconforming setback).*

The proposed addition will comply with all other applicable lot and building regulations as identified in Section 2.030 of the Zoning Ordinance. This standard is met.

b) *The extension will not obstruct farther into the required setback than the existing exterior building wall and will not extend the horizontal length of the nonconforming building wall more than 15% of its existing length.*

The proposed addition is a vertical extension of an existing wall and will not obstruct farther into the required setback than the existing exterior building wall. The vertical extension will remain 11.58 feet from the north property line at its nearest point. This standard is met.

c) *The horizontal or vertical wall extension does not include windows that allow views onto an abutting lot occupied by a detached house.*

The proposed vertical extension includes windows that face the adjacent right-of-way. There is no direct view onto abutting properties. This standard is met.

- d) *The appearance of the expansion will be compatible with the adjacent property and neighborhood.*
The proposed appearance will be compatible with the surrounding homes in the immediate vicinity and neighborhood. This standard is met.
- e) *The expansion will not be detrimental to the existing character of development in the immediate neighborhood or endanger the public health, safety, or general welfare.*
The proposed vertical extension will not be detrimental to the existing character or endanger the public health, safety or general welfare. The proposed addition meets all bulk and building regulations, except the nonconforming setback. The proposed two-story home is consistent with the existing character of the neighborhood. This standard is met.

RECOMMENDATION

Based on the analysis above, staff believes the standards and criteria for granting the vertical exception have been met. As such, staff recommends *approval* of the requested exception subject to the following conditions:

1. The vertical wall exception shall substantially conform to the staff report and architectural drawings prepared by N. Batistich, Architects, dated January 14, 2020 except as such plans may be modified to conform to the Village codes and ordinances.

Staff Report Approved By:

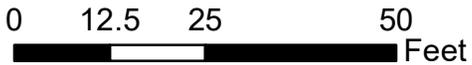


Stanley J. Popovich, AICP
Director of Community Development

SP:fr

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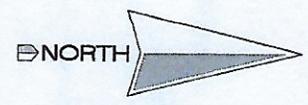
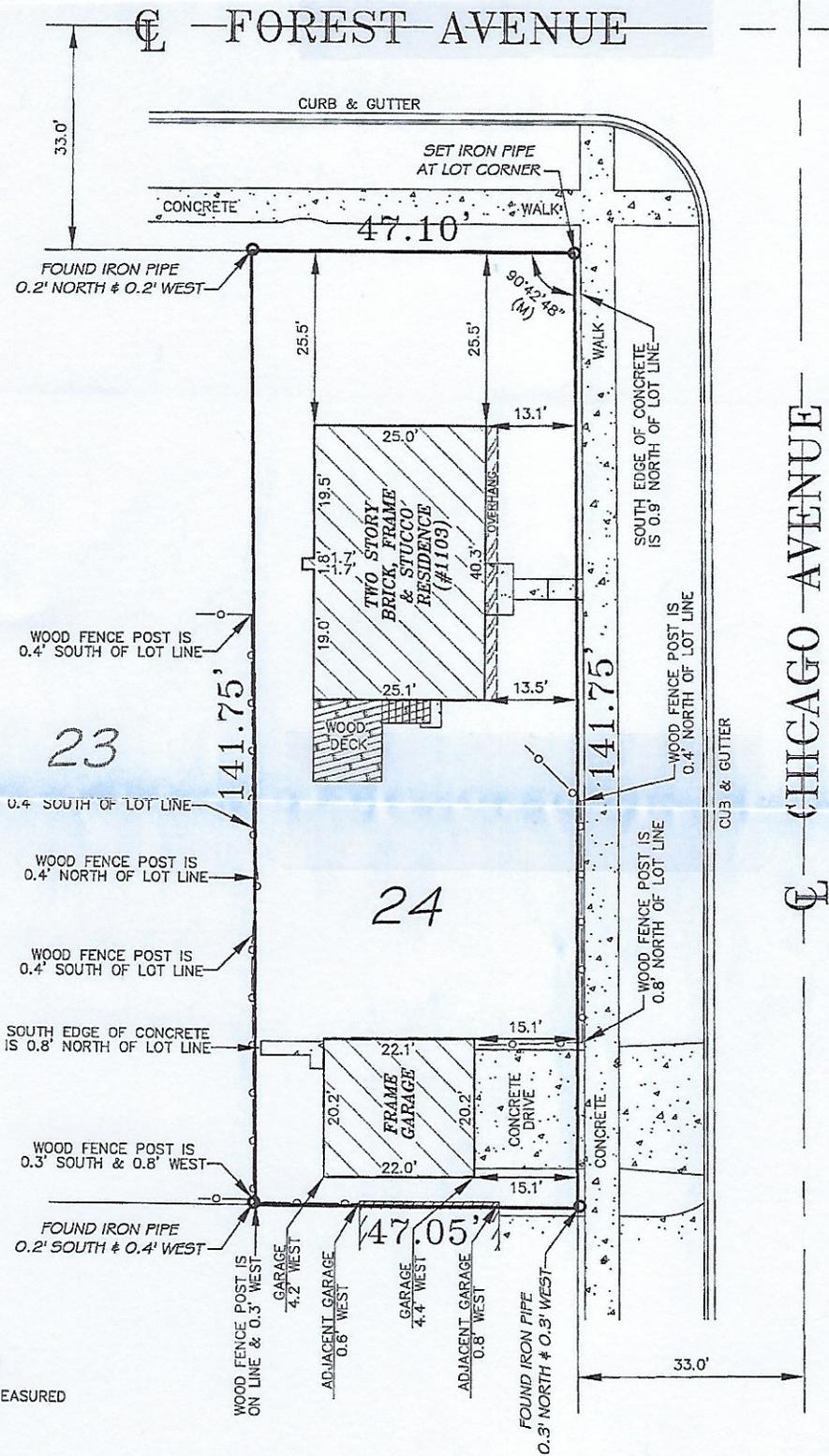
1103 Chicago Avenue - Location Map



PLAT OF SURVEY

OF

LOT 24 IN BLOCK 16 IN E.H. PRINCE AND COMPANY'S ADDITION TO DOWNERS GROVE, BEING A SUBDIVISION IN SECTIONS 5, 6, 7, AND 8, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 30, 1980, AS DOCUMENT 43600, IN DUPAGE COUNTY, ILLINOIS.



SCALE: 20'

AREA = 6,672 SQ. FT. MORE OR LESS



LEGEND

- (R/M) - RECORD / MEASURED
- L - ARC LENGTH
- R - RADIUS
- CH - CHORD

PREPARED FOR: MICHAEL PHILIPP (ATTORNEY AT LAW)
 JOB ADDRESS: 1103 CHICAGO AVENUE, DOWNERS GROVE, IL
 SELLER/BUYER: BIGELOW / SULLIVAN
 JOB NO.: 19-07-0253

NEKOLA SURVEY, INC.

PROFESSIONAL LAND SURVEYING SERVICES
 WWW.NEKOLASURVEY.COM
 400 N. SCHMIDT RD., STE. 203
 BOLINGBROOK, ILLINOIS 60440
 (630) 226-1530 PHONE (630) 226-1430 FAX

FIELD WORK COMPLETED ON THE 30TH DAY OF AUGUST, 2019.

(STATE OF ILLINOIS)
 (COUNTY OF WILL) SS

NEKOLA SURVEY INC. DOES HEREBY CERTIFY THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ADDITION and ALTERATIONS:

1103 CHICAGO AVE.

DOWNERS GROVE ILLINOIS



LIST OF DRAWINGS

- A1 SITE PLAN
- A2 FLOOR PLANS
- A3 ELEVATIONS
- A4 WALL SECTIONS
- A5 HVAC PLAN AND PLUMBING DIAGRAMS AND NOTES

BUILDING CODES - ALL W/ DuPAGE CO. AMENDMENTS

- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 PROPERTY MAINTENANCE CODE
- 2014 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
- LATEST VERSION OF THE ILLINOIS PLUMBING CODE
- CURRENT DOWNERS GROVE ZONING ORDINANCE
- CURRENT DOWNERS GROVE STORMWATER AND FLOOD PLAIN ORDINANCE

ENERGY CONSERVATION

TO PROVIDE COMPLIANCE WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE, THIS PROJECT WILL BE CONSTRUCTED USING THE PRESCRIPTIVE METHOD INDICATED IN THE INTERNATIONAL ENERGY CONSERVATION CODE:

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT PER TABLE 402.1.1 - INTERNATIONAL ENERGY CONSERVATION CODE

CLIMATE ZONE	FENESTRATION U-Factor	SKY-LIGHT U-Factor	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB WALL R-VALUE	CRAWL SPACE WALL R-VALUE
S & M WARE	0.32	0.55	NR	49*	20 OR 13+5	13/17	30	15/19	10, 2ft.	15/19

*R-38 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES (SECTION 402.2.1 IECC)

(ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT)

CLIMATE ZONE	FENESTRATION U-Factor	SKY-LIGHT U-Factor	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB WALL R-VALUE	CRAWL SPACE WALL R-VALUE
S & M WARE	0.32	N.A.	N.R.	49	20	N.A.	30.0	N.A.	N.A.	N.A.

* R-38 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES (SECTION 402.2.1 IECC)

- ATTIC ACCESS PANELS MUST BE INSULATED TO MATCH ATTIC AND MUST BE WEATHERSTRIPPED (SECTION R402.2.4)
- SECTION R402.4.1 AND TABLE R402.4.1.1 THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH A AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL; AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS:
 - A. AIR BARRIER AND THERMAL BARRIER
 - B. CEILING/ATTIC
 - C. WALLS
 - D. WINDOWS, SKYLIGHTS AND DOORS
 - E. RIM JOISTS
 - F. FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)
 - G. CRAWL SPACE WALLS
 - H. SHAFTS, PENETRATIONS
 - I. NARROW CAVITIES
 - J. GARAGE SEPARATION
 - K. RECESSED LIGHTING
 - L. PLUMBING AND WIRING
 - M. SHOWER/TUB ON EXTERIOR WALL
 - N. ELECTRICAL/PHONE BOX ON EXTERIOR WALL
 - O. HVAC REGISTER BOOTS
 - P. FIREPLACE

NOTE: REFER TO TABLE R402.4.1.1 FOR THE INSTALLATION CRITERIA FOR THE ABOVE BUILDING COMPONENTS

ENERGY NOTES

A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENCY LAMPS.

RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIRTIGHT, IC RATED, AND SEALED TO THE DRYWALL.

A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.

BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR PERMEABLE INSULATION SHALL NOT BE USED AS SEALING MATERIAL.

THE AIR BARRIER IN ANY DROPPED CEILING/ SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED SPACES SHALL BE SEALED.

RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER

BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.

BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.

THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.

HVAC REGISTER BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL

GENERAL REQUIREMENTS

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES, AND ALL AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR.

MATERIALS AND WORKMANSHIP

ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER.

EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AND SPECIFIED BY THE DRAWINGS AND SPECS.

MATERIALS AS SPECIFIED ON DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE OWNER OR THE GENERAL CONTRACTOR.

EACH SUBCONTRACTOR SHALL AMEND AND MAKE GOOD AT HIS OWN COST ANY DEFECTS OR OTHER FAULTS IN HIS WORKMANSHIP AND/ OR MATERIALS.

DEMOLITION NOTES

DESCRIPTION OF WORK

THE EXTENT OF THE DEMOLITION OR REMOVAL OF THE WORK IS SHOWN ON THE DRAWINGS, BUT IT SHALL BE UNDERSTOOD THAT ADDITIONAL OR INCIDENTAL REMOVALS AND CUTTINGS SHALL BE INCLUDED UNDER VARIOUS TRADE CATEGORIES OF THE SPECIFICATIONS AS APPLICABLE AND AS REQUIRED FOR THE INSTALLATION OF THE NEW WORK AND SHALL BE DONE BY THE RESPECTIVE TRADES.

DEMOLITION INCLUDES THE COMPLETE REMOVAL AND DISPOSAL OF THE DEMOLISHED MATERIALS AS SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED.

ELECTRICAL NOTES

ALL WIRING IS TO RUN IN CONDUIT. MINIMUM 14 GAUGE WIRE.

PROVIDE ARC FAULT PROTECTION ON ALL THE BEDROOM CIRCUITS.

FIXTURES IN ALL CLOSETS SHALL MAINTAIN 18" CLEARANCES FROM COMBUSTIBLES.

ALL CLOSET LIGHTING SHALL BE RECESSED OR FLUORESCENT LIGHTING WITH 6" CLEARANCE BETWEEN THE FIXTURE AND THE NEAREST POINT OF STORAGE SPACE.

PROVIDE 120V, SMOKE DETECTORS WHERE SHOWN ON THE PLANS. THEY ARE TO BE WIRED IN SERIES WITH A BATTERY BACKUP.

PROVIDE G.F.I. OUTLETS ABOVE THE KITCHEN COUNTERS AND THE NEW TOILET ROOM LOCATIONS. THEY SHALL BE MOUNTED 42" A.F.F. ALL 125V, SINGLE PHASE 15 AND 20 AMP RECEPTACLES, ELECTRICAL EQUIPMENT, LIGHT FIXTURES, AND FANS INSTALLED IN THE NEW TOILET ROOMS SHALL BE INSTALLED WITH G.F.C.I. PROTECTION.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE 20 AMP GROUND FAULT PROTECTED OUTLETS AT THE NEW TOILET ROOMS AND THE NEW KITCHENS. SEPARATE RESETS SHALL BE PROVIDED. THE NEW TOILET ROOMS, AND KITCHENS, SHALL BE CIRCUITED SEPARATELY.

ONE OF THE EXISTING RECEPTACLES IN THE BREAKFAST AREA SHALL BE WIRED AS TO BE SERVED BY A 20 AMP SMALL APPLIANCE BRANCH CIRCUIT.

INSTALL SEPARATE 20 AMP BRANCH CIRCUITS FOR EACH OF THE SMALL APPLIANCE OUTLET LOADS

THE DISHWASHER OR DISPOSAL SHALL BE HARDWIRED WITH AN APPROVED CONDUIT AND WIRE SYSTEM. CORD AND PLUG CONNECTIONS SHALL NOT BE PERMITTED

PROVIDE A CARBON MONOXIDE DETECTOR WITHIN 15'-0" OF ALL BEDROOMS.

ALL 125V, SINGLE PHASE 15 AND 20 AMPERE RECEPTACLES INSTALLED IN ALL OF THE BEDROOMS, LIVING ROOM, DINING ROOM, ENTRY, BREAKFAST, AND HALLWAY SHALL BE LISTED AS TAMPER RESISTANT RECEPTACLES.

DOWNERS GROVE NOTES:

ONLY THE EXISTING DRIVE IS TO BE USED AS THE CONSTRUCTION ENTRANCE. NO OTHER ACCESS ACROSS THE VILLAGE RIGHT-OF-WAY WILL BE ALLOWED.

ENSURE ALL CONSTRUCTION ACTIVITY, INCLUDING CONSTRUCTION ACCESS, IS CONTAINED ON-SITE

ANY DAMAGE TO THE PARKWAY TREES WILL BE THE RESPONSIBILITY OF THE APPLICANT TO ADDRESS AT THE DIRECTION OF THE VILLAGE FORESTER.

THE DISTANCE BETWEEN THE DOWNSPOUT DISCHARGE AND THE PROPERTY LINE SHALL BE MAXIMIZED AND ANY PIPED DISCHARGE SHALL DRAIN ACROSS 20 FEET OF GREENSPACE PRIOR TO LEAVING THE SITE, WHERE PRACTICAL.

EXISTING GRADE SHALL BE MAINTAINED ON THE PROPERTY. MAINTAIN EXISTING DRAINAGE PATTERNS.

ALL PLUMBING FIXTURES SHALL HAVE A CONSPICUOUS WATERSENSE LABEL UPON FINAL PLUMBING INSPECTION, OR A LIST OF INSTALLED WATERSENSE COMPLIANT FIXTURES SHALL BE PROVIDED TO THE PLUMBING INSPECTOR PRIOR TO THE FINAL PLUMBING APPROVAL.

PROPOSED WORK SHALL NOT CAUSE THE EXISTING STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING.

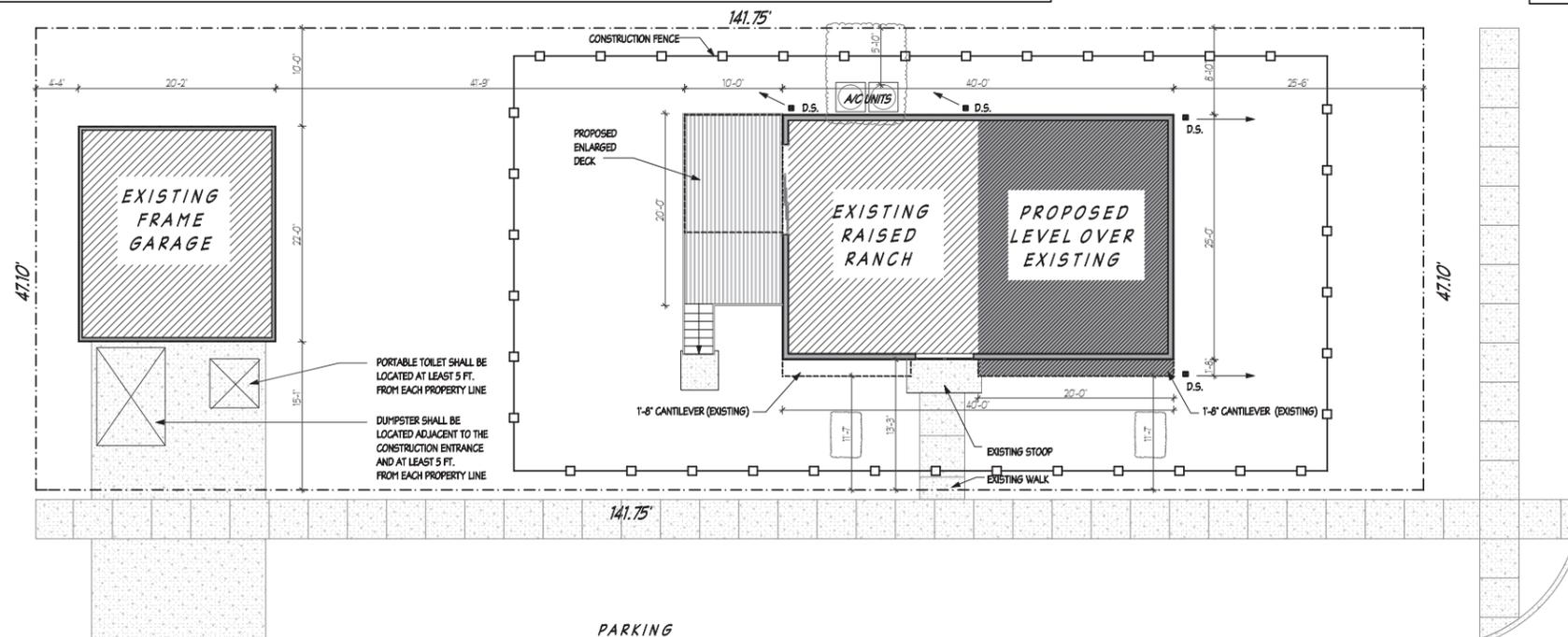
STRUCTURAL ELEMENTS THAT ARE UNCOVERED DURING THE COURSE OF THE ALTERATION THAT ARE FOUND TO BE UNSOUND OR DANGEROUS SHALL BE MADE TO COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE CURRENT CODE

TEMPORARY OCCUPANCY IS ONLY GRANTED ON AN AS-NEEDED BASIS DURING THE WINTER MONTHS; ONLY EXTERIOR WEATHER RELATED ITEMS ARE ABLE TO BE WAIVED UNTIL WARMER WEATHER. ALL TEMPORARY OCCUPANCY PERMITS EXPIRE ON APRIL 15.

A FINAL COPY OF THE APPROVED DRAWINGS/CONSTRUCTION DOCUMENTS FOR ALL DISCIPLINES, WITH ANY CHANGES THAT OCCURRED DURING CONSTRUCTION, WILL NEED TO BE SUBMITTED IN DIGITAL FORMAT. YOU MUST SUBMIT A SINGLE FILE, MULTI-PAGE PDF ON CD OR USB FLASH DRIVE IN ORDER TO OBTAIN FINAL CERTIFICATE OF OCCUPANCY.

IMPERVIOUS SURFACE AREAS - EXISTING		IMPERVIOUS SURFACE AREAS - PROPOSED	
LOCATION	AREA	LOCATION	AREA
EXIST. HOUSE	1,000 S.F.	EXIST. HOUSE	1,000 S.F.
EXIST. GARAGE	444 S.F.	EXIST. GARAGE	444 S.F.
EXIST. DRIVE	287 S.F.	EXIST. DRIVE	287 S.F.
EXIST. WALK	30 S.F.	EXIST. WALK	30 S.F.
EXIST. STOOP	36 S.F.	EXIST. STOOP	36 S.F.
EXIST. DECK/STAIR_152 x 0.6 = 92 S.F.		PROPOSED. DECK/STAIR_232 x 0.6 = 140 S.F.	
TOTAL	1,891 S.F.	TOTAL	1,939 S.F.

ZONING SCHEDULE		
ZONE	R-4	
ADDRESS	1103 CHICAGO AVE.	
LOT AREA	6,676.425	
REQUIRED	ACTUAL	
MIN. LOT AREA	7,500 S.F.	6,676.425 S.F.
FRONT YD. SETBACK	25 FT.	25.5 FT.
SIDE YD. SETBACK	5 FT.	8.85 FT.
REAR YD. SETBACK	20 FT.	76.25 FT.
BLDG. COVERAGE	2,136 S.F.	1,444 S.F.
HEIGHT	35 RIDGE	28.25 FT.
	25 FT.	20.75 FT.



CHICAGO AVENUE

Site Plan

Scale: 1/8" = 1'-0"



ADDITION and ALTERATIONS:
1103 CHICAGO AVE.
 DOWNERS GROVE ILLINOIS

n. batistich, architects
 MEADOWBROOK OFFICE CENTER
 16W475 S. FRONTAGE RD., SUITE 201
 BURR RIDGE, IL 60527 (630) 986-1173

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES

DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME

DATE: OCT. 1, 2019
 DRAWN BY:
 SCALE:
 APPROVED BY:

REVISIONS
 01/14/20 Permit
 PLAN No. NB 1001-19
 SHEET No. A1



CARPENTRY NOTES:

- PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO THE JOISTS, AND PROVIDE SOLID BLOCKING UNDER ALL PARTITIONS PERPENDICULAR TO THE JOISTS.
 - DOUBLE ALL JOISTS UNDER ALL TUBS AND OPENINGS IN THE FLOOR.
 - DOUBLE ALL JOISTS AROUND ALL OPENINGS IN THE ROOFS AND CEILING.
 - USE METAL CONNECTORS FOR CONNECTING JOISTS TO HEADERS ("SHIMSON" OR AN APPROVED EQUAL).
 - PROVIDE 3 - 2 X 4 OR 3 - 2 X 6 WOOD STUDS UNDER ALL HEADERS UNLESS OTHERWISE NOTED.
 - SILL PLATES ON CONCRETE SHALL BE PRESSURE TREATED AND SET IN SILL SEALER.
 - PROVIDE 1/2" PLYWOOD FIRESTOPPING AT ALL SOFFIT / WALL CAVITIES OR CEILING / JOIST CAVITIES.
 - ALL WALLS ARE TO HAVE 2" SOLID WOOD FIRESTOPPING. ALL ELECTRICAL AND PLUMBING THROUGH THE FLOORS ARE TO HAVE SPACE SEALED OFF WITH AN APPROVED FIBERGLASS OR ROCKWOOL BATT INSULATION. FIRESTOP STUD WALLS AT FLOORS AND CEILING AT EACH LEVEL AND AT THE JUNCTURE OF THE ROOF RAFTERS AND THE WALL.
 - BLOCK JOISTS SOLID AT 2'-0" O.C. AT PARALLEL PARTITIONS. PROVIDE DOUBLE JOISTS UNDER ALL TUBS, SHOWERS, WASHER, DRYER, AND ALL STATIONARY APPLIANCES.
 - UNLESS OTHERWISE NOTED, ALL HEADERS 6'-0" AND GREATER IN LENGTH SHALL BE SUPPORTED BY DOUBLE 2 X 4 OR 2 X 6 CRIPPLES.
 - ALL LINEN CLOSETS ARE TO HAVE 5 SHELVES. ALL CLOSETS ARE TO HAVE ONE HANGER BAR AND ONE SHELF.
- NOTES:**
- PROVIDE (2) - 2 X 12 WOOD HEADERS OVER ALL 2 X 4 WOOD STUD WINDOW OR DOOR OPENINGS UNLESS OTHERWISE NOTED.
 - PROVIDE (3) - 2 X 12 WOOD HEADERS OVER ALL 2 X 6 WOOD STUD WINDOW OR DOOR OPENINGS UNLESS OTHERWISE NOTED.

ALL INTERIOR HEADERS ARE TO BE (2) - 2 X 12 HEADERS UNLESS OTHERWISE NOTED

CARPENTRY

STRESS GRADE LUMBER SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATIONS" FOR STRESS GRADE LUMBER AND ITS FASTENINGS "NDS" LATEST EDITION.

FRAMING LUMBER

FRAMING LUMBER FOR FLOOR JOISTS, CEILING JOISTS, RAFTERS, AND HEADERS SHALL BE:

GRADE # 2 (OR BETTER) HEM- FIR MINIMUM BASE PLS: 1050 OR GRADE # 2 (OR BETTER) S.P.F., MINIMUM BASE PLS: 1050

ENGINEERED WOOD PRODUCTS

PRODUCT TYPE: PARALLAM, LVL MANUFACTURER: Weyerhaeuser SIZES: AS SHOWN ON THE FLOOR PLANS - MINIMUM BASE PLS: 2800

DESIGN LOADS

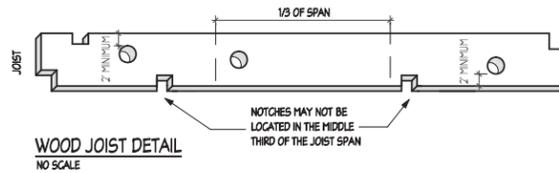
FLOOR	40 PSF LIVE LOAD	20 PSF DEAD LOAD
ATTIC	15 PSF LIVE LOAD	15 PSF DEAD LOAD
ROOF	30 PSF LIVE LOAD	15 PSF DEAD LOAD

STRUCTURAL PLYWOOD: ROOF SHEATHING TO BE 1/2" CDX PLYWOOD (OR APPROVED EQUAL), W/EXTERIOR GLUE.

WALL SHEATHING TO BE 1/2" CDX PLYWOOD (OR APPROVED EQUAL) WITH EXTERIOR GLUE.

SILL PLATES ON CONCRETE SHALL BE PRESSURE TREATED AND SET IN SILL SEALER.

HIP OR VALLEY RAFTERS EXCEEDING 20'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS X RAFTER DEPTH PLUS 2" DEEP.



WOOD STUD AND JOIST NOTES

NOTCHES IN THE TOP OR BOTTOM OF THE JOISTS SHALL NOT EXCEED ONE - SIXTH THE DEPTH OF THE JOIST AND SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE THE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE - FOURTH OF THE JOIST DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED.

HOLES DRILLED OR BORED IN THE JOISTS SHALL NOT BE WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE JOISTS, AND THEIR DIAMETER SHALL NOT EXCEED ONE - THIRD OF THE DEPTH OF THE JOIST.

ANY WOOD STUDS IN AN EXTERIOR WALL OR A BEARING PARTITION WALL MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. THE STUDS IN NON-BEARING PARTITION WALLS MAY BE NOTCHED A DEPTH NOT EXCEEDING 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED AND DRILLED PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40% OF THE STUD WIDTH. ALSO THE EDGE OF THE HOLE IS TO BE NO CLOSER THAN 5/8 INCH TO THE EDGE OF THE STUD. THE HOLE IS NOT TO BE LOCATED IN THE SAME SECTION AS A CUT OR A NOTCH.

LVL FASTENING SCHEDULE

CONFIRM THE ADEQUACY OF THE BEAM (DEPTH AND NUMBER OF PIECES) FOR CARRYING THE DESIGNATED LOADS

STRESS VALUE FOR NAIL AND BOLT VALUES IS 100%. INCREASES OF 15% FOR SNOW LOADED OR 25% FOR NON-SLOW LOADED FLOOR CONDITIONS ARE PERMITTED.

TOP AND BOTTOM ROW OF CONNECTORS SHOULD BE 2" FROM EDGE.

BOLT HOLES ARE TO BE THE SAME DIAMETER AS THE BOLT. EVERY BOLT MUST EXTEND THROUGH THE FULL THICKNESS OF THE MEMBERS. USE WASHERS UNDER HEAD AND NUT.

FOR 3 PIECE MEMBERS SPECIFIED NAILING IS FROM EACH SIDE.

FLOOR JOISTS MUST BE ATTACHED WITH APPROVED METAL HANGERS.

FIRE RATINGS

SPACE BETWEEN FLOOR AND EXTERIOR WALL AT ALL OPENINGS IN THE FLOOR INCLUDING SPACE BETWEEN CONDUIT, PIPING, ETC. EXCEPT WHEN COMPLETELY ENCLOSED BY FIRE RATED CONSTRUCTION SHALL BE SAFF OFF (FILLED) WITH APPROVED SAVING MATERIAL TO MAINTAIN THE CONTINUITY OF THE FLOOR FIRE RATINGS. ALL JOINTS OF ANY ELEMENT OF CONSTRUCTION SHALL BE TIGHT TO PREVENT THE PASSAGE OF SMOKE OR FLAME.

INSULATION MATERIALS INSTALLED WITHIN FLOOR CEILING ASSEMBLIES, ATTICS, SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84.

COMBUSTIBLE INSULATION SHALL MAINTAIN A 3" CLEARANCE FROM RECESSED LIGHTING FIXTURES UNLESS DEVICES ARE LISTED FOR LESSER CLEARANCE

NOTES:

ALL FRAMING TO COMPLY WITH EMERGENCY REDUCTIONS IN SPANS FOR HEM FIR AND S.P.F. LUMBER PER AWC AND SIFPA

FASTENERS FOR PRESERVATIVE TREATED WOOD SHALL BE GALVANIZED STEEL. COATING TYPES AND WEIGHTS FOR CONNECTORS IN CONTACT WITH PRESERVATIVE WOOD SHALL BE IN ACCORDANCE WITH THE CONNECTOR MANUFACTURER'S RECOMMENDATIONS. ALL FASTENERS AND CONNECTORS IN CONTACT WITH TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, SILICON BRONZE, STAINLESS, OR EQUAL IN CORROSION RESISTANCE. (APPLICABLE TO ALL ITEMS LESS THAN 1/2" IN THICKNESS INCLUDING NAILS AND SCREWS)

NOTES

BLOCK JOISTS SOLID AT 2'-0" O.C. AT PARALLEL PARTITIONS

PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO THE JOISTS AND PROVIDE SOLID BLOCKING UNDER ALL PARTITIONS PERPENDICULAR TO THE JOISTS

PROVIDE DOUBLE JOISTS UNDER ALL TUBS, WASHER, DRYER, AND ALL STATIONARY APPLIANCES

DOUBLE ALL JOISTS AROUND ALL OPENINGS IN FLOORS, CEILING, AND ROOF

STRUCTURAL PLYWOOD

FLOOR SHEATHING IS TO BE 3/4" TONGUE AND GROOVE PLYWOOD WITH EXTERIOR GLUE GLUED AND RING SHANK NAILED. PROVIDE 1/4" UNDERLAYMENT IN TILED AREAS.

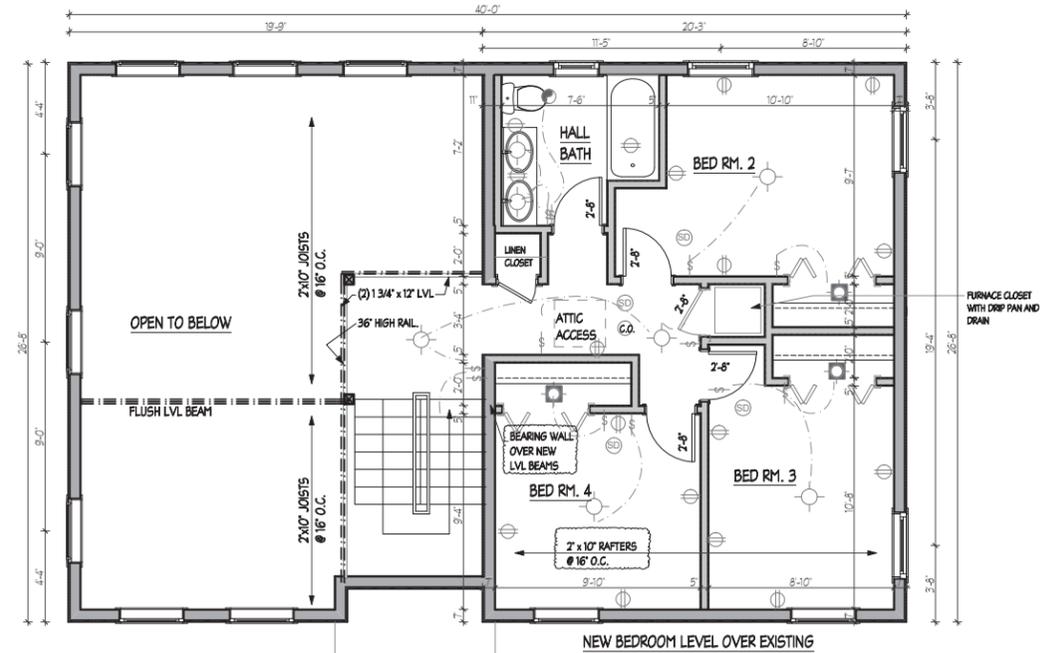
ROOF AND WALL SHEATHING ARE TO BE 1/2" CDX RTED WITH EXTERIOR GLUE.

ALL PLYWOOD IS TO BE A.P.A. APPROVED.

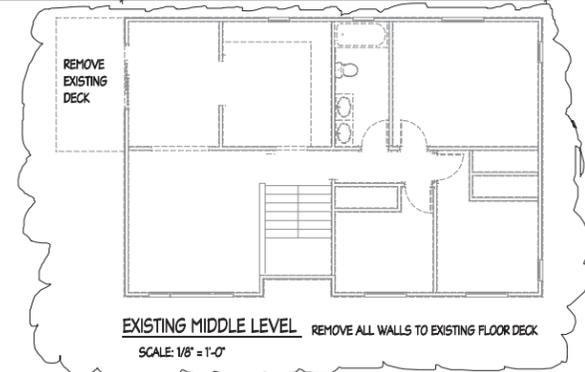
ELECTRICAL NOTE: ALL NEW OR MODIFIED APPLICABLE CIRCUITS SHALL BE AFCI PROTECTED. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, CLOSETS, HALLWAYS, KITCHENS AND LAUNDRY ROOMS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

KITCHEN NOTES

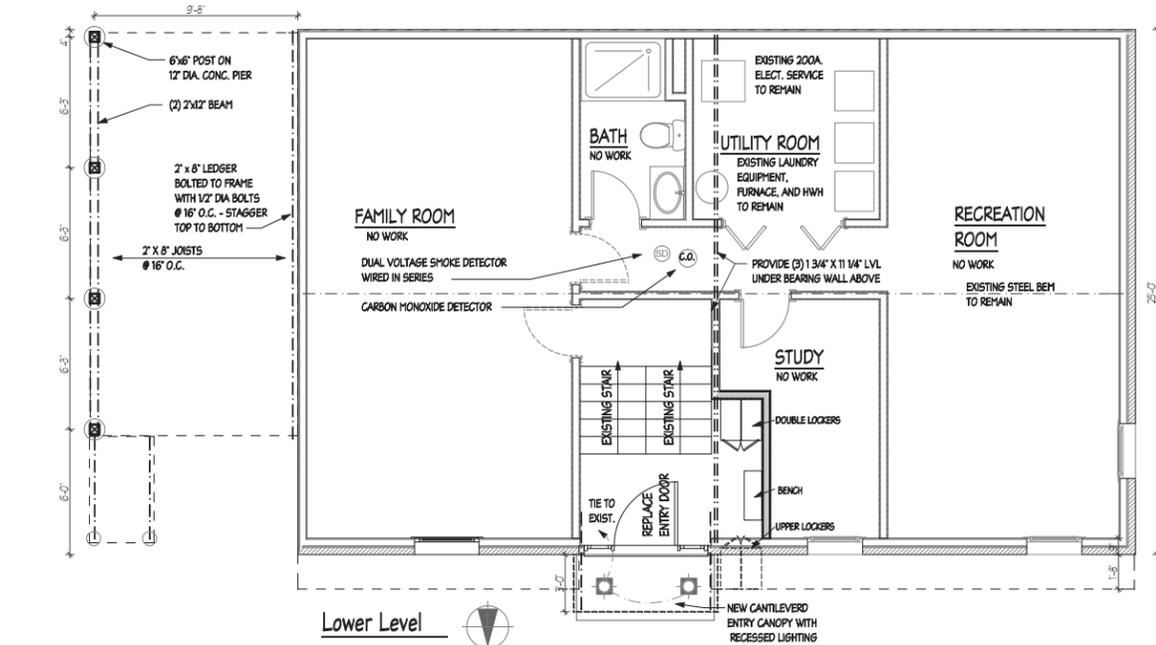
ALL KITCHEN RECEPTACLES ARE TO BE G.F.I. PROTECTED AND MOUNTED 42" A.F.F. PROVIDE G.F.I. RECEPTACLES ON THE PENINSULA WHERE SHOWN ON THE PLANS



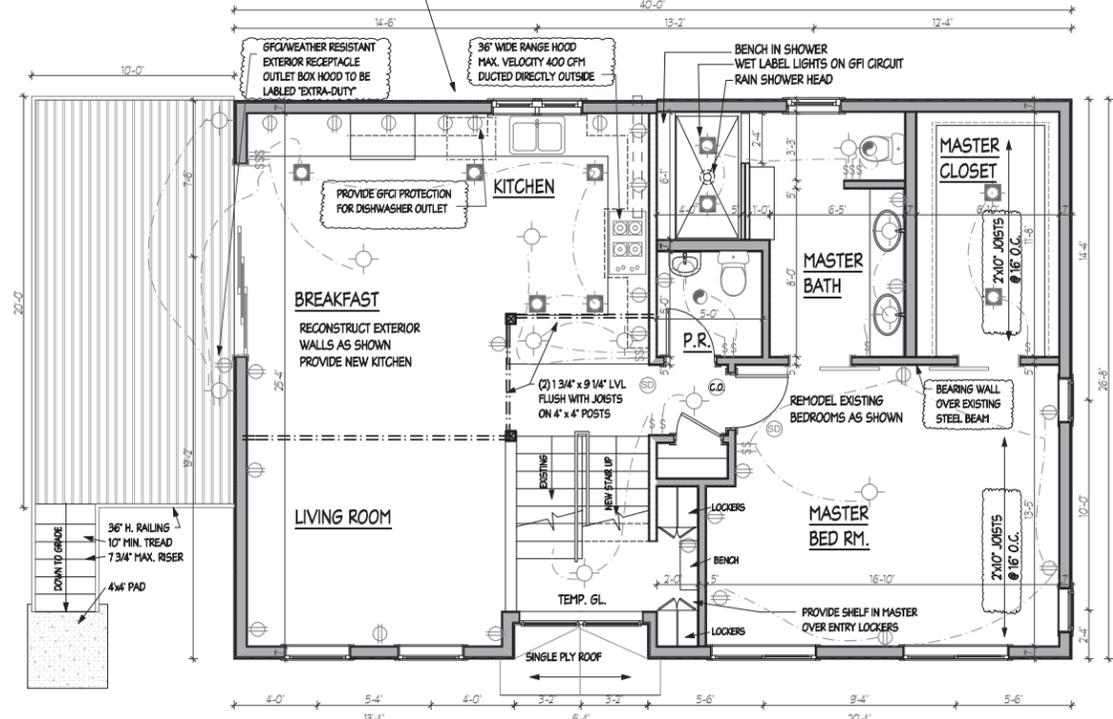
Upper Level
Scale: 1/4" = 1'-0"



EXISTING MIDDLE LEVEL
SCALE: 1/8" = 1'-0"



Lower Level
Scale: 1/4" = 1'-0"



Middle Level
Scale: 1/4" = 1'-0"

ADDITION and ALTERATIONS:

1103 CHICAGO AVE.

DOWNERS GROVE, ILLINOIS

DATE: OCT. 1, 2019
DRAWN BY: 07/14/20 Peritt
SCALE:
APPROVED BY:

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL PLAN AND DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECTS IN NO WAY ACCEPT RESPONSIBILITY FOR ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES

n. batistich, architects
MEADOWBROOK OFFICE CENTER
16W475 S. FRONTAGE RD., SUITE 201
BURR RIDGE, IL 60527 (630) 986-1173

PLAN No. NB 1001-19
SHEET No. A2

EGRESS WINDOW NOTES

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM CLEAR OPENING WIDTH SHALL BE 20".

ELEVATION NOTES

ALL BEDROOM WINDOWS SHALL HAVE AT LEAST ONE (1) EGRESS WINDOW WHICH HAS A NET CLEAR OPENING OF 5.7 SQUARE FEET AND A MINIMUM WIDTH OF 20".

PROVIDE SPLASHBLOCKS AT ALL DOWNSPOUTS.

PROVIDE DRIP CAPS AT ALL WINDOWS, DOORS, AND RAKES

WRAP EAVE RETURNS WITH SEAMLESS ALUMINUM GUTTERS AND FLASH

NOTE

HIP OR VALLEY RAFTERS EXCEEDING 20'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS X RAFTER DEPTH PLUS 2" DEEP.

NOTE

PROVIDE VENTILATION OR ALL ATTIC AREAS. MINIMUM NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED IS AT LEAST 3'-0" ABOVE THE EAVE OR CORNICE VENTS, OR A VAPOR BARRIER HAVING A MAXIMUM 1 PERM TRANSMISSION RATE ON WARM SIDE OF CEILING. VENTILATING OPENINGS SHALL BE PROVIDED WITH INSTALLED ON THE CORROSION-RESISTANT WIRE MESH WITH 1/8" - 1/4" OPENINGS.

MARK	DESCRIPTION	OVERALL SIZE
A	1 LIGHT CASEMENT	3'-0" X 5'-6"
B	1 LIGHT AWNING	3'-0" X 2'-0"
C	GLIDING PATIO DOOR	9'-0" X 6'-8"
D	SLIDER WINDOW	6'-0" X 3'-6"
E	1 LIGHT CASEMENT	2'-0" X 3'-0"
F	2 LIGHT CASEMENT	4'-0" X 3'-6"
G	1 LIGHT CASEMENT	3'-0" X 4'-6"

NOTE

THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW ON THE SECOND FLOOR SHALL BE A MINIMUM OF 24" A.F.F.

EXTERIOR DOORS AND WINDOWS

VERIFY THE DIMENSIONS OF IN- PLACE AND SUBSEQUENT CONSTRUCTION AND ACCURATELY FIT THIS PART OF THE WORK TO OTHER CONSTRUCTION

PROVIDE TIGHT JOINTS AND EFFECTIVELY SEAL THE COMPONENT PARTS OF THE WINDOWS AND THEIR JOINTS TO OTHER WORK AGAINST WATER LEAKAGE AND INFILTRATION

WINDOWS:

ALL WINDOW GLASS ARE TO BE LOW-E COATED INSULATED GLAZING

PROVIDE "PELLA" OR EQUAL TILT-WASH CLAD DOUBLE HUNG WINDOWS (MINIMUM U-FACTOR .30)

RESIDENTIAL ENTRY DOORS: (MINIMUM U-FACTOR .32)

PATIO DOORS: "PELLA" OR EQUAL CLAD GLIDING PATIO DOORS (MINIMUM U-FACTOR .30)

WINDOWS ARE TO BE LIMITED TO NO MORE THAN 0.3 CFM PER SQUARE FOOT AIR LEAKAGE. SWINGING DOORS ARE TO BE LIMITED TO NO MORE THAN 0.5 CFM PER SQUARE FOOT AIR LEAKAGE.

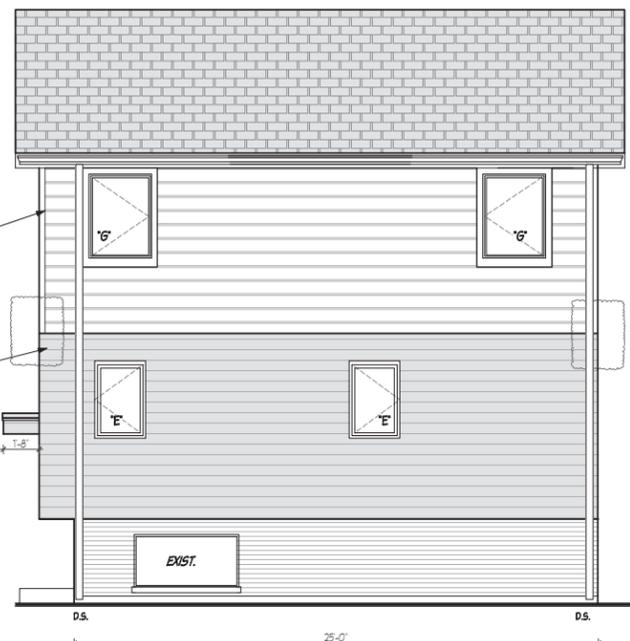
NOTE:

PROVIDE ICE AND WATER SHIELD UP THE ROOF A MINIMUM OF 24" FROM THE INSIDE (WARM) FACE OF THE WALL



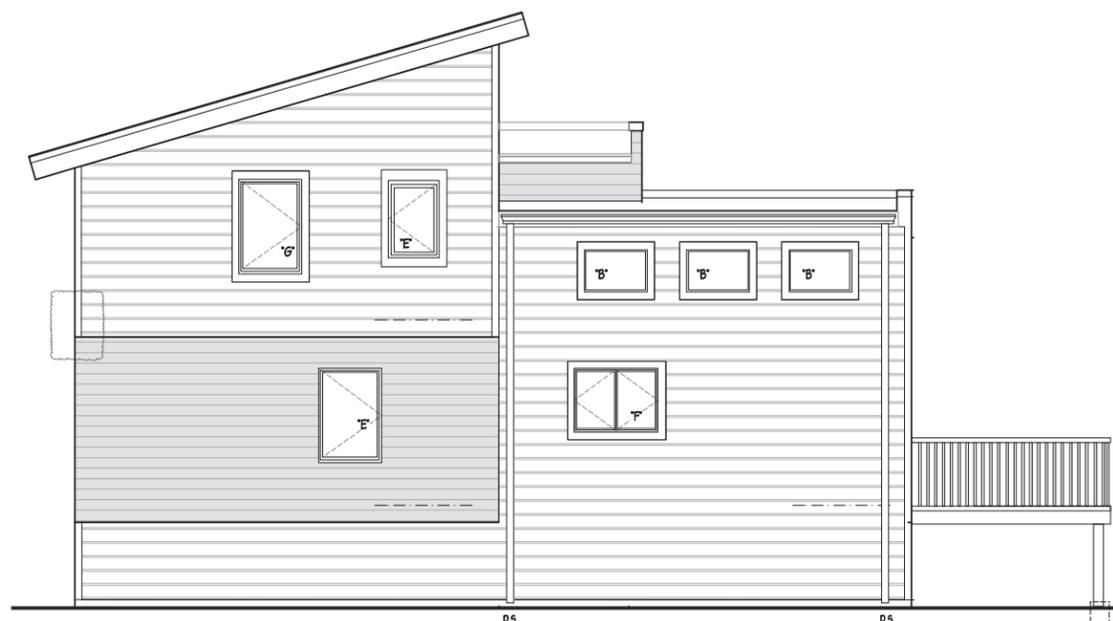
FRONT (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



SIDE (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



REAR (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"



SIDE (EAST) ELEVATION

SCALE: 1/4" = 1'-0"

ADDITION and ALTERATIONS:

1103 CHICAGO AVE.

DOWNERS GROVE, ILLINOIS

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODES

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DO NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL PLAN AND DIMENSIONS AND CONDITIONS ON THE DRAWINGS IN WORKING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME

DATE: OCT. 1, 2019
DRAWN BY:
SCALE:
APPROVED BY:

REVISIONS
01/14/20 Permit

PLAN No. NB 1001-19
SHEET No. A3



Tim Sullivan
4540 Main Street
Downers Grove, IL 60515

01/14/2020

Re: 1103 Chicago Avenue
Downers Grove, IL 60515

To whom it may concern:

Request for Exception:

We are writing to request an exception for the proposed work at 1103 Chicago Avenue which does not meet the current Downers Grove zoning code.

Scope of Work:

We are proposing a vertical addition to the current structure. This addition aligns with the existing outside faces of the building and thus encroaches on the current North setback requirements of the property along Chicago Avenue. Therefore we are applying for a zoning exception for the vertical extension of the existing building's non-conforming setbacks along the North side of the property. The proposed addition will meet all other requirements of the Downers Grove zoning ordinance.

North Facing Setback:

The current zoning ordinance setback for the North side of the property (front of house facing Chicago Avenue) is 12.1'. The existing home is located 11.58' off the property line at its closest location. The proposed addition work will create no further setback than what is existing.

Standards of Review:

The following statements are how we feel the proposed construction addresses the standards of review set forth in both zoning code sections 11.040.c.2 and 12.080.g

1. The proposed addition is consistent with all relevant purpose and intent statements of the zoning ordinance and will comply with all other applicable lot and building regulations.
 - a. The proposed addition will meet all other requirements of the Downers Grove zoning and ordinance and building codes.
2. The proposed addition will not have a substantial or undue adverse effect upon adjacent properties, the character of the area or the public health, safety and general welfare.
 - a. The proposed 2-story home is compatible with the lot, considering the proposed work does not increase the building coverage
 - b. The proposed building is compatible with the neighborhood, as the two story building is consistent with typical sizes of homes in the neighborhood
3. The proposed zoning exception will be constructed, arranged and operated not to dominate the immediate vicinity or to interfere with the use and development of the neighboring properties in accordance with the applicable district regulations.

4. The vertical addition is flush with and equal to the existing home, thus not furthering the non-conformity horizontally (only vertically).
5. The proposed zoning exception demonstrates high-quality design and uses construction materials that are compatible with other structures on the property and other properties in the vicinity.
 - a. The proposed addition is intended to enhance/improve the aesthetic of the existing home, and to enhance the neighborhood through its high-quality design and use of quality architectural materials.

Thank you for your time to consider this,

A handwritten signature in black ink, appearing to read 'Tim Sullivan', with a large, stylized flourish at the end.

Tim Sullivan

630-330-3638



**VILLAGE OF DOWNERS GROVE
REPORT FOR THE ZONING BOARD OF APPEALS
FEBRUARY 26, 2020 AGENDA**

SUBJECT:	TYPE:	SUBMITTED BY:
20-ZBA-0002 5152 Benton Avenue	Zoning Exception	Flora Ramirez Planner

REQUEST

The petitioner is seeking a zoning exception to allow for a second story addition to be 20.35 feet from the south property line, where 24 feet is required per Section 2.030 of the Zoning Ordinance.

NOTICE

The application has been filed in conformance with applicable procedural and public notice requirements.

GENERAL INFORMATION

OWNER/ APPLICANT: Sean and Andrea Burns
5152 Benton Avenue
Downers Grove, IL 60515

PROPERTY INFORMATION

EXISTING ZONING: R-4, Residential Detached House 4
EXISTING LAND USE: Single Family Detached House
PROPERTY SIZE: 9,018.6 square feet (.21 acres)
PINS: 09-08-403-017

SURROUNDING ZONING AND LAND USES

	ZONING	FUTURE LAND USE
NORTH:	R-4, Residential Detached House 4	Single Family Residential
SOUTH:	R-4, Residential Detached House 4	Single Family Residential
EAST:	R-4, Residential Detached House 4	Single Family Residential
WEST:	R-4, Residential Detached House 4	Single Family Residential

ANALYSIS

SUBMITTALS

This report is based on the following documents, which are on file with the Department of Community Development and attached to the report as noted:

1. Application/Petition for Public Hearing
2. Location Map
3. Plat of Survey
4. Site Plan
5. Floor Plans
6. Elevations

7. Project Summary/Narrative

PROJECT DESCRIPTION

The petitioner is requesting a zoning exception to vertically extend a portion of the existing wall for a remodeled second story addition. The existing southern wall is located in the required street setback. The property is located at the northwest corner of Benton Avenue and Randall Street and is zoned R-4, Residential Detached House 4.

The building is considered a legal non-conforming structure as it was lawfully constructed, but has been deemed non-conforming due to Zoning Ordinance revisions.

A 25-foot street yard setback is required along Benton Avenue, while a 24-foot street setback is required along Randall Street. On corner lots street setbacks apply along both streets, but applicable street setback requirements may be reduced along one of the street frontages if necessary to allow a building width of 30 feet, hence the required reduced 24-foot setback along Randall Street.

In the petitioner's case, the existing two-story house is setback 20.35 feet from the south property line (Randall Street). As such, the petitioner is requesting an exception to vertically extend the south wall of the house along Randall Street to allow for a second story addition. The second story will be remodeled to include a cross-gabled roof peak extension. The rest of the proposed addition is compliant with the bulk regulations of the Zoning Ordinance. The existing cantilevered window on the first floor will remain and will not be extended up to the second floor.

The existing exterior material will be updated entirely to match the proposed addition. This will allow for a cohesive design throughout the entire exterior of the home and the design will be compatible with neighboring single family properties. There no new windows proposed within the proposed vertical extension, which will face the adjacent right-of-way. Aside from the current legal non-conforming street yard setback, the new addition will meet all requirements within the Zoning Ordinance.

ANALYSIS

Exception from the Zoning Ordinance, vertical extension of existing walls in one required setback

As noted above, the petitioner is requesting an exception from the required street setback to construct a second story addition where it is prohibited per Section 2.030 of the Zoning Ordinance. To grant the exception, the exception must meet the Zoning Exception standards and review criteria in Section 12.080.G and also the nonconforming structure alterations criteria in Section 11.040.C.2 of the Zoning Ordinance.

FINDINGS OF FACT

The petitioner has outlined the request in the attached narrative letter and supplemental documents. The petitioner will further address the proposal and justification to support the requested exception to the board at the public hearing.

Section 28.12.080.G Standards and Review Criteria

Zoning Exceptions require evaluation per Section 12.080 of the Zoning Ordinance, *Standards and Review Criteria*: "Zoning exceptions may be approved by the zoning board of appeals only when the board determines that any specific standards associated with the authorized zoning exception and the following general approval criteria have been met:"

(1) The exception is consistent with all relevant purpose and intent statements of this zoning ordinance and general purpose and intent of the comprehensive plan.

The purpose of the Zoning Ordinance (Section 1.060) is to protect and promote the public health, safety and general welfare and implement the policies and goals of the comprehensive plan. The proposed addition will not cause harm to the health, safety and general welfare of the community or immediate

neighborhood. The proposed addition will meet the Comprehensive Plan recommendations to provide a variety of housing types, re-invest in the current housing stock, and ensure that quality housing stock remains a staple of the community. This standard is met.

(2) *The exception will not have substantial or undue adverse effect on adjacent properties, character of the area, or public health, safety and general welfare.*

The proposed addition will not have an adverse impact on adjacent properties, the character of the area, or public health, safety and welfare. The proposed vertical extension meets all other bulk requirements of the Zoning Ordinance. The southern wall of the cross gabled roof is angled, thus the existing nonconforming setback decreases as it nears the peak of the roof. The vertical wall extension will face an adjacent right-of-way and will not impact property owners across the right-of-way. The addition would complement the character of the area. This standard is met.

(3) *The exception will be constructed so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring properties in accordance with district regulations.*

The addition continues the existing structure vertically. The scale of the proposed addition is consistent with the surrounding homes in the vicinity. This standard is met.

(4) *The exception demonstrates high-quality design and uses construction materials and colors that are compatible with other structures on the property and other properties in the vicinity.*

The proposed addition will be constructed of typical residential construction materials. The overall renovation will lead to a cohesive high-quality design. The structure is compatible with other nearby single family residential properties. This standard is met.

(5) *Adverse impacts resulting from the exception will be mitigated to the maximum extent feasible.*

The petitioner has not included new windows on the southern wall of the second floor, thus minimizing the adverse impacts of the addition. The proposed addition meets all other bulk requirements of the R-4 zoning district and mitigates any impacts to the maximum extent. This standard is met.

Section 28.11.040.C.2 Alterations and Expansions

Additionally, extensions of an existing building wall located within a required setback requires conformance with Section 11.040.C.2 of the Zoning Ordinance which states that “a structure with a nonconforming setback may not be expanded horizontally or vertically within the required setback area, except that the zoning board of appeals may approve either a horizontal or vertical extension of the nonconforming exterior walls of a detached house in accordance with the zoning exception procedures of Section 12.080. In order to approve such horizontal or vertical extension, the zoning board of appeals must find that all of the following criteria have been met”:

a) *The extended wall will comply with all other applicable lot and building regulations (other than the nonconforming setback).*

The proposed addition will comply with all other applicable lot and building regulations as identified in Section 2.030 of the Zoning Ordinance. This standard is met.

b) *The extension will not obstruct farther into the required setback than the existing exterior building wall and will not extend the horizontal length of the nonconforming building wall more than 15% of its existing length.*

The proposed addition is a vertical extension of an existing wall and will not obstruct farther into the required setback than the existing exterior building wall. The vertical extension will remain 20.35 feet from the south property line at its nearest point. This standard is met.

- c) ***The horizontal or vertical wall extension does not include windows that allow views onto an abutting lot occupied by a detached house.***

The proposed vertical extension includes existing windows that face the adjacent right-of-way. No new windows will be added. There is no direct view onto abutting properties. This standard is met.

- d) ***The appearance of the expansion will be compatible with the adjacent property and neighborhood.***

The proposed appearance will be compatible with the surrounding homes in the immediate vicinity and neighborhood. This standard is met.

- e) ***The expansion will not be detrimental to the existing character of development in the immediate neighborhood or endanger the public health, safety, or general welfare.***

The proposed vertical extension will not be detrimental to the existing character or endanger the public health, safety or general welfare. The proposed addition meets all bulk and building regulations, except the nonconforming setback. The proposed two-story home is consistent with the existing character of the neighborhood. This standard is met.

RECOMMENDATION

Based on the analysis above, staff believes the standards and criteria for granting the vertical exception have been met. As such, staff recommends ***approval*** of the requested exception subject to the following conditions:

1. The vertical wall exception shall substantially conform to the staff report and architectural drawings prepared by Lance A. Weber, dated January 24, 2020 except as such plans may be modified to conform to the Village codes and ordinances.

Staff Report Approved By:



Stanley J. Popovich, AICP
Director of Community Development

SP:fr

-att

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0 50 100 200
Feet

5152 Benton Avenue - Location Map



REVISIONS	BY

BURNS RESIDENCE
 FARMERS GROVE IL
 ~ 5152 BENTON AVE.

LANCE A. WEBER
 ARCHITECT.
 2040 JERICHO ROAD
 SUITE 101, IL 60034
 830.264.1705

Date	1.24.20
Scale	1/8", 1/4"
Drawn	LAW
Job	
Sheet	1
Of	2 Sheets



**Sean Burns
5152 Benton Ave.
Downers Grove**

January 24, 2020

Re; Zoning exception
5152 Benton Ave.

Zoning Board, Downers Grove

I am requesting a Zoning Height Exception for a current project in planning for my residence at 5152 Benton Avenue, zoned R4 with a lot area of 9019 sf.

SCOPE OF WORK

The current house is primarily a one and a half story house with a full height two story tower at the southeast corner of the lot where Benton Avenue and Randall Street intersect. We are planning to replace the existing half story section of the second floor with a new full height second floor and we will be adding a new two story addition to the rear yard.

The existing house meets current zoning requirements to the north and east for the interior side yard and front yard requirements. Any addition upward here poses no problem. However, the existing south wall, first and second floor, do not meet current zoning code. Current code requires a 24 ft corner front yard and we have a 20.35 ft setback. In our proposed plan, we are not changing the current full height second floor living space along this south wall frontage. We would however like to extend this current nonconforming south wall primarily at the attic level in order to tie in the new roof ridge generated by the new full height second floor proposed over the remainder of the existing house.

The current south wall is 3.65 ft over the required 24 ft setback. We would extend this portion of the second floor wall in what will remain a still non full height storage area. At the attic level, the proposed new south wall is 2.15 ft over the required setback.

The new two story addition to the rear will follow all current zoning code setbacks.

STANDARDS OF REVIEW, as per Zoning Code sections 11.040.c.2 & 12.080.g

In regards to the addition being consistent with all relevant purpose and intent statements of the zoning ordinance and the extended wall complying with all other applicable lot and building regulations:

- The proposed addition will comply with all other requirements of the Downers Grove Building and Zoning Codes.

In regards to the addition not having any substantial or undue adverse effect upon adjacent property, upon the character of the area, or on public health, safety and general welfare:

- The proposed extension does not significantly increase the mass of the house along this corner side yard. The current house wall in question is quite distant from any adjacent structure.
- The proposed addition overall is consistent with the sizes and massing of adjacent neighborhood properties.

As to the proposed zoning exception being constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of the neighboring property in accordance with the applicable district regulations:

- The position of this exception on the lot is at the location most distant from all neighbors.
- The proposed addition overall is still smaller in scale than all adjacent properties. We are still well under allowed lot coverage.

As to the proposed zoning exception demonstrating high quality design and using construction materials and colors that are compatible with other structures on the property and other properties in the vicinity:

- The proposed exception and addition are part of a larger program that would update, repair and expand a 125 year old historic structure.
- All decisions would be based upon the intention of extending the lifespan of the house well into this century.

As to the vertical wall extension being flush and equal to the existing home and not extending it horizontally:

- The proposed addition is flush with the current wall plane if not set back further than the current wall; nor does it extend the full length of the current wall let alone beyond that current length.

Thank you for your consideration,

Sean Burns
630.936.0468

